

ARMSTRONG VOLKSWAGEN

20000 McLoughlin Blvd
Gladstone, OR 97027



DEALERSHIP SHOWROOM RENOVATION

Design Review Application

March 17, 2014



Table of Contents

Introduction to Development Project.....	3
I. GENERAL INFORMATION:.....	3
II. SUMMARY OF PROPOSAL:.....	4
III. EXISTING CONDITIONS:.....	4
IV. PROPOSED DEVELOPMENT:.....	4
17.20 C-3 General Commercial District.....	5
17.20.020: USES ALLOWED OUTRIGHT.....	5
17.20.045: SCREENING.....	5
17.20.050: DIMENSIONAL STANDARDS.....	6
17.42 General Provisions.....	7
17.42.020: USE OF PUBLIC RIGHT-OF-WAY.....	7
17.42.030: IMPROVEMENTS.....	7
17.44 Building Siting and Design.....	8
17.44.020: GENERAL STANDARDS.....	8
17.44.024: NON-RESIDENTIAL DESIGN STANDARDS.....	11
17.46 Landscaping.....	11
17.46.020: STANDARDS.....	11
17.48 Off-Street Parking and Loading.....	13
17.48.030: STANDARDS FOR DEVELOPMENTS SUBJECT TO DESIGN REVIEW.....	13
17.48.040: DESIGN REQUIREMENTS FOR PERMANENT OFF-STREET PARKING AND LOADING.....	18
17.48.050: BICYCLE PARKING STANDARDS.....	21
17.48.060: CAR POOL AND VAN POOL PARKING.....	22
17.50 Vehicular and Pedestrian Circulation.....	22
17.50.020: VEHICULAR AND PEDESTRIAN CIRCULATION GENERALLY.....	22
17.52 Signs.....	23
17.52.040: GENERAL PROVISIONS.....	23
17.52.070: SIGNS IN COMMERCIAL AND INDUSTRIAL DISTRICTS.....	26
17.54 Clear Vision.....	30
17.54.020: CLEAR VISION AREA.....	30
17.56 Drainage.....	31
17.56.020: STANDARDS.....	31
17.58 Grading and Fill.....	32
17.58.020: GENERAL PROVISIONS.....	32
17.60 Utilities.....	32
17.60.020: STANDARDS.....	32
17.76 Exceptions.....	34

17.76.020: NONCONFORMING USES AND NONCONFORMING DEVELOPMENTS	34
17.76.030: LOT SIZE REQUIREMENTS	36
17.76.040: SETBACK REQUIREMENTS	36
17.80 Submittal Requirements	37
17.80.061: SUBMITTAL REQUIREMENTS	37
17.80.090: MINOR EXCEPTIONS	40
Appendix A	42
COST BREAKDOWN	42
Appendix B	44
TAX MAP	44
Appendix C	46
EXTERIOR LIGHTING CUT SHEETS	46
Appendix D	51
EXTERIOR FINISHES BOARD	51
Appendix E	53
PRELIMINARY STORMWATER NARRATIVE	53
Appendix F	55
EXISTING AND PROPOSED PERSPECTIVE VIEWS	55
Appendix G	58
11 X 17 APPLICATION DRAWINGS (HALF-SIZE)	58

Introduction to Development Project

I. GENERAL INFORMATION:

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Owner: Armstrong Volkswagen
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Project Location: Armstrong Volkswagen
20000 McLoughlin Blvd
Gladstone, Oregon 97027

Application Type: Design Review

Property ID: C163799

County: Clackamas

State ID: 22E19DD05800

Alt Account #: 00529422

Tax Code: 115-040

Site Size: Total Site (tax lots 5700, 5800, 5900 & 6000): 89,030 SF
Tax Lot 5800: 56,994 SF (1.31 Acres)

Use: Auto Dealership

Zoning: General Commercial District (C-3)

II. SUMMARY OF PROPOSAL:

The scope of this proposal involves remodeling Armstrong Volkswagen's existing showroom space, re-grading and surfacing a portion of the site, and making interior finish upgrades to the showroom and service reception areas.

III. EXISTING CONDITIONS:

Armstrong Volkswagen is located at 20000 McLoughlin Blvd in Gladstone, OR. The auto dealership is located in the General Commercial District (C-3) and is an approved use in this zoning district. Armstrong Volkswagen displays, sells and services new and used vehicles.

The existing site is nonconforming regarding the development standards of landscaping and minimum off-street parking requirements. The total site is made up of tax lots 5700, 5800, 5900 & 6000 for a combined square footage of 89,030. The dealership is located on tax lot 5800, which is 56,994 SF. See Appendix B for tax map. For the purposes of this application, the total site area of 89,030 SF will be used for site calculations. See A-101 Site Plan – Existing for more information.

Existing access points into the site occur from McLoughlin Blvd and West Arlington Street. The site currently has two (2) buildings. The first building (2,604 SF), is located at the rear of the site and serves as the detailing and service garage. The second building, with a footprint of 20,203 SF, serves as the main showroom and service building for the dealership.

Adjacent properties to the East of the site are zoned for Single-Family Residential (R-5) and Community Commercial (C-2). Adjacent properties to the North of the site are zoned for General Commercial (C-3). The property across West Arlington Street is zoned for General Commercial (C-3).

IV. PROPOSED DEVELOPMENT:

This proposal involves the demolition of the existing Armstrong Volkswagen showroom fronting McLoughlin Blvd and constructing a new showroom, adding approximately 124 SF to the building footprint. The new showroom space will have a higher roof structure supported by Volkswagen's standard white frames to allow for more daylighting into the space. The exterior will consist of clear anodized aluminum curtain wall systems with clear glazing and high-quality metal composite material (MCM) panels finished in white. The top of these panels will be 21'-9" AFF and will frame the building with a recessed light trough that will illuminate the showroom façade at night. A dealer frame is proposed on the façade facing McLoughlin Blvd containing a dealer nameplate ('Armstrong') with backlit letters. The MCM building frame will wrap around the showroom space to the North and South elevations with new aluminum entrance systems to allow for vehicle entry into the showroom display space. A new entry vestibule is proposed with an accessible path to the proposed customer parking area. See A-102 Site Plan for more information.

A new display plaza is proposed along the frontage of McLoughlin Blvd which will utilize permeable pavers. Permeable pavers reduce stormwater runoff, reduce the amount of impervious surface, and create a sustainable pedestrian-friendly environment. This application will seek to count the 4,509 SF of proposed permeable pavers as a percentage toward the landscaping requirement. The new display plaza will also create a safe and accessible parking and entrance path for customers entering and exiting the showroom. The construction of the new display plaza will require re-grading, filling, and the addition of retaining walls. See Civil drawings for more information.

A new MCM panel service building frame will be constructed at the entrance of the existing service drive. This building frame will have the same recessed light trough as the showroom and will illuminate the service entrance. New 'Service' and 'Service Xpress' signage will occur above the two (2) existing service overhead doors. The top of these panels will be 15'-9" AFF. A new canopy is proposed to connect to the service building frame for new vehicle delivery. See A-221 & A-222 Exterior Elevations for more information.

17.20 C-3 General Commercial District

17.20.020: USES ALLOWED OUTRIGHT

According to 17.20.020 – Uses allowed outright:

In a C-3 zoning district, the following uses and their accessory uses are allowed outright. Outside or open storage shall be an allowed accessory use.

- (1) Automobile service station, car wash or repair garage, body and fender paint shop, sales of new and used vehicles.*
- (2) Business, governmental or professional office.*
- (3) Community service facility such as a fire station, library, community center, park, utility facility, meeting hall or transit facility.*
- (4) Eating or drinking establishment.*
- (5) Financial institutions.*
- (6) Funeral home.*
- (7) Hotel or motel.*
- (8) Medical clinic.*
- (9) Personal and business service establishment such as a barber shop, tailoring shop, printing shop, laundry and dry cleaning, sales agency or photography studio.*
- (10) Recreation vehicles sales, services, rental.*
- (11) Recycling center.*
- (12) Retail trade.*
- (13) Roller rink, bowling alley, motion picture theater or similar extensive commercial amusement or recreational facility.*
- (14) School and associated buildings, structures and facilities.*
- (15) Small appliance repair including radio, television and electronics repair.*
- (16) Small parts wholesaling or retailing.*
- (17) Veterinary clinic or small animal hospital, but not including a kennel or a cattery.*

Response: The proposed remodel occurs in a C-3 zoning district. The current use is an auto dealership, and the use will not change under the scope of this project. Since the auto dealership use is an approved use, the standards of this section are met.

17.20.045: SCREENING

According to 17.20.045 – Screening:

The following screening standards shall apply:

- (1) Off-street parking and loading areas and business activities, such as service, repair, processing, storage and merchandise display, that are conducted outside of a wholly enclosed building, shall be screened from abutting properties where such properties are in a residential zoning district and from abutting unimproved public street rights-of-way where property on the opposite side of the unimproved right-of-way is in a residential zoning district.*
- (2) Business activities, such as service, repair, processing, storage and merchandise display, that are conducted outside of a wholly enclosed building, shall be screened from abutting properties where*

such properties are in a C-1 or C-2 zoning district and from abutting unimproved public street rights-of-way where property on the opposite side of the unimproved right-of-way is in a C-1 or C-2 zoning district.

(3) Storage, with the exception of merchandise display, outside of a wholly enclosed building shall be screened from abutting improved public street rights-of-way. Off-street parking and loading areas for customer vehicles, employee vehicles and vehicles for sale are not required to be screened from improved public street rights-of-way. However, off-street parking and loading areas for other types of vehicle storage (e.g. towed vehicles, recreational vehicles being stored as a service) shall be screened from abutting improved public street rights-of-way.

(4) Required screening shall be accomplished by building placement, a landscaped earth berm or a sight-obscuring fence or hedge.

(5) Required screening shall be reviewed pursuant to GMC Chapter 17.80 (design review). When design review is not required, screening shall be reviewed by the City Administrator or designee.

(6) Required screening shall be a minimum of six feet (6') high. With the exception of equipment and vehicles, stored merchandise and materials shall not exceed the height of required screening. Stored equipment and vehicles may exceed the height of the required screening provided such equipment and vehicles are not stacked on top of one another.

(7) Required screening shall be sited so that it does not conflict with GMC Chapter 17.54 (clear vision). In locations where perimeter landscaping adjacent to a street is required as a condition of land use approval, required screening shall be located behind such landscaping.

Response: The existing property is screened from the adjacent lot (zoned C-3) and rear lots (zoned C-2 and R-5) by a 6'-0" high site-obscuring chain-link fence. All service repairs occur within enclosed structures. A service garage occurs along the frontage of West Arlington Street, and the area is buffered by an area of landscaping approximately 10'-0" wide with four (4) deciduous trees with calipers approximately 24" DBH.

17.20.050: DIMENSIONAL STANDARDS

According to 17.20.050 – Dimensional Standards:

Except as provided in GMC Chapters 17.38 (planned unit development), Chapter 17.72 (variances) and Chapter 17.76 (exceptions), the following dimensional standards shall apply in a C-3 zoning district:

(1) Front Setbacks. There shall be no minimum front setback requirement except when a front lot line abuts a residential zoning district or abuts a street where property on the opposite side of the street is in a residential zoning district, in which cases the minimum front setback shall be twenty feet (20').

(2) Street Side Setbacks. There shall be no minimum street side setback requirement except when a street side lot line abuts a residential zoning district or abuts a street where property on the opposite side of the street is in a residential zoning district, in which cases the minimum street side setback shall be twenty feet (20').

(3) Side and Rear Setbacks. There shall be no minimum side or rear setback requirements.

(4) Off-Street Parking. The boundary of any area developed or intended for off-street parking shall be located a minimum of five feet (5') from all property lines.

(5) Architectural Features. Architectural features such as cornices, eaves, gutters, chimneys and flues may project a maximum of two feet (2') into a required setback area.

(6) Building Height. The maximum building height shall be thirty-five feet (35'). This restriction may be varied as follows:

(a) Maximum building height may be increased by one (1) story if the building is provided with an approved automatic sprinkler system throughout as provided in Section 506 of the Oregon Structural Specialty Code or its successor; Vertical projections such as chimneys, spires, domes, elevator shaft

housings, towers, aerials, flagpoles and similar objects not used for human occupancy are exempt from the maximum building height standard;

(b) Maximum building height may be increased if the city fire department reports that it possesses sufficient fire-fighting capability to provide emergency response to a structure of the height proposed.

(7) Equipment Setbacks. There shall be no minimum setback requirements for central air conditioners, heat pumps and similar equipment except when a lot line abuts a residential zoning district, in which case the minimum setback requirement from the lot line abutting the residential zoning district shall be ten feet (10').

(8) Hotels and Motels:

(a) The minimum lot area shall be five hundred (500) square feet per dwelling unit;

(b) The minimum frontage shall be one hundred feet (100').

(9) Portable Storage Container Setbacks. When a lot line abuts a residential district, a setback does not apply to Portable Storage Containers as defined in Chapter 5.22.

Response: The existing building is currently set back 20'-0" from West Arlington Street and varies in its setback along McLoughlin Blvd from 6" to 1'-6". Areas designated for off-street parking under the scope of this remodel will occur a minimum of 5'-0" from all property lines. The proposed work will not exceed the maximum building height of 35'-0". The proposed work will meet the setback requirements and standards of this section.

17.42 General Provisions

17.42.020: USE OF PUBLIC RIGHT-OF-WAY

According to 17.42.020 – Use of public right-of-way:

Use of public right-of-way for the sale, display or storage of goods and off-street parking is prohibited on interior side of curbs, however, this requirement may be waived upon City Council approval.

Response: There is no intent to use the public right-of-way for the sale, display or storage of goods under the scope of this project.

17.42.030: IMPROVEMENTS

According to 17.42.030 – Improvements:

Improvements installed by a developer, either as a requirement or at his or her option, shall conform to the standards of this title, GMC Chapter 12.02 (street excavation requirements) and to any supplemental design and construction specifications adopted by the city for such improvements. Improvements shall be installed in accordance with the following procedure:

(1) Improvement work shall not begin until plans have been checked for adequacy and approved by the city.

(a) To the extent necessary for evaluation of the proposal, the plans may be required before land use approval is issued.

(b) Plans shall be prepared in accordance with the requirements of the city.

(2) Improvement work shall not begin until the city has been notified, and if work has been discontinued for any reason, it shall not be resumed until the city has been notified.

(3) Improvements shall be constructed under the inspection and to the satisfaction of the city.

(a) *The city may require changes in typical sections and details in the public interest if unusual conditions arise during construction to warrant the change.*

Response: This proposal seeks to meet the requirements stated in this section.

17.44 Building Siting and Design

17.44.020: GENERAL STANDARDS

According to 17.44.020 – General Standards:

Building siting and design standards are as follows:

(1) *Siting. Where there are no conflicts with other design standards or requirements in this Title, site buildings to maximize solar access where practical, using such techniques as:*

- (a) *Maximizing east-west street length so that principal building facades will face south;*
- (b) *Orienting buildings within twenty degrees of true south as well as maximizing their south-facing dimension;*
- (c) *Placing higher buildings on the north portion of the site, while protecting solar access for adjacent sites;*
- (d) *Placing major yard spaces on south side of buildings.*

Response: The new showroom portion of the building will maximize solar access by increasing the glazing significantly from the existing showroom. The orientation is limited due to the location of the property line. See A-221 & A-222 Exterior Elevations for more information.

(2) *Energy Efficient Design. Where there are no conflicts with other design standards or requirements in this Title, design buildings that are conducive to energy efficiency and conservation, using techniques including, but not limited to, those listed below which are most appropriate to the development:*

- (a) *Concentrate window areas on the south side (within twenty degrees of true south) of buildings where there is good southern exposure, and provide overhangs, balconies, or other shading devices to prevent excessive summer heat gains;*
- (b) *Use architectural features, shapes or buildings, fences, natural landforms, berms and vegetation to catch and direct summer breezes for natural cooling and minimize effects of winter winds;*
- (c) *Provide skylights or clerestory windows to provide natural lighting and/or solar heating of interior spaces.*

Response: The proposed remodel will incorporate 'low-e' glazing on all new exterior glazing systems. The new roof proposed over the showroom portion of the building will have R-values meeting or exceeding current energy code standards. New mechanical and electrical systems will function more efficiently and will utilize energy efficient technologies.

(3) *Compatibility. Arrange structures and use areas to be compatible with adjacent developments and surrounding land uses, considering the following design and siting techniques:*

- (a) *Locate and design structures to protect scenic views or vistas from adjacent properties and public thoroughfares. Setbacks, building height and bulk should be considered;*
- (b) *Design structures to provide visual order and avoid monotony in layout and design;*
- (c) *Orient major service activity areas (e.g., loading and delivery areas) of the proposed project away from existing residences;*

(d) Provide opaque enclosures and gates for all refuse storage areas;

(e) Screen mechanical equipment, except solar collection apparatus, from view or place such equipment in locations where it will not be viewed by the public. Screening shall be accomplished by the use of a sight-obscuring fence or hedge, a landscaped earth berm, building placement or other design techniques;

(f) Buffering and/or screening shall be used to mitigate adverse visual impacts, dust, noise and pollution, and to provide for compatibility between dissimilar adjoining uses. Special consideration will be given to the buffering, screening and siting of commercial and industrial uses to ensure that noise and odors are not detectable to normal sensory perception on adjacent residential properties. All development shall comply with GMC Chapter 8.12 (noise control).

Response: The proposed remodel will provide visual order and interest to the showroom space. No changes are being proposed to the existing loading and delivery areas along West Arlington Street. The existing refuse storage area is currently screened with an opaque enclosure. Any proposed mechanical equipment will be screened from public view.

(4) Building Materials. Buildings shall be constructed using high-image exterior materials and finishes such as masonry, architecturally treated tilt-up concrete, glass, wood or stucco. Buildings shall not be constructed with metal siding material, except as approved by the design review committee for specific high-image materials, except for:

(a) Canopies, awnings, screening for roof-mounted fixtures, or other architectural features;

(b) Utility equipment cabinets;

(c) Structures no greater than two hundred (200) square feet in floor area and ten (10) feet in height; and,

(d) Buildings, the portions of buildings that are not visible from a road or adjacent property.

Response: Proposed exterior building materials at the new showroom include clear glazing and a high-quality metal panel system. The other building facades will incorporate stucco, glass, and high-quality horizontal corrugated metal siding. See Appendix D for proposed exterior finishes board. See A-221 & A-222 Exterior Elevations for more information.

(5) Lighting. Adequate exterior lighting shall be provided to protect public safety and shall be deflected so as not to shine on a lot in a residential district.

Response: All existing site lighting poles will receive light fixture upgrades. The locations and specifications of the proposed fixtures will be adequate to protect public safety. See Appendix C for proposed exterior lighting cut sheets from Cree. Alternate light fixtures may be chosen having similar appearance and lighting patterns from manufacturers including Cooper and Lithonia. See A-102 Site Plan for locations of existing and relocated lighting poles. See A-221 & A-222 Exterior Elevations for locations of new exterior building-mount light fixtures.

(6) On-site Lighting. All on-site lighting shall be designed, located, shielded, or deflected so as not to shine into off-site structures or impair the vision of the driver of any vehicle. When required, engineered site lighting plans shall be developed consistent with Illuminating Engineering Standards (IES) including, but not limited to, average maintained illumination and maximum to minimum ratios. A master plan for on-site lighting shall include the design, height, and location of all proposed exterior lights, including:

(a) Parking and loading area lighting;

(b) Pedestrian walkway lighting;

(c) Internal access road lighting;

- (d) Lighting of public entrances into buildings;
- (e) Flood lights illuminating buildings or significant natural features.

Response: All modifications to existing exterior light fixtures or new fixtures proposed under the scope of this project, including the recessed trough lighting at the perimeter of the proposed showroom building frame, will be cut-off so as to not deflect lighting to adjacent properties or impair the vision of the driver of any vehicle. See Appendix C for proposed exterior lighting cut sheets from Cree. Alternate light fixtures may be chosen having similar appearance and lighting patterns from manufacturers including Cooper and Lithonia.

(7) Equipment and Facilities. All utility lines shall be placed underground. All roof-mounted fixtures and utility cabinets or similar equipment which must be installed above ground shall be visually screened from public view.

Response: All proposed on-site utility lines will be installed underground, and all roof-mounted fixtures will be screened from public view.

(8) Trash Disposal and Recycling Collection. In addition to the preceding standards, new construction requiring full site plan review shall incorporate functional and adequate space for on-site storage and efficient collection of mixed solid waste and source separated recyclables prior to pick-up and removal by haulers.

(a) Minimum storage area for trash and recyclables shall be established by one of the following methods: minimum standards method or franchise hauler review method.

(A) Franchise Hauler Review Method. The applicant shall submit plans for storage and collection of solid waste and recyclables that are acceptable to the city's franchise solid waste hauler; acceptance may be indicated on the site plan and/or by separate attachment; or

(B) Minimum Standards Method. The applicant shall submit plans for storage of solid waste and recyclables in accordance with the following:

(i) Multi-family complexes containing ten (10) or fewer dwelling units shall provide a minimum fifty (50) square feet; developments containing more than ten (10) residential units shall provide an additional five (5) square feet per dwelling unit above ten (10).

(ii) Non-residential developments shall provide a minimum storage area of ten (10) square feet plus:

(aa) office - 4 square feet /1,000 square feet gross floor area (GFA)

(bb) retail - 10 square feet /1,000 square feet GFA

(cc) wholesale/warehouse/manufacturing - 6 square feet /1,000 square feet GFA

(dd) educational & institutional - 4 square feet / 1,000 square feet GFA

(ee) Other - 4 square feet /1,000 square feet GFA

(C) The storage area requirement is based on the predominate use of the building, as described above in subparagraph (a)(B)(ii) of this subsection. If a building has more than one use and that use occupies twenty percent (20%) or less of the floor area of the building, the floor area occupied by that use shall be counted toward the floor area of the predominate use. If a building has more than one of the uses listed in subparagraph (a)(B)(ii) of this subsection, and that use occupies more than twenty percent (20%) of the floor area of the building, then the storage area requirement for the whole building shall be the sum of the requirement for the area of each use.

(D) The specific requirements shall meet the Uniform Fire Code and are based on an assumed storage height of four feet (4') for solid waste/recyclables. Vertical storage higher than four feet (4') but not higher than seven feet (7') may be used to accommodate the same volume of storage in a reduced floor space.

Response: No modifications are being proposed to the current trash disposal and recycling collection areas under the scope of this project.

17.44.024: NON-RESIDENTIAL DESIGN STANDARDS

According to 17.44.024 – Non-residential design standards:

New non-residential buildings, with the exception of buildings housing institutional, warehouse or manufacturing uses, shall be subject to the following design standards:

(1) Ground Floor Windows. *Ground floor windows shall be required on walls fronting a public street and shall comply with the following standards:*

(a) *The windows shall cover at least fifty percent (50%) of the length and twenty-five percent of the ground level wall area. Ground level wall areas include all exterior wall areas up to nine feet (9') above the finished grade. The bottom of required windows shall be no more than four feet (4') above the adjacent exterior finished grade.*

(b) *Required windows shall be windows that allow views into work areas or lobbies, pedestrian entrances or display windows set into the wall. Display cases attached to the outside wall shall not qualify.*

Response: New exterior glazing will meet the requirements for ground floor windows in the showroom area as set forth in the standards above. See A-221 & A-222 Exterior Elevations for more information.

(2) Distinct Ground Floor. *The ground level of primary buildings shall be visually distinct from upper floors. This separation shall be provided by one of the following mechanisms:*

(a) *A cornice above ground level;*

(b) *An arcade*

(c) *Change in material or texture or architectural design; or*

(d) *A row of clerestory windows on the building's street-facing elevation.*

Response: The proposed remodel to the existing showroom space will not include a second level. No changes are being proposed to the exterior of the existing second floor spaces at other locations in the building.

17.46 Landscaping

17.46.020: STANDARDS

According to 17.46.020 – Standards:

Landscaping requirements shall be as follows:

(1) Minimum Requirement. *A minimum of fifteen percent (15%) of the lot area shall be landscaped, except when a greater percentage is required elsewhere in this title.*

Response: This site is an existing nonconforming development as it relates to minimum landscaping requirements. The scope of this project requires landscape upgrades per Section 17.46.020 (10)(c). See this section and A-102 Site Plan for more information.

(2) Parking and Loading Areas. *The following landscape requirements shall apply to off-street parking and loading areas:*

(a) *An off-street parking and loading area providing ten (10) or more parking spaces shall be improved with defined landscaped areas totaling no less than ten square feet per parking space;*

(b) A parking or loading area shall be separated from any lot line adjacent to a street by a landscaped strip at least ten feet (10') in width, and any other lot line by a landscaped strip at least five feet (5') in width;

(c) A landscaped strip separating a parking or loading area from a street shall contain:

(A) Street trees spaced as appropriate to the species, not to exceed twenty-five feet (25') apart, on the average,

(B) Low shrubs not to reach a height greater than three feet (3') spaced no more than five feet (5') apart, on the average, and

(C) Vegetative ground cover.

(d) If a fence or wall is required or proposed, it shall be located behind required landscaped strips where such strips are adjacent to a street.

Response: No modifications are being proposed for the existing loading area adjacent to West Arlington Street. A 10'-0" landscape strip is currently separating the loading area from the street with four (4) deciduous trees 24" DBH spaced at 25'-0" apart and vegetative ground cover. The existing condition at the loading area meets the requirements of this section.

(3) Irrigation. Provision shall be made for watering planting areas where such care is required.

Response: Where new landscaping is being proposed under the scope of this project, irrigation shall be provided as determined by the Landscape Architect. See Landscape drawings for more information.

(4) Maintenance Required. Landscaping shall be continuously maintained.

Response: It is understood landscaping maintenance will be the responsibility of the property owner after the guarantee period has expired.

(5) Plant Species. The general characteristics of tree species shall be considered when planting under overhead utility lines or near sidewalks or curbs to assure that damage will not result when maturity is reached.

Response: Care will be taken into the selection and placement for any new landscaping proposed under the scope of this proposal.

(6) Grading. The natural form of the site shall be preserved insofar as practicable unless berming or contouring of land is required.

Response: Existing grade along McLoughlin will be maintained under the scope of this proposal. The new display plaza will require re-grading of the existing site. See Civil drawings for more information.

(7) Public Rights-of-Way. Land within the public road right-of-way, not developed as sidewalks or driveways, shall be landscaped and maintained by the abutting property owners. Landscaping will be of the variety that would not create a road hazard or impair sight distance.

Response: Land within the public right-of-way is currently landscaped with vegetative ground cover. Any new work proposed under the scope of this proposal will ensure the right-of-way will continue to be landscaped and maintained by the property owner.

- (8) Street Trees. Street tree planting may be required of any development and, if planted, shall be according to city requirements and of a species compatible with the width of the planting strip, and nearby street tree species.

Response: This proposal will take advantage of the exception stated in Section 17.46.020 (9)(b) regarding street trees along McLoughlin. See this section for more information.

- (9) Exceptions. The following exceptions apply to properties with frontage on McLoughlin Blvd.:

- (a) The use of sod along McLoughlin Blvd. shall be encouraged in landscape plans for development of McLoughlin Blvd.;
- (b) The use of sod along McLoughlin Blvd. may be allowed in lieu of required street trees;
- (c) The ten-foot (10') wide landscape strip along McLoughlin Blvd. may be allowed in the right-of-way if applicant agrees to relocate the ten-foot (10') strip whenever the right-of-way is improved. This strip may be included in total landscape area calculations.

Response: The proposed development occurs along McLoughlin Blvd, therefore, this proposal will take advantage of the exceptions listed above. We will propose to use sod along McLoughlin Blvd in lieu of required street trees. A 10'-0" wide landscape strip currently exists within the right-of-way, and this will be counted toward landscape area calculations. See A-102 Site Plan for more information.

- (10) Nonconforming Uses and Nonconforming Development. Additions or alterations to nonconforming uses and nonconforming development on a commercial or industrial site which does not comply with the landscaping requirements of this title must provide landscaping in a scale with the modification, as follows:

- (a) Major remodeling, or structural additions of less than 1,000 square feet, require at least an additional three percent (3%) landscaping, up to the minimum landscaping requirements for new development in the district.
- (b) Structural additions of 1,000 to 1,999 square feet are required to landscape at least an additional five percent (5%) of the developed site area, up to the minimum landscaping requirements for new development in the district.
- (c) Structural additions of 2,000 to 4,999 square feet are required to landscape at least an additional ten percent (10%) of the developed site area, up to the minimum landscaping requirements for new development in the district.
- (d) Structural additions of 5,000 square feet or more are required to meet the current minimum landscape requirements for new development.
- (e) Where successive structural additions occur the landscape requirement shall accumulate until total conformance is reached.

Response: The scope of this proposal will involve major remodeling of 2,000 to 4,999 square feet, therefore an additional 10% of the developed site area (up to the minimum landscaping requirements for new development) will apply. See A102 Site Plan for more information.

17.48 Off-Street Parking and Loading

17.48.030: STANDARDS FOR DEVELOPMENTS SUBJECT TO DESIGN REVIEW

According to 17.48.030 – Standards for developments subject to design review:

At the time of construction, enlargement, or change of use of any structure or development subject to GMC Chapter 17.80 (design review), except as provided in the C-2 district, off-street parking spaces shall be provided as follows unless greater requirements are otherwise established under this title:

(1) Calculation of parking requirements.

- (a) *Square Footage as Basis for Requirement.* Where square feet of the structure or use is specified as the basis for the parking requirement, the calculation shall be based on the gross leasable area (GLA).
- (b) *Number of Employees as Basis of Requirement.* When the number of employees is specified as the basis for the parking space requirement, the calculation shall be based on the number of employees working on the premises during the largest shift at peak season.
- (c) *If more than one use occupies a single structure or lot, the total minimum and maximum parking requirements for the structure or lot shall be the sum of the requirements for each use computed separately.*
- (d) *When calculation of a minimum or maximum parking requirement results in a fractional space requirement, such fraction shall be rounded down to the nearest whole number.*
- (e) *Owners of two or more uses, structures or lots may agree to utilize jointly the same parking and loading spaces when the peak hours of operation do not substantially overlap. Satisfactory legal evidence shall be presented to establish the joint use. Shared parking spaces shall be included in the calculation of the minimum parking requirement for each of the joint users. For the purpose of calculating the maximum permitted parking for each of the joint users, shared spaces shall be apportioned between the joint users.*
- (f) *On-street parking may count towards fulfilling up to one-quarter of the off-street parking requirements where on-street parking is allowed and the applicant can demonstrate that on-street parking is available.*
- (g) *Parking spaces fulfilling the minimum off-street parking space requirement shall not be used for display or storage and shall not be rented, leased or assigned to any other person or organization, except as authorized under Subsection 17.48.030(l)(e).*

Response: According to 17.48.030 Table 1 for minimum and maximum off-street parking requirements, under 6(b) Commercial (service or repair shop, retail store handling exclusively bulky merchandise such as automobiles or furniture), the minimum off-street parking spaces required is one (1) space per 600 SF. Because the site has a 20-minute peak hour transit service provided within a one-quarter (1/4) mile walking distance for bus transit stops per Section 17.48.030 (2)(b), this site occurs in Zone A. The Zone A maximum allowed for this site is one (1) space per 294 SF. The gross leasable area of the existing building is 25,711 SF. Based on this, the minimum off-street parking requirement for the existing building is 42 spaces. The maximum off-street parking requirement for the existing building is 87 spaces. The existing site does not provide the required minimum parking requirement based on the existing building gross leasable area. Because this is an existing nonconforming development of the site, this proposal will follow the requirements stated in Section 17.48.030 (2)(d). See Section 17.48.030 for more information.

(2) Minimum and maximum permitted parking.

- (a) *The number of surface parking spaces provided at no charge for a particular use shall not be less than the minimum nor exceed the maximum parking ratios identified for that use in Table 1. Minimum parking ratios for those uses not identified in Table 1 (below) shall be determined by the Planning commission during design review.*
- (b) *For purposes of the maximum parking ratios identified in Table 1 (below), Zone A shall include those areas where 20-minute peak hour transit service is provided within a one-quarter (1/4) mile walking distance for bus transit stops or stations or one-half (1/2) mile walking distance for high capacity transit stops or stations. Zone B shall include all other areas.*

(c) The following types of parking spaces are exempt from the maximum parking ratios:

- (A) Parking spaces in parking structures;
- (B) Fleet parking spaces;
- (C) Parking spaces used to store vehicles that are for sale, lease or rent;
- (D) Employee carpool parking spaces that are clearly delineated with signs;
- (E) Dedicated valet parking spaces.

Response: It is understood the parking spaces used to store vehicles that are for sale, lease or rent are exempt from the maximum parking ratios and do not apply to the minimum parking ratios.

(d) Upon expansion of a nonconforming development or nonconforming use that does not comply with minimum or maximum parking ratios, additional parking spaces shall be provided as follows:

(A) If the existing number of parking spaces is less than the minimum parking ratio in Table 1 (below), the number of additional parking spaces required shall be based only on the floor area or capacity added and not on the area or capacity existing prior to the expansion.

(B) If the existing number of parking spaces exceeds the maximum parking ratio in Table 1 (below), additional parking spaces may only be provided if compliance with the maximum parking ratio will be met for the entire development or use following the expansion.

(e) Exceptions to the minimum and maximum parking ratios may be granted pursuant to GMC Section 17.80.090 (minor exception). Exceptions exceeding twenty-five percent (25%) of the requirement shall be subject to GMC Chapter 17.72 (variances).

Response: Because the existing number of parking spaces is less than the minimum parking ratio in Table 1 (See A-101 Site Plan - Existing), per Section 17.48.030 (2)(d)(A), the number of additional parking spaces required shall be based only on the floor area or capacity added and not on the area or capacity existing prior to the expansion. The gross leasable area prior to renovation is 25,711 SF. Even though the exterior building footprint will be increased by 124 SF, the gross leasable area post renovation will be 25,592 SF, providing a net loss of 119 SF. Based on the proposed reduction of gross leasable area, no newly designated off-street parking spaces are required under the scope of this project. Even though the amount of new vehicle display space will be reduced, the current number of parking spaces for customers and employees will remain the same. See A-102 Site Plan for more information.

17.48.030 Table 1 MINIMUM AND MAXIMUM OFF-STREET PARKING REQUIREMENTS			
USE	MINIMUM REQUIRED	ZONE A MAXIMUM ALLOWED	ZONE B MAXIMUM ALLOWED
(1) RESIDENTIAL USES			
(a) Single-Family Dwelling	1 space	Not Applicable	Not Applicable
(b) Two-Family or Multi-Family Dwelling	1.5 spaces per dwelling unit	Not Applicable	Not Applicable
(c) Rooming-house or Boarding-house	Spaces equal to eighty percent (80%) of the number of guest accommodations plus one	Not Applicable	Not Applicable

		additional space for the owner or manager		
(d)	Senior Housing Center	.5 spaces per residential suite	Not Applicable	Not Applicable
(2) COMMERCIAL RESIDENTIAL USES				
(a)	Hotel or Motel	1 space per guest room or suite plus 1 additional space for the owner or manager and 1 space per 2 employees	Not Applicable	Not Applicable
(3) INSTITUTIONAL USES				
(a)	Welfare or Correctional Institution, Nursing Home or Homes for the Aged	1 space per 10 beds for patients or inmates plus 1 space per 2 employees	Not Applicable	Not Applicable
(b)	Convalescent Hospital	1 space per 4 beds	Not Applicable	Not Applicable
(c)	Hospital	1.5 spaces per bed	Not Applicable	Not Applicable
(4) PLACES OF PUBLIC ASSEMBLY				
(a)	Church	1 space per 6 seats or 8 feet of bench length in the main auditorium or 75 square feet of floor area of a main auditorium not containing fixed seats	.6 space per seat or 1.33 feet of bench length in the main auditorium or 12.5 square feet of floor area of a main auditorium not containing fixed seats	.8 space per seat or 1.33 feet of bench length in the main auditorium or 12.5 square feet of floor area of a main auditorium not containing fixed seats
(b)	Library, Reading Room	1 space per 400 square feet plus 1 space per 2 employees	Not Applicable	Not Applicable
(c)	Preschool, Nursery, Kindergarten, Day Care Center	2 spaces per full-time staff person	Not Applicable	Not Applicable
(d)	Primary or Middle School	1 space per classroom plus 1 space per administrative employee plus 1 space per 4 seats or 8 feet of bench length in the main auditorium or 75 square feet of floor area of a main auditorium not containing fixed seats	Not Applicable	Not Applicable
(e)	High School, College or Commercial School for Adults	1 space per classroom plus 1 space per administrative employee plus 1 space for each 6 students or 1 space per 4 seats or 8 feet of bench length in the main auditorium, whichever is greater	1.5 spaces per classroom plus 1.5 spaces per administrative employee plus 1.5 spaces for each 6 students or 1.5 spaces per 4 seats or 8 feet of bench length in the main auditorium, whichever is greater	1.5 spaces per classroom plus 1.5 spaces per administrative employee plus 1.5 spaces for each 6 students or 1.5 spaces per 4 seats or 8 feet of bench length in the main auditorium, whichever is greater
(f)	Non-School Auditorium, Meeting Room, Community or Senior Center	1 space per 6 seats or 8 feet of bench length in an assembly room or 75	Not Applicable	Not Applicable

		square feet of floor area of an assembly room not containing fixed seats, plus 1 space for each administrative employee, plus 1 space for each classroom for lounge, plus requirements for other uses included in the building		
(5) COMMERCIAL AMUSEMENT				
(a)	Stadium, Arena, Theater	1 space per 4 seats or 8 feet of bench length	.4 space per seat or 2 feet of bench length	.5 space per seat or 2 feet of bench length
(b)	Bowling Alley	3 spaces per alley	Not Applicable	Not Applicable
(c)	Dancehall	1 space 100 square feet plus 1 space per 2 employees	Not Applicable	Not Applicable
(d)	Skating Rink	1 space per 200 square feet plus 1 space per 2 employees	Not Applicable	Not Applicable
(e)	Sports Club/Recreation Facility	4.3 spaces per 1,000 square feet	5.4 spaces per 1,000 square feet	6.5 spaces per 1,000 square feet
(f)	Tennis/Racquetball Court	1 space per 1,000 square feet	1.3 spaces per 1,000 square feet	1.5 spaces per 1,000 square feet
(6) COMMERCIAL USE				
(a)	Retail Store	1 space per 300 square feet	1 space per 196 square feet	1 space per 161 square feet
(b)	Service or Repair Shop, Retail Store Handling Exclusively Bulky Merchandise Such as Automobiles or Furniture	1 space per 600 square feet	1 space per 294 square feet	1 space per 161 square feet
(c)	Bank	1 space per 300 square feet	1 space per 185 square feet	1 space per 154 square feet
(d)	Office	1 space per 370 square feet	1 space per 294 square feet	1 space per 244 square feet
(e)	Medical, Dental Clinic	1 space per 256 square feet	1 space per 204 square feet	1 space per 170 square feet
(f)	Eating or Drinking Establishment Except Fast Food Restaurant with Drive-Thru	1 space per 300 square feet	1 space per 52 square feet	1 space per 44 square feet
(g)	Fast Food Restaurant with Drive-Thru	1 space per 300 square feet	1 space per 81 square feet	1 space per 67 square feet
(h)	Mortuary	1 space per 6 seats or 8 feet of bench length in chapels	Not Applicable	Not Applicable
(7) INDUSTRIAL USES				
(a) Manufacturing and Processing				
	Less than 25,000 square feet	1 space per 600 square feet	Not Applicable	Not Applicable

Greater than or equal to 25,000 square feet and less than 50,000 square feet	1 space per 700 square feet	Not Applicable	Not Applicable
Greater than or equal to 50,000 square feet and less than 80,000 square feet	1 space per 800 square feet	Not Applicable	Not Applicable
Greater than or equal to 80,000 square feet and less than 200,000 square feet	1 space per 1,000 square feet	Not Applicable	Not Applicable
Greater than or equal to 200,000 square feet	1 space per 2,000 square feet	Not Applicable	Not Applicable
(b) Warehousing and Distribution			
Less than 50,000 square feet	1 space per 2,000 square feet	Not Applicable	Not Applicable
Greater than or equal to 50,000 square feet and less than 150,000 square feet	1 space per 5,000 square feet	Not Applicable	Not Applicable
Greater than or equal to 150,000 square feet	1 space per 5,000 square feet	Not Applicable	Not Applicable
(c) Rail and Trucking Terminal	1 space per employee	Not Applicable	Not Applicable
(d) Wholesale Establishment	1 space per employee plus 1 space per 700 square feet of patron service area	Not Applicable	Not Applicable

17.48.030 FIGURE 1 OFF-STREET PARKING DESIGN STANDARDS	
Parallel Parking	45° Parking
Minimum Turning Radius	60° Parking
	90° Parking

17.48.040: DESIGN REQUIREMENTS FOR PERMANENT OFF-STREET PARKING AND LOADING

According to 17.48.040 – Design requirements for permanent off-street parking and loading:

All structures and developments subject to design review shall provide permanent off-street parking and loading as follows:

(1) Parking and Loading:

(a) Parking and loading areas shall be paved with asphalt and/or concrete meeting city standards, maintained adequately for all weather use and so drained as to avoid flow of water across public sidewalks;

(b) Off-street parking and loading areas shall be screened from abutting properties located in a residential zoning district unless such abutting properties are developed with nonresidential uses.

Required screening shall be accomplished by building placement, a landscaped earth berm or a sight-obscuring fence or hedge. Required screening shall be a minimum of six feet (6') high and shall not conflict with GMC Chapter 17.54 (clear vision).

(c) Areas for standing and maneuvering vehicles, other than for the off-street parking and storage of truck tractors and/or semitrailers, shall be paved with an asphalt and/or concrete surface meeting city standards. The parking of truck tractors and/or semitrailers in off-street parking areas used exclusively for the parking and/or storage of said vehicles may be allowed utilizing a durable and dustless surface other than an asphalt and/or concrete surface. Such surface must be graded, compacted and surfaced in such a manner that it will adequately support these vehicles, including trailer standing gear, will not produce dust, will not produce tracking of mud or other materials onto adjoining streets or properties, and otherwise complies with other applicable provisions of this code.

Response: All newly designated off-street parking, loading areas, and areas for standing and maneuvering vehicles will be paved with asphalt and/or concrete meeting current city standards. Grading will be designed as to avoid flow of water across public sidewalks. The site is currently screened on the rear and side lots by an existing 6'-0" site-obscuring chain link fence. The existing loading area adjacent to West Arlington Street is screened by an existing 10'-0" landscaping strip and four (4) deciduous trees 24" DBH spaced at 25'-0". No screening is being proposed along McLoughlin Blvd per Section 17.46.020 (9) regarding exceptions applying to properties with frontage along McLoughlin Blvd.

(2) *Parking:*

(a) *Required parking spaces shall be located not further than two hundred feet from the building or use they are required to serve, measured in a straight line from the building;*

Response: The furthest proposed parking space under the scope of this proposal will occur approximately 106 linear feet from the building, measured in a straight line. This meets the requirements of this section.

(b) *Required parking shall be provided in the same zoning district or a different zoning district of a more intensive use;*

(c) *In no case shall required parking for a commercial or industrial use be provided in a residential district, except for approved conditional uses;*

Response: All newly designated off-street parking spaces shall be provided on the same property for which the building occurs.

(d) *Groups of more than four parking spaces shall be permanently marked and so located and served by driveways that their use will require no backing movements or other maneuvering within a street right-of-way other than an alley;*

Response: All newly designated off-street parking spaces shall be located so their use will require no backing movements or other maneuvering within a street right-of-way.

(e) *Parking spaces along the outer boundaries of a parking lot shall be contained by a curb at least four inches (4") high and setback a minimum of five feet (5') from the property line. A bumper rail may be substituted for a curb;*

Response: Vehicle display parking along McLoughlin Blvd will be contained by a curb 4" high minimum and setback a minimum of 5'-0" from the property line. See A-102 Site Plan for more information.

(f) Off-street parking and loading areas, including parking spaces and access aisles, shall meet or exceed the minimum dimensional standards identified in Tables 2 and 3 and Figure 1 (below). Access aisles shall be of sufficient width for all vehicular turning and maneuvering;

Response: Proposed off-street parking areas shall meet the dimensional and access standards of this section. See A-102 Site Plan for more information.

(g) Up to fifty percent (50%) of required parking spaces may be provided for compact cars;

Response: All proposed parking spaces will meet the dimensional requirements for standard off-street parking spaces. See A-102 Site Plan for more information.

(h) Parking areas shall be designed, to the maximum extent practicable, to avoid large, uninterrupted rows of parking spaces.

Response: See A-102 Site Plan for proposed off-street parking locations.

(3) Loading:

(a) A driveway designed for continuous forward flow of passenger vehicles for the purpose of loading and unloading passengers shall be located on the site of any school having a capacity greater than twenty-five (25) students;

Response: This is not a school use, therefore, this section does not apply to the review of this proposal.

(b) Buildings or structures to be built or substantially altered which receive and distribute material or merchandise by truck shall provide and maintain off-street loading berths in sufficient numbers and size to adequately handle the needs of the particular use. If loading space has been provided in connection with an existing use or is added to an existing use, the loading space shall not be eliminated if elimination would result in less space than is required to adequately handle the needs of the particular use;

(c) Off-street parking areas used to fulfill the requirements of this section shall not be used for loading and unloading operations except during periods of the day when not required to take care of parking needs;

(d) Loading facilities shall be located at least twenty feet (20') from residential property. Loading spaces shall be located on the site and directly accessible to the main structure.

Response: No modifications to the existing loading area will be included under the scope of this proposal.

17.48.040 Table			
STANDARD PARKING DIMENSIONS IN FEET			
Parking Angle	Stall Width	Stall Depth	Aisle Width
45°	9.5'	18.0'	14.0'
60°	9.5'	18.0'	16.0'
90°	9.5'	18.0'	24.0'

17.48.040 Table			
COMPACT PARKING DIMENSIONS IN FEET			
Parking Angle	Stall Width	Stall Depth	Aisle Width

45°	8.5'	16.0'	14.0'
60°	8.5'	16.0'	16.0'
90°	8.5'	16.0'	24.0'

17.48.050: BICYCLE PARKING STANDARDS

According to 17.48.050 – Bicycle parking standards:

(1) Standards for bicycle parking apply to full-site design review of new construction for multi-family residential (four units and larger) and new commercial/industrial developments. The Planning Commission may grant exemptions to bicycle parking requirements in connection with temporary uses or uses that are not likely to generate the need for bicycle parking.

(2) Required bicycle parking must be lighted and be located within fifty feet (50') of an entrance to the building:

(a) Location. Bicycle parking may be provided within a building if the location is easily accessible for bicycles;

(b) Covered Spaces. Cover for bicycle parking can be accommodated by buildings or roof overhangs, awnings, bicycle lockers, bicycle storage within buildings or free-standing shelters;

(c) Signs. If the bicycle parking is not visible from the street or main building entrance, then a sign conforming to the city's standards for on-site traffic control, Section 17.52.060(1), shall be posted indicating the location of the parking facilities;

(d) Rack Type and Dimensions:

(A) Bicycle racks must hold bicycles securely by the frame and be securely anchored;

(B) Bicycle racks must accommodate:

(i) Locking the frame and one wheel to the rack with a high-security U-shaped shackle lock, or approved substitute; or

(ii) Locking the frame and both wheels to the rack with a chain or cable not longer than six feet (6');

(C) The Planning Commission may approve alternate bicycle racks provided they are convenient and secure;

(e) Bicycle parking spaces must be at least six feet (6') long and two feet (2') wide, and in covered situations the overhead clearance must be at least seven feet (7'). An aisle five feet (5') wide for bicycle maneuvering must be provided;

(f) Areas set aside for required bicycle parking must be clearly marked and reserved for bicycle parking only;

(g) Required parking in all developments required to comply with this section shall provide a minimum five percent (5%) bicycle parking spaces based on the city's required minimum number of automobile parking spaces:

(A) All development shall have a minimum two (2) bicycle parking spaces;

(B) If more than seven (7) bicycle parking spaces are required, fifty percent (50%) of the spaces shall be covered. One hundred percent (100%) of all bicycle parking spaces for multi-family development of four (4) units and more shall be covered.

Response: This proposal shall meet the bicycle parking standards of this section. Five percent (5%) of the minimum number of automobile spaces (42) equates to a minimum of two (2) bicycle parking spaces. Proposed bicycle parking spaces will be provided within 50 feet of the main entrance to the showroom. See A-102 Site Plan for more information.

17.48.060: CAR POOL AND VAN POOL PARKING

According to 17.48.060 – Car pool and van pool parking:

New industrial, institutional and office developments requiring full site design review, including government offices, with fifty (50) or more employee parking spaces, shall designate at least ten (10%) percent of the parking spaces for car pool or van pool parking. The car pool/van pool spaces shall be clearly marked "reserved - car pool/van pool only."

Response: This proposal does not involve new industrial, institutional or office development, therefore, this section does not apply to the review of this proposal.

17.50 Vehicular and Pedestrian Circulation

17.50.020: VEHICULAR AND PEDESTRIAN CIRCULATION GENERALLY

According to 17.50.020 – Vehicular and pedestrian circulation generally:

Vehicular and pedestrian circulation facilities, including walkways, provisions for the handicapped, interior drives and parking as provided under GMC Chapter 17.48 (off-street parking and loading), shall be designated as follows:

(1) Impervious Surface. Provide for least amount of impervious surface necessary to adequately serve the type and intensity of proposed land uses within developments as well as providing adequate access for service vehicles.

Response: The new display plaza utilizes permeable pavers in an effort to minimize and reduce the amount of impervious surface on site.

(2) Traffic Separation. Provide when feasible, a separation of motor vehicular, bicycle and pedestrian traffic.

Response: The new display plaza creates a separation from vehicular traffic and provides a safe accessible route to the showroom. A clearly designated customer parking area near the showroom reduces conflicts with circulation on site. See A-102 Site Plan for more information.

(3) Curbs and Sidewalks. Provide curbs, associated drainage, and sidewalks within the right-of-way or easement for public roads and streets.

Response: Curbs and sidewalks currently exist along McLoughlin Blvd and West Arlington Street. No modifications are proposed at this time.

(4) Traffic Volume Expansion. Provision shall be made to accommodate any increased volume of traffic resulting from the development. If streets adjacent to or serving the site are inadequate, widening, dedication of property for future widening, or other street improvements may be required. The development shall be designed to minimize traffic volume increases on minor streets and underdeveloped streets.

Response: Because the use is staying the same, and the expansion of building footprint is minimal, traffic volume is not expected to increase.

(5) Handicapped Needs. Provide for the special needs of the handicapped such as wheelchair ramps and braille signs.

Response: All work that falls under the scope of this proposal will meet current ADA standards. See A-102 Site Plan for ADA parking space locations. The location of the new ADA parking space near the showroom appears to be located further from the main entrance than other spaces, however, this is necessary in order to provide a route with an approved accessible slope.

(6) Pedestrian Circulation Standards. An on-site pedestrian circulation system shall be provided for new non-residential and multi-family developments and for new buildings added to existing non-residential and multi-family developments. The system shall comply with the following standards:

(a) The system shall connect all adjacent streets to the main entrances of non-residential buildings and to unit and/or building entrances of multi-family developments;

(b) The system shall connect all buildings and other areas of the site, such as parking areas, bicycle parking, recreational areas, common outdoor areas and any pedestrian amenities.

(c) The system shall be hard-surfaced. For non-residential development, the system shall be a minimum of six feet (6') wide. For multi-family residential development, the system shall be a minimum of five feet (5') wide.

(d) The system and off-street parking and loading areas shall be designed to avoid, to the maximum extent possible, the system's crossing off-street parking and loading areas. Where the system crosses driveways or off-street parking and loading areas, the system shall be clearly identifiable through the use of elevation changes, speed bumps, a different paving material or other similar method. Striping shall not fulfill this requirement;

(e) Where the system is parallel and adjacent to an auto travel lane, the system shall be a raised path or be separated from the auto travel lane by a raised curb, bollards, landscaping or other physical barrier. If a raised path is used, the ends of the raised portions shall be equipped with curb ramps;

(f) The system shall comply with the Americans with Disabilities Act (ADA).

Response: See A-102 Site Plan for the proposed on-site pedestrian circulation system. Per 17.50.020 (c), the system will be hard-surfaces at a minimum of 6'-0" wide for non-residential development. Where pedestrian circulation crosses driveways, the system will utilize elevation changes, speed bumps, or a different paving material. The on-site pedestrian circulation system shall comply with current ADA standards.

(7) New industrial, institutional, retail and office developments requiring full site design review that, when completed, generate an average daily traffic of 1,000 trips or greater based on the most recent edition of Institute of Transportation Engineers Report on Generation shall provide either a transit stop on-site or connection to a transit stop along a transit route when the transit operator requires such an improvement.

Response: A transit stop is currently located along McLoughlin Blvd approximately 25'-0" from the NW corner of the showroom. No modifications are proposed to the location of this transit stop.

17.52 Signs

17.52.040: GENERAL PROVISIONS

According to 17.52.040 – General Provisions:

(1) Permit required. Unless exempted under this chapter, a permit is required to place, construct, erect, display or modify a sign.

Response: A separate sign permit will be submitted for all proposed signage on site. See A-222 Exterior Elevations for proposed site sign elevations.

(2) Review process. The city administrator or his designee will review applications for sign permits for compliance with this chapter unless otherwise stated in this chapter. The city administrator's decision will be rendered in accordance with GMC 17.94 and may be appealed in accordance with GMC 17.92.

(3) Structural code compliance. A sign must comply with the applicable provisions of the State of Oregon Structural Specialty Code and any related or similar provisions adopted by the City, unless such compliance is modified by this chapter.

(4) Sign clearance. A minimum clearance of eight (8) feet above sidewalks and fifteen (15) feet above driveways must be provided under a freestanding sign.

Response: All proposed signage will meet the minimum clearance requirements stated above in addition to meeting all current structural requirements. See A-222 Exterior Elevations for proposed site sign elevations.

(5) Vision and sight consideration. A sign must be situated in a manner so as not to adversely affect public safety. Compliance with the City's regulations regarding clear vision is required.

(6) Blanketing. A sign must not be situated in a manner that results in the blanketing or obfuscation of an existing sign on an adjacent property.

Response: All proposed signage will meet the requirements of vision clearance areas, and no proposed sign will obfuscate the visibility of signage on adjacent properties. See A-222 Exterior Elevations for proposed site sign elevations.

(7) Illuminated signs and electric elements.

(a) A sign illuminated in any manner must shield, deflect or otherwise prevent the light illuminating the sign from shining into or onto a neighboring property or impair the vision of any vehicle operator;

(b) No sign or illuminating device associated with a sign may have blinking, flashing or fluttering lights, except as otherwise allowed under this chapter;

(c) No sign or illuminating device associated with a sign may be used in a manner that may be confused with or construed to be traffic signals, traffic control devices, or lights on emergency vehicles;

(d) Except as otherwise provided in this chapter, an illuminated sign cannot be located closer than twenty-five (25) feet to a lot in a residential zoning district;

(e) The light intensity of an illuminated sign or illuminating device associated with a sign must conform to the accepted standards of the sign industry, as provided by the Oregon Electric Sign Association.

(f) A sign containing any electrical components or elements, or illuminated by electrical lighting must be approved under the National Electric Code, as modified by Oregon's regulations, and any related or similar provisions adopted by the City.

(g) An illuminated sign or illuminating device associated with a sign requiring an electric power source must use an Oregon-approved power outlet.

(h) As used in this chapter:

(A) A "directly" illuminated sign means a sign with exposed lighting or neon tubes on the sign's face, and includes a sign where the message or image is created by light projected onto a surface.

(B) An "indirectly" illuminated sign means a sign with light source that is separate from the sign face and is directed to shine onto the sign.

(C) An "internally" illuminated sign means a sign where the light source is not exposed and is concealed within the sign.

Response: All proposed illuminated signage will deflect the lighting from impairing the vision of vehicle operators. No proposed signage will have blinking, flashing, or fluttering lights. No proposed signage will have lighting which would be confused as traffic signals. Light intensities and electrical components of proposed illuminated signs will meet all current standards. See A-222 Exterior Elevations for proposed site sign elevations.

(8) Moving signs. Except as otherwise allowed under this chapter, a sign must remain in a static state, and cannot be designed to rotate, flutter or appear to move.

(9) Maintenance and hazards.

(a) A sign must be in good repair and maintained in a neat, attractive and safe condition, and no sign may be used or situated in a manner that creates a hazard to the public.

(b) Failure to use a sign's copy area for a period of more than twelve (12) consecutive months will constitute a discontinuance of the sign's use and may be declared a nuisance by the City.

Response: No moving signs will be proposed under the scope of this proposal.

(10) Nonconforming signs. A sign that lawfully exists at the time this chapter or any amendment thereto becomes effective, but does not conform to this chapter's standards, may only be altered if:

(a) The alteration does not increase a sign's nonconformity with this chapter's standards; and

(b) The alteration is reviewed under this chapter.

(c) Nonconforming government owned or maintained signs may be altered to the extent of their existing nonconformity notwithstanding this chapter's standards.

Response: The scope of this proposal does not seek to modify any existing nonconforming signage on site.

(11) Setbacks.

(a) Unless otherwise stated herein, the minimum setback for a sign with a sign face of twenty-four (24) square feet or less in area is one-half of the minimum setback required in the zoning district in which the sign is located. If no setback exists, the sign must be located in an area that ensures it does not compromise public safety, as determined by the city administrator or designee.

(b) Unless otherwise stated herein, the minimum setback for a sign with a sign face greater than twenty-four (24) square feet in area is the same as the minimum setback required in the zoning district in which the sign is located. If no setback exists, the sign must be located in an area that ensures it does not compromise public safety, as determined by the city administrator or designee.

Response: Proposed signage will meet the minimum setback requirements for the General Commercial District (C-3).

(12) Area Calculation.

(a) Unless otherwise stated herein, the sign face area limitations established by this chapter will apply on a per-side basis. Every sign is limited to a maximum of two (2) sides.

(b) Sides may be of no greater area than that necessary to provide a frame or support structure to the sign face.

(c) For signs that are allowed a maximum area of twenty-four (24) square feet or more:

(A) Sides cannot exceed the maximum area standard by more than one (1) foot in width, unless the applicant demonstrates to the city administrator's satisfaction that a greater width is necessary to provide adequate support for the sign faces; and

(B) Two (2) support poles may be excluded from the area calculation provided that the caliper of any pole does not exceed one (1) foot, unless the applicant demonstrates to the city administrator's satisfaction that a greater caliper is necessary to provide adequate support for the sign.

(d) For signs required to have a maximum area of less than twenty-four (24) square feet:

(A) Sides cannot exceed the maximum area standard by more than six (6) inches in width, unless the applicant demonstrates to the city administrator's satisfaction that a greater width is necessary to provide adequate support for the sign faces; and

(B) One (1) support pole may be excluded from the area calculation provided that the caliper of any pole does not exceed six (6) inches, unless the applicant demonstrates to the city administrator's satisfaction that a greater caliper is necessary to provide adequate support for the sign.

(e) Support structures excluded from the area calculation may only contain copy or graphics to the extent that such markings are placed on the support structures by the structures' manufacturer.

(f) Requests to allow sides to exceed the maximum widths or to allow support poles to exceed the maximum calipers established herein will be reviewed pursuant to the GMC's design review standards. In no event may a side exceed a maximum width by more than two (2) feet, or may a caliper be larger than two (2) feet.

Response: All proposed signage will meet the area calculation requirements as stated in this section. See A-222 Exterior Elevations for proposed site sign elevations.

(13) Definitions.

(a) "Electronic message center sign" is a sign whose informational content can be changed or altered by electronic means and whose message is typically delivered through the use of LED lights.

(b) "Freestanding sign" is a ground or pole mounted sign not attached to a building, but does not include a portable A-frame sign.

(c) "On-building sign" is a sign attached to any part of a building.

(d) "Portable A-frame sign" or "A-frame" is a sign with two (2) sides, the frame or support structure of which is hinged or connected at the top of the sign in such a manner that the sign is easily moved and erected.

(e) "Temporary sign" is a sign that historically advertised events of a limited duration, such as political campaigns, real estate sales, special sales, etc. As opposed to other signs permitted under this chapter, temporary signs cannot be displayed permanently. For this chapter's purposes, a temporary sign may be a freestanding or on-building sign, but cannot be an A-frame sign.

Response: Proposed signage under the scope of this proposal will include freestanding signs and on-building signs. See A-222 Exterior Elevations for proposed site sign elevations.

17.52.070: SIGNS IN COMMERCIAL AND INDUSTRIAL DISTRICTS

According to 17.52.070 – Signs in commercial and industrial districts:

(1) Freestanding signs. Freestanding signs are allowed in commercial and industrial zones.

(a) Number. One (1) freestanding sign is allowed for a development or complex, even when more than one tax lot or ownership is included in the development. A second freestanding sign is permitted in the following cases:

(A) If the development has a public vehicular access point on each of two (2) or more streets, and two (2) freestanding signs are desired, each must be located at access points on different streets; or

(B) The development has more than three hundred (300) feet of continuous frontage on a major arterial. In this instance, the combined sign face area of the two freestanding signs cannot exceed the area allowed under GMC 17.52.070(1)(c)(B).

(C) Regardless of whether a development qualifies under 1(a)(A) and 1(a)(B) above, no more than two (2) freestanding signs will be permitted.

(b) Height.

(A) Pole signs: The maximum height of a freestanding pole sign is twenty (20) feet from the ground.

(B) Monument signs: The maximum height of a monument sign is five (5) feet from the ground.

(c) Area. The maximum sign face area for a freestanding sign is forty (40) square feet. The maximum sign face area for a freestanding sign may be exceeded only in the following instances:

(A) The applicant demonstrates that an increased sign face area is warranted due to one or more of the following factors. Under this subsection, the maximum sign face area cannot exceed sixty (60) square feet.

(i) The development upon which the sign will be placed is significantly larger than other developments in the City;

(ii) The sign will be constructed of wood, brick or stone, or a combination of the same, and illuminated indirectly;

(iii) An electronic message sign or other changeable text copy sign will be included, as permitted by this chapter.

(B) The property has frontage on a major arterial, in which case the sign face area may be one-half (1/2) of a square foot per lineal foot of major arterial frontage. Regardless of total frontage, the maximum sign face area under this subsection cannot exceed two hundred (200) square feet.

(d) Illumination. A freestanding sign may be internally or indirectly illuminated consistent with this chapter's standards regarding the illumination of signs.

Response: This site has more than 300 feet of continuous frontage on a major arterial (McLoughlin Blvd), therefore, the development is allowed a maximum of two (2) freestanding signs with a combined area not to exceed 200 square feet. See A-222 Exterior Elevations for proposed site sign elevations.

(2) On-building signs. On building signs are allowed in commercial and industrial zones.

(a) Number. The maximum on-building sign face area may be distributed among any number of signs.

(b) Area. The maximum on-building sign area is calculated as follows:

(A) If no freestanding sign exists for a development, the maximum on-building sign face area for each tenant of that development is one and one-half (1½) square feet per lineal foot of the tenant's primary building wall.

(B) If a freestanding sign exists for a development, the maximum on-building sign face area for each tenant of that development is one (1) square foot per lineal foot of the tenant's primary building wall.

(C) Each tenant is allowed a minimum of thirty-two (32) square feet of on-building sign face area.

(D) No individual on-building sign may exceed two hundred (200) square feet in sign face area.

(c) Wall graphics. The use of external walls for graphics, artwork or other displays shall be subject to this chapter's limitations for on-building signs.

(d) Illumination. An on-building sign may be internally or indirectly illuminated consistent with this chapter's standards regarding the illumination of signs.

- (e) Alternative to on-building sign. A monument sign within a development is permitted as an alternative to an on-building sign provided the monument sign:
- (A) Is located in front of the building with which it is associated;
 - (B) Does not exceed twelve (12) square feet in total area;
 - (C) Does not exceed five (5) feet in height; and
 - (D) Uses materials and colors that are the same, or substantially the same, as those used on the building associated with the sign.
 - (E) A monument sign meeting the standards of this subsection is permitted in addition to any freestanding sign otherwise permitted by this chapter.

Response: Because freestanding signs will occur on the development under the scope of this proposal, the maximum on-building sign face area will equal one (1) square foot per lineal foot of primary building wall with no individual sign exceeding 200 square feet. See A-222 Exterior Elevations for proposed site sign elevations.

- (3) Changeable Copy Signs. Electronic message center signs or manually changeable copy signs (a.k.a. "readerboards"), may be incorporated into a freestanding or on-building sign subject to the following provisions.
- (a) Number. Only one (1) such sign is allowed in a development.
 - (b) Area. Such a sign will be included in the maximum area allowed for a freestanding or on-building sign.
 - (A) An electronic message center sign cannot comprise more than thirty percent (30%) of the sign's area of which it is a part.
 - (B) A manually changeable copy sign cannot comprise more than eighty percent (80%) of the sign's area of which it is a part.
 - (c) Design. A changeable copy sign must be integrated into the design of the freestanding or on-building sign of which it is a part.
 - (d) Duration. If an electronic message center sign displays a segmented message, the entire message must be completed within ten (10) seconds.
 - (e) Integration required. A changeable copy sign will only be permitted if it is part of a freestanding or on-building sign. This subsection does not allow for such signs to be displayed independent of a freestanding or on-building sign.

Response: No changeable copy signs will be proposed under the scope of this proposal.

- (4) Portable A-frame signs. Portable A-frame signs are allowed in commercial and industrial zones.
- (a) Number. One (1) A-frame sign is allowed per business. If no business exists on a parcel of property, then one (1) A-frame sign is allowed for that property. If a business or property, as relevant, uses an A-frame sign, then a temporary sign under 17.52.100 cannot be erected.
 - (b) Location. An A-frame sign must be located within a property's setback, or within another commercially or industrially zoned business's setback, except as provided below.
 - (A) If the sign is located on another commercially or industrially zoned property, the sign owner must obtain written consent from the business's owner, or from the property's owner if no business exists on the property. As only one (1) A-frame sign is allowed per business or property, as relevant, this consent must also explicitly waive the owner's right to an additional A-frame sign.
 - (B) For properties without setbacks, or for properties that directly abut a sidewalk, the sign cannot impede pedestrian access along the business's frontage. A sign placed on or near a sidewalk must allow for at least five (5) feet of unobstructed sidewalk width.

(C) An A-frame sign cannot be placed within a roadway, or in medians, traffic islands or any other area within a roadway. Any sign so placed constitutes a safety hazard any may be removed by the City.

(c) Height. The maximum height of an A-frame sign is four (4) feet.

(d) Area. The maximum sign face area for an A-frame sign is six (6) square feet per side.

(e) Duration. A-frame signs may be displayed permanently, and may be displayed when a business is closed.

(f) Business license. After initial issuance of a permit for an A-frame sign, the permit will be renewed contemporaneously with business license renewal on an annual basis.

(A) The city administrator or designee will provide a permit form to be completed by and issued to the sign's owner prior to the owner's use of an A-frame sign. The form will include an acknowledgement by the sign's owner of the City's rules regarding A-frame signs, describe the precise location of the sign, and include other information necessary to ensure compliance with the City's sign code.

(B) If an A-frame sign owner's business license expires or is otherwise rendered invalid, the owner's use of its A-frame sign is prohibited until a new business license is issued.

(C) A business cannot obtain more than one (1) business license in order to have more than one (1) A-frame sign.

Response: No portable A-frame signs will be proposed under the scope of this proposal.

(5) Other signs in commercial and industrial districts. Signs under this subsection are allowed within commercial and industrial zones. Signs allowed under this subsection are in addition to other signs permitted under this chapter.

(a) Internal Sign.

(A) Location. An internal sign must be directed at visitors who have entered a given development, and not be directed to traffic passing by the development. To that end, the minimum setback for an internal sign is two (2) times the minimum setback required in the zoning district in which the internal sign is located, or at another location that ensures the sign is only directed at visitors of a development, as determined by the city administrator or designee. An internal sign traditionally identifies tenants or destinations within a development and directs traffic to such tenants or destinations.

(B) Area. The maximum area allowed for an internal sign is forty (40) square feet.

(C) Number. A development may have no more than four (4) internal signs, and the total aggregate area for all such signs cannot exceed forty (40) square feet.

(D) Height. An internal sign cannot exceed five (5) feet in height.

(E) Sight distance. An internal sign cannot obscure sight distance for on-site traffic.

(b) External Sign.

(A) Location. As opposed to an internal sign, an external sign may only be directed at traffic passing by or leaving a development. To that end, the setback for an external sign is one-half (1/2) of the minimum setback required in the zoning district in which the external sign is located, or at another location that ensures the sign is only directed at traffic passing by or leaving a development, as determined by the city administrator or designee. An external sign traditionally directs traffic to or from a given development.

(B) Area. The maximum area allowed for an external sign is three (3) square feet.

(C) Number. A development may have two (2) external signs per frontage.

(D) Height. An external sign cannot exceed four (4) feet in height.

(E) Clear vision. An external sign must comply with all corner vision and clear vision requirements.

Response: All proposed internal and external signage will meet the requirements of this section. See

A-222 Exterior Elevations for proposed site sign elevations.

17.54 Clear Vision

17.54.020: CLEAR VISION AREA

According to 17.54.020 – Clear vision area:

(1) Obstruction Prohibited. On property at any corner formed by the intersection of two streets, or a street and a railroad, it is unlawful to install, set out or maintain, or to allow the installation, setting out or maintenance of any sign, fence, hedge, shrubbery, natural growth or other obstructions to the view higher than three feet above the level of the center of the adjacent intersection with that triangular area between the property line and a diagonal line joining points on the property lines at the distance from the intersection specified in this regulation. In the case of rounded corners, the triangular areas shall be between the lot lines extended in a straight line to a point of intersection and so measured, and a third side which is a line across the center of the lot joining the nonintersecting ends of the other two sides. The following measurements shall establish clear-vision areas:

Right-of-Way (in feet)	Measurement Each Lot Line (in feet)
80'	20'
60'	30'
50' or less	40'

Response: Clear vision will be maintained at the intersection of McLoughlin Blvd and West Arlington Street. McLoughlin Blvd has a minimum 80'-0" ROW and West Arlington Street has a minimum 60'-0" ROW. 20'-0" of clear vision area will be maintained along McLoughlin Blvd and 30'-0" will be maintained along West Arlington Street. See A-102 Site Plan for clear vision areas.

(2) Exceptions. Provisions set out in Subsection (1) of this section shall not apply to:

(a) Public utility poles; trees trimmed (to the trunk) to a line at least eight feet (8') above the level of the intersection; provided, that the remaining limbs and foliage of the trees must be trimmed as to leave, at all seasons, a clear and unobstructed cross-view of the intersection; saplings, or plant species of open growth habits and not planted in the form of a hedge, which are so planted and trimmed as to leave at all seasons a clear and unobstructed cross-view of the intersection, supporting members of appurtenances to permanent buildings existing on the date when this ordinance in this Chapter becomes effective; official warning signs or signals; places where the contour of the ground is such that there can be no cross-visibility at the intersection; or to signs mounted ten or more feet above the ground and whose supports do not constitute an obstruction as described in Subsection (1) of the section.

(b) At a driveway serving a parking lot with capacity of more than eight automobiles and at corners of an intersection of a street controlled by stop signs or a traffic signal if the street intersection or driveway has an unobstructed sight distance specified in a 2001 publication titled "A Policy on Geometric Design of Highways and Streets" prepared by the American Association of State Highway and Transportation Officials (AASHTO), summarized in the table below; however, the Planning Commission may approve a driveway location with less than minimum intersection sight distance if no other suitable location is available:

Posted Speed Limit	Minimum Intersection Sight Distance
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20	225 ft.
25	280 ft.
30	335 ft.
35	390 ft.
40	445 ft.
45	500 ft.

Response: There is an existing drive at the entrance along McLoughlin Blvd and an existing drive at the entrance along West Arlington Street. No modifications are being proposed to the drives under the scope of this proposal, however, any modifications to the site surrounding the drives will meet the requirements for clear vision. The posted speed limit for McLoughlin is 40MPH, which requires 445 feet of sight distance when the drive is located at an intersection. The posted speed limit for West Arlington Street is 25MPH, which requires 280 feet of sight distance when located at an intersection. See A-102 Site Plan for more information.

17.56 Drainage

17.56.020: STANDARDS

According to 17.56.020 – Standards:

Adequate provisions shall be made to ensure proper drainage of surface waters, to preserve natural flow of watercourses and springs and to prevent soil erosion and flooding of neighboring properties or streets. Such provisions shall include, but not be limited to the following:

- (1) Generally. All development shall be planned, designed, constructed and maintained to:
 - (a) Protect and preserve existing drainage channels to the maximum practicable extent;
 - (b) Protect development from flood hazards;
 - (c) Provide a system by which water within the development will be controlled and managed without causing damage or harm to the natural environment, or to property or persons within the drainage basin;
 - (d) Assure that waters drained from new or redevelopment sites are substantially free of pollutants, including sedimentary materials, through the use of stormwater treatment facilities as referenced herein and appropriate erosion and sediment control practices;
 - (e) Assure that runoff drained from new and redevelopment sites is managed in accordance with criteria outlined in the City of Gladstone Stormwater Treatment and Detention Standards as to not cause erosion to any greater extent than would occur in the absence of development;
 - (f) Avoid placement of surface detention or retention facilities in road rights of way.
- (2) Watercourses. Where culverts cannot provide sufficient capacity without significant environmental degradation, the city may require the watercourse to be bridged or spanned.
- (3) Easements. In the event that a development or any part thereof is traversed by any watercourse, channel, stream or creek, gulch or other natural drainage channel, adequate easements for storm drainage purposes shall be provided to the city. This does not imply maintenance by the city.
- (4) Obstructions. Channel obstructions are not allowed, except as approved for the creation of a detention or retention facility. Fences with swing gates may be utilized.
- (5) Surface Drainage and the Storm Sewer System. Stormwater treatment and detention facilities shall be designed and installed in accordance with criteria outlined in the City of Gladstone Stormwater Treatment and Detention Standards.

Response: See Civil drawings for all proposed site grading and drainage plans. The proposed improvements to the site will not alter the existing private storm system or create stormwater runoff that leaves the site. The existing storm system is a combination of piped storm drainage routed to drywells, and a piped storm connection to the public storm system in Berkely Street. The proposed building remodel will reconnect to the existing private storm system. The parking lot improvements will decrease the amount of impervious area by installing a pervious paver system. Erosion control measures shown on the plans shall be installed prior to any earth disturbing construction activities, such that sediment laden stormwater runoff does not leave the site or enter the storm drainage system.

17.58 Grading and Fill

17.58.020: GENERAL PROVISIONS

According to 17.58.020 – General Provisions:

(1) Grading of Building Sites. Grading and fill of building sites shall conform to Chapter 70 of the Uniform Building Code. The character of soil for fill and the characteristics of lots and parcels made usable by fill shall be suitable for the purpose intended. When deemed necessary, the building official may require geological studies to determine the suitability of the site.

(2) U.B.C. Requirements. The building official shall enforce Chapter 70 of the U.B.C. and shall require soils reports and/or engineering studies before issuing a building permit for fill, excavation, construction or related activities involving soils with restrictive features such as instability, wetness, flooding or other limitations.

Response: See Civil drawings for all proposed site grading and drainage plans. The proposed grading and fill will be in accordance with current standards.

17.60 Utilities

17.60.020: STANDARDS

According to 17.60.020 – Standards:

Utility services and facilities shall be appropriate to the scale and type of development and consideration shall include, but not be limited to the following standards:

(1) Site Disturbance. The location, design, installation and maintenance of all utility lines and facilities shall be carried out with minimum feasible disturbances of soil and site.

(2) Electricity, Gas, Communications. All development which has a need for electricity, gas and communications services shall install them pursuant to the requirements of the district or company servicing the development. Except where otherwise prohibited by the utility district or company, all such facilities shall be underground.

(3) Underground Facilities. The developer shall make necessary arrangements with utility companies or other persons or corporations affected for the installation of underground lines and facilities. Electrical lines and other wires, including but not limited to communication, street lighting and cable television, shall be placed underground.

Response: All proposed modifications or alterations to existing utilities will be with minimal disturbance to the soil and existing site. Alterations will also require coordination with the appropriate utility companies prior to installation.

(4) Sanitary Sewers. All development which has a need for sanitary sewers shall install the facilities pursuant to the requirements set forth by the public works department. Installation of such facilities shall be coordinated with the extension of necessary water services and storm drainage facilities.

Requirements for development shall include the following:

(a) Sanitary sewers shall be installed to city standards to serve or be available to all development. Design shall take into account the capacity and grade to allow for desirable extension beyond the development. If required, sewer facilities will, without further sewer construction, be sized to directly serve property outside the development;

(b) If the area outside the development to be directly served by the sewer line has reached a state of development to justify sewer installation at the time, the Planning Commission may recommend to the City Council construction as an assessment project with such arrangement with the developer as is desirable to assure financing his share of the construction. If it is determined by the city that a larger sized line than normally required to serve the property is desirable to provide for future extension, the city will reimburse the developer the difference in cost of pipe between that required to serve the development and that stipulated by the city;

(c) In areas that will not be served by a public sewer, the minimum lot and parcel sizes shall permit compliance with the requirements of the department of environmental quality and shall take into consideration problems of sewage disposal, particularly problems of soil structure and water table as related to sewage disposal by septic tank.

Response: No modifications are being proposed to the existing sanitary sewer lines under the scope of this proposal.

(5) Water Services. All development which has a need for water service shall install water facilities and grant necessary easements pursuant to the requirements of the utility district serving the development. In addition, requirements for development shall include the following:

(a) Water lines to serve residential developments shall be a minimum six inch (6") nominal diameter and water lines to service commercial and industrial developments shall be a minimum eight inch nominal diameter with valves and fire hydrants serving each building site in the development and connecting the development to city mains shall be installed. Prior to starting building construction, the design shall take into account provisions for extension beyond the development and to adequately grid the city system. Hydrant spacing to be based on accessible area served according to A.I.A. recommendations and as approved by the Fire Chief;

(b) If the city determines that a water line size greater than the required minimum in diameter is required to provide for future extension of the water system, the city will reimburse the developer the difference in cost of pipe and valves between that of the minimum diameter and the size stipulated by the city.

Response: No additional plumbing fixtures are being proposed under the scope of this proposal.

(6) Coordination with Street Surfacing. All underground utilities, sanitary sewers and storm drains installed in streets by the developer or by any utility company shall be constructed prior to the surfacing of the streets. Stubs for service connections for underground utilities and sanitary sewers shall be placed to a length minimizing the necessity for disturbing the street improvements when service connections are made.

Response: Resurfacing of streets will not be required under the scope of this proposal.

(7) As-built Submittals. A map showing all public improvements, as built, shall be filed with the city engineer upon completion of the improvements.

Response: Any modifications to existing public improvements shall be filed with the city upon completion.

(8) Conditions for Refund to Developer.

(a) If required water mains or sewer facilities will without further construction other than individual laterals, directly serve properties outside the development, the city may enter into an agreement with the developer to require owners of the other benefiting properties to refund to the developer, a pro rata portion of the cost of the extension prior to allowing the benefiting property to connect thereto;

(b) Any such agreement shall contain a provision that the developer agrees to completely indemnify and hold harmless the city for any claim or injury or action arising from the city's administration of such agreement;

(c) The right to require such a refund shall not continue for more than ten years after the date of installation of the extension;

(d) The amount to be refunded and the individual proration of the same shall be determined by the city and such determination shall be final.

Response: Current water mains and sewer facilities already service the site, therefore, this section does not apply to the review of this proposal.

17.76 Exceptions

17.76.020: NONCONFORMING USES AND NONCONFORMING DEVELOPMENTS

According to 17.76.020 – Nonconforming uses and nonconforming developments:

(1) Continuance of a Nonconforming Use or a Nonconforming Development: Alteration of a Nonconforming Development. Except as provided herein, a nonconforming use may be continued but may not be altered or extended. The extension of a nonconforming use to a portion of a development which was arranged or designed for the nonconforming use at the time of passage of the ordinance codified in this title is not an enlargement or expansion of a nonconforming use. A nonconforming development which conforms with respect to use may be altered or extended provided the alteration or extension conforms to the standards of this title.

Response: This proposal involves the alteration of a nonconforming development. Current landscaping requirements of 15% are not being met. Current parking requirements are not being met. The proposal will meet the requirements set forth by the GMC for alterations of an existing nonconforming development.

(2) Discontinuance of a Nonconforming Use. If a nonconforming use is discontinued for a period of one (1) year, further use of the property shall conform to this title.

(3) Maintenance. Normal maintenance of structures and premises that are part of a nonconforming use shall be permitted provided there are no significant use or structural alterations. Normal maintenance may include painting, roofing, siding, interior remodeling, electrical work, plumbing work, re-paving of access roads and parking/loading areas, replacement of landscaping elements or other similar tasks. Normal maintenance does not include increasing the number of dwelling units, constructing new structures or constructing additions to existing structures except to the extent that an addition is necessary to render a structure accessible to the disabled.

(4) Alterations Required by Law. Alteration of a nonconforming use shall be permitted when necessary to comply with any lawful requirement for alteration of the use or structures and premises associated with the use. Such alteration shall be subject to building, plumbing, electrical and other permit requirements in effect at the time the alteration is begun.

(5) Alterations Not Required by Law. A nonconforming use may be altered, expanded or changed to another nonconforming use pursuant to GMC Division VII (administrative procedures) and subject to the following criteria:

(a) The alteration, expansion or change of use will, after the imposition of conditions as authorized below, have no greater adverse impact on the neighborhood than the existing use. At a minimum, factors that shall be considered under this criterion include traffic generation, noise, vibration, smoke, dust, fumes, glare and visual compatibility with surrounding uses;

(b) Conditions of approval may be imposed on any alteration, expansion or change of use when deemed necessary to ensure the mitigation of any adverse impacts of such alteration, expansion or change of use. These conditions may include, but are not limited to, the following:

(A) Limiting the hours, days, place and manner of operation;

(B) Requiring design features that minimize environmental impacts such as noise, vibration, smoke, dust, fumes and glare;

(C) Requiring increased setbacks, lot area, lot depth and lot width;

(D) Limiting the building height, size, lot coverage and location on the site;

(E) Designating the size, number, location and design of vehicle access points;

(F) Requiring street right-of-way to be dedicated and streets to be improved;

(G) Requiring landscaping, screening, drainage and surfacing of parking and loading areas;

(H) Limiting the number, size, location, height and lighting of signs;

(I) Regulating the location and intensity of outdoor lighting; and

(J) Requiring a sight-obscuring fence or hedge to screen the nonconforming use from adjacent or nearby property.

Response: This is not a site of a nonconforming use, therefore, Sections 17.76.020 (2) through 17.76.020 (5) do not apply to the review of this proposal.

(6) Destruction of a Nonconforming Use or a Nonconforming Development. If a nonconforming use or a nonconforming development is destroyed by any cause to an extent exceeding seventy-five percent (75%) of its fair market value as indicated by the records of the Clackamas County Assessor, a future use or development on the site shall conform to the requirements of this title. Nonconforming single-family dwellings shall not be deemed nonconforming for the purpose of this subsection and may be replaced regardless of the extent of destruction provided that replacement commences within one (1) year of destruction. Nonconforming two-family dwellings in the R-5 zoning district shall not be deemed nonconforming for the purpose of this subsection and may be replaced regardless of the extent of destruction provided that the number of stories and the area of the structure footprint of a replacement two-family dwelling shall not exceed those of the two-family dwelling being replaced and provided that replacement commences within one (1) year of destruction.

Response: The scope of this proposal does not seek to destroy to an extent exceeding 75% of the development's fair market value.

(7) Plans Otherwise Approved. Nothing contained in this chapter shall require any change in the plans, construction, alteration or designated use of a structure for which a building permit has been approved by the city and issued by Clackamas County and for which construction has commenced prior to the adoption of the ordinance codified in this title provided that the structure, if nonconforming or intended for a nonconforming use, is completed and in use within one year of the date the building permit is issued.

Response: All prior construction on site has been approved and permitted.

(8) Residential Uses. Nonconforming single-family dwellings, nonconforming two-family and multi-family dwellings in commercial and industrial zoning districts and nonconforming two-family dwellings in the R-5 zoning district shall not be deemed nonconforming for the purpose of expansion, remodeling or alteration for residential use or for residential accessory uses provided that there is no increase in the number of dwelling units other than the addition of an accessory dwelling unit when otherwise permitted by this title. The number of stories and the area of the structure footprint of a two-family dwelling in the R-5 zoning district shall not be increased.

Response: This is not a residential site, therefore, this section does not apply to the review of this proposal.

17.76.030: LOT SIZE REQUIREMENTS

According to 17.76.030 – Lot size requirements:

A lot of record that has an area less than the minimum lot area standard of the zoning district in which it is located may be developed with a use allowed in the zoning district. In a zoning district where dwellings are an allowed use, residential development shall be limited to one (1) single-family dwelling. Development on an undersized lot of record shall comply with other applicable standards of this title.

Response: According to Section 17.20.050 Dimensional Standards for the General Commercial District (C-3), there is no minimum lot area standard established for the use of an auto dealership. See Section 17.20.050 Dimensional Standards for more information.

17.76.040: SETBACK REQUIREMENTS

According to 17.76.040 – Setback requirements:

The following exceptions to setback requirements may be authorized for a lot in any zoning district:

(1) Average of Adjacent Front Setbacks. *If there are buildings on both abutting lots which are within one hundred feet (100') of the intervening lot, and the buildings have front setbacks of less than the minimum for the zoning district, the front setback for the intervening lot need not exceed the average front setback of the abutting lots or ten feet (10'), whichever is greater. However, in all cases the minimum front setback requirement of the zoning district shall be maintained for a garage or carport if the garage vehicle entrance or an open side of the carport faces the front lot line.*

(2) Related to Abutting Front Setbacks. *If there is a building on one (1) abutting lot which is within one hundred feet (100') of the lot, and this building has a front setback of less than the minimum for the zoning district, the front setback for the lot need not exceed the average of the front setback of the abutting lot and the minimum front setback for the zoning district, or ten feet (10'), whichever is greater. However, in all cases the minimum front setback requirement of the underlying zoning district shall be maintained for a garage or carport if the garage vehicle entrance or an open side of the carport faces the front lot line.*

(3) Corner Lots with Frontage on a Private Street. *Where a corner lot has frontage on a public street and also has frontage on a private street from which it does not receive vehicular access, the lot line abutting the private street shall be considered a side lot line for the purpose of determining the minimum setback requirement.*

(4) Front Setbacks from Private Streets or Flag Lot Accesses. *Where the front lot line of a lot in an R-5 or R-7.2 zoning district abuts a private street or the narrow deeded strip of land or easement providing access to a flag lot, the front setback may be reduced to ten feet (10'). However, if a garage vehicle entrance or an open side of a carport faces the front lot line, a minimum setback of twenty feet*

(20') shall be maintained between the garage or carport and the interior edge of the private street or flag lot access drive.

(5) Flag Lots. For the purpose of determining the minimum setback requirements for a flag lot, the designation of front, rear and side property lines may be modified to allow flexibility in the placement of structures when one or both of the following conditions apply:

(a) It is not possible to extend the narrow deeded strip of land or easement providing access to the flag lot to serve additional lots due to physical conditions such as topography or existing development; or

(b) It is not necessary to extend the narrow deeded strip of land or easement providing access to the flag lot to serve additional lots because the subject property and adjacent property are fully developed or have adequate alternative access from existing streets.

(6) Fences and walls. There shall be no minimum setback requirements for fences and walls. Compliance with GMC Chapter 17.54 (clear vision) shall be required.

(7) Through lots. In the case of a through lot, either of the lot lines separating the lot from a street other than an alley may be designated by the property owner as the front lot line with the other such lot line designated as a rear lot line. However, in a residential zoning district, a minimum setback of twenty feet (20') shall be maintained between a garage vehicle entrance or an open side of a carport and a street.

Response: No modifications are being proposed to the existing setbacks on the site.

17.80 Submittal Requirements

17.80.061: SUBMITTAL REQUIREMENTS

According to 17.80.061 – Submittal requirements:

(1) An application for design review shall include a minimum of twelve (12) copies of the following plans drawn to scale. A project summary shall accompany the application when necessary to describe special circumstances such as a request for a minor exception pursuant to GMC Section 17.80.090 (minor exceptions).

Response: Twelve (12) copies of the plans drawn to scale on 22"x34" sheets will be provided with this submittal. See Section 17.80.090 for responses to minor exception requests for this proposal.

(a) Vicinity Map: The vicinity map shall show the location of the subject property relative to well-known landmarks in all directions and shall be at least four inches (4") by four inches (4") in size.

Response: See G-001 Cover Sheet for vicinity map.

(b) Site Plan: The site plan shall include the following:

(A) The applicant's entire property and the surrounding area to a distance sufficient to determine the relationship between the applicant's property and proposed development and adjacent property and development;

(B) Lot lines, dimensions and area of the subject property;

(C) Complete names, addresses and telephone numbers of the property owner, applicant and project designer;

(D) Natural features including, but not limited to, individual trees greater than six inches (6") in diameter at five feet (5') above the ground (identify the species), wooded areas, wildlife habitat areas, streams and stream corridors, marsh and wetland areas, underground springs, surface features such as

earth mounds and large rock outcroppings, significant views, natural drainage on the subject property and adjacent properties, areas of special flood hazard and potential geologic hazards such as areas of mass movement and soil hazards. Identify proposed alterations to natural features;

(E) Location, dimensions and names of all proposed rights-of-way and all existing rights-of-way within or adjacent to the subject property. Include proposed new curbs and sidewalks. Include existing curbs and sidewalks where necessary to show a connection to new curbs and sidewalks;

(F) Location and dimensions of existing and proposed easements, to which property they are conveyed and for what purposes(s). Include easements on the subject property and off-site easements conveyed to the subject property;

(G) Identification of existing uses of the subject property, including the location and exterior dimensions of existing structures. Identify whether existing structures will remain on the property or be removed;

(H) Location of proposed and existing utilities on the subject property and the location of adjacent off-site utilities to which on-site utilities will connect. Include water, sanitary sewer, storm drainage, gas, electric (including power poles) and other utilities;

(I) Location and exterior dimensions of all proposed structures;

(J) Relation of the subject property to nearby transit stops;

(K) Location and dimensions of individual parking spaces, parking lot access aisles, driveways and pedestrian and bicycle circulation;

(L) Lighting (include type);

(M) Service areas for trash disposal, recycling, loading and delivery and bicycle parking;

(N) Location of potential noise sources in the proposed development;

(O) Information about significant climatic variables including, but not limited to, solar potential, wind direction and wind velocity.

Response: See A-102 Site Plan for information requested for Sections 17.80.061 (1)(b)(A) – (O).

(c) *Grading Plan: The preliminary grading plan shall indicate where and to what extent grading will occur and shall include approximate proposed contour lines, slope ratios, slope stabilization proposals and natural resources protection proposals. Existing contour lines shall also be shown. Proposed and existing contour lines shall be shown at maximum intervals of two feet (2') for slopes less than ten percent (10%), five feet (5') for slopes between ten (10) and twenty percent (20%) and ten feet (10') for slopes exceeding twenty percent (20%). A slope analysis shall be provided showing portions of the site according to the following slope ranges: less than ten percent (10%), ten (10) to less than twenty percent (20%), twenty (20) to less than thirty-five percent (35%), thirty five percent (35%) to less than fifty percent (50%) and fifty percent (50%) or greater. Approximate area calculations shall be provided for each of these slope ranges.*

Response: See C-100 Grading and Erosion Control Plan.

(d) *Architectural Drawings:*

(A) *Building elevations and sections;*

Response: See A-221 & A-222 Exterior Elevations for proposed elevations. See A-321 & A-322 for proposed building sections.

(B) *Building materials, including color and type;*

Response: See A-221 & A-222 Exterior Elevations for building materials including color and type.

(C) Sufficient architectural details pertaining to exterior building materials, including samples and views from roads and other properties, as determined by the City Administrator or designee, to assure compliance with 17.44.020(4);

Response: See Appendix D for exterior finishes board. See Appendix F for existing and proposed perspective views of the development from McLoughlin Blvd.

(D) Floor plans.

Response: See A-121 First Floor Plan & A-122 Second Floor Plan.

(e) Landscape Plan: The landscape plan shall be at the same scale as the site plan and shall include:

- (A) Lot lines and adjacent rights-of-way;
- (B) Proposed structures and existing structures to remain;
- (C) Parking and loading areas and driveways;
- (D) Locations of proposed plants and existing plants to remain, keyed to a legend identifying botanical names, common names, sizes at planting and numbers;
- (E) Description of soil conditions and plans for soil treatment such as stockpiling of topsoil. Include plant selection requirements relating to soil conditions;
- (F) Erosion controls, including plant materials and soil stabilization, if any;
- (G) Irrigation systems;
- (H) Landscape-related structures such as fences, terraces, decks, patios, shelters, play areas, etc.;
- (I) Boundaries of open space, recreation or reserved areas to remain, access to open space and any alterations proposed;
- (J) Locations of pedestrian and bikeway circulation within landscaped areas;
- (K) Method of planting and maintenance.

Response: See L-100 Irrigation Plan & L-200 Planting Plan for information requested in Sections 17.80.061 (1)(e)(A) – (K).

(f) Signs:

- (A) Freestanding signs:
 - (i) Location on-site plan;
 - (ii) Elevation drawing (indicate size, total height, height between bottom of sign and ground, color, materials and means of illumination).
- (B) On-building signs:
 - (i) Building elevation with location of sign (indicate size, color, materials and means of illumination);
 - (ii) Site plan showing location of on-building sign in relation to adjoining property.

Response: See A-102 Site Plan for proposed location of freestanding signs. See A-221 and A-222 Exterior Elevations for elevations of proposed on-building signs.

(2) A transportation impact analysis shall be submitted if deemed necessary by the City Administrator or designee to assess the impacts of the proposed development.

Response: Unless requested by the City Administrator, the proposal does not warrant a transportation

impact analysis for this development. No modifications are being proposed to existing drives, and the increase in overall building footprint is minimal.

(3) *The City Administrator or designee may waive any submittal requirements of this chapter if they are deemed not necessary or not applicable due to the scale or nature of the development proposal.*

Response: See responses to each section to see whether that section has been deemed applicable or not applicable.

17.80.090: MINOR EXCEPTIONS

According to 17.80.090 – Minor exceptions:

(1) *Authority. In conjunction with the design review plan approval, the Planning Commission may grant minor exceptions from the following requirements:*

- (a) *Dimensional standards for yards required in the primary district;*
- (b) *Dimensional standards for off-street parking as required in GMC Chapter 17.48 (Off-Street Parking and Loading);*
- (c) *Minimum and maximum number of off-street parking spaces required in GMC Chapter 17.48 (Off-Street Parking and Loading).*

Response: This proposal will seek minor exceptions from the minimum number of off-street parking spaces required in GMC Chapter 17.48. See A-102 Site Plan for proposed off-street parking counts.

(2) *Limitations. No minor exceptions shall be greater than twenty-five percent (25%) of the requirement from which the exception is requested. Requests greater than twenty-five percent (25%) shall be subject to variance procedures.*

Response: The intent of this proposal is to not seek an exception which would exceed 25% of the requirement from which the exception is requested.

(a) *In the case of a minor yard exception for landscaping, the Planning Commission shall find that approval will result in:*

- (i) *More efficient use of the site;*
- (ii) *Preservation of natural features, where appropriate;*
- (iii) *Adequate provision of light, air and privacy to adjoining properties;*
- (iv) *Energy conservation; and*
- (v) *Adequate emergency access.*

(b) *In the case of a minor exception to the dimensional standards for off-street parking spaces or the minimum required number of off-street parking spaces, the Planning Commission shall find that approval will provide adequate off-street parking in relation to user demands. The following factors may be considered in granting such an exception:*

- (i) *Special characteristics of users which indicate low demand for off-street parking (e.g. low income, elderly);*
- (ii) *Opportunities for joint use of nearby off-street parking facilities;*
- (iii) *Availability of public transit; and*
- (iv) *Natural features of the site (topography, vegetation and drainage) which would be adversely affected by application of required parking standards.*

Response: This proposal will seek a minor exception to the minimum required number of off-street parking spaces. See A-102 Site Plan for proposed off-street parking spaces. The availability of public transit in addition to the natural topography of the site does not warrant the required number of off-street parking spaces on site.

(c) In the case of a minor exception to the maximum allowed number of off-street parking spaces, the Planning Commission shall find that approval will not result in excessive off-street parking relative to the user demand. The following factors shall be considered in granting such an exception:

(i) Special characteristics of users that indicate high demand for off-street parking. Characteristics generally attributable to the use classification upon which the maximum parking ratio is based shall not be considered "special characteristics" for purposes of this provision.

(ii) Lack of sufficient available on-street parking, public off-street parking or shared parking within one-quarter (1/4) mile walking distance of the subject site.

(iii) A study of parking demand, submitted by the applicant, for a use substantially similar to the one proposed.

Response: No exception will be sought to the maximum allowed number of off-street parking spaces on site.

Appendix A

COST BREAKDOWN



PERLO CONSTRUCTION
construction managers

Conceptual Cost Analysis - Armstrong VW Remodel

3/14/2014

Construction Costs	Quantity	unit	Current unit cost	Total Cost
Site Improvements	21,066	sf	\$ 15.00	\$ 315,990
New Showroom	3,950	sf	\$ 300.00	\$ 1,185,000
Modify Existing Showroom	2,214	sf	\$ 65.00	\$ 143,910
Modify Existing Service / Support Areas	2,939	sf	\$ 65.00	\$ 191,035
Modify Existing Service Drive	1,863	sf	\$ 25.00	\$ 46,575
New Vehicle Delivery Center	400	sf	\$ 120.00	\$ 48,000
New Service Entrance Frame	1	ea	\$ 50,000	\$ 50,000
Exterior Siding Allowance	8,500	sf	\$ 25.00	\$ 212,500
Total Construction Cost			\$	2,193,010

Items Not Included Above

Land Cost

Soft Costs:

Design

Geotechnical

Survey

Brokerage Commissions

Lending or Transaction Costs

Permits, fees and assessments

Appendix B

TAX MAP

This map was prepared for assessment purpose only.

S.E. 1/4 S.E. 1/4 SEC. 19 T.2S. R.2E. W.M.
CLACKAMAS COUNTY

D.L.C.
PETER M. RINEARSON NO. 41

2 2E 19DD
GLADSTONE

19800

CANCELLED 7L'S
2900
2900
2900
3300A1
302
304
3300A2
2800
2700
2800
100
300
300E1
2500

20000

SEE MAP 2 2E 20CC

20300

BOOK IS
2 2E 19DD
CLADSTONE



Appendix C

EXTERIOR LIGHTING CUT SHEETS

THE EDGE® ARE-EHO-AF-AA

High Output Area Luminaire – Automotive FrontlineOptic™ Technology – Adjustable Arm Mount

Product Description

THE EDGE® high output (HO) area luminaire is designed to deliver high lumen packages with precise optical control. Upgrade friendly unit features a slim, low profile design that minimizes wind load requirements and rugged die cast aluminum adjustable arm that mounts to a vertical 2" (51 mm) IP, 2.375–3" (60–76mm) O.D. tenon.

Performance Summary

Utilizes BetaLED® Technology

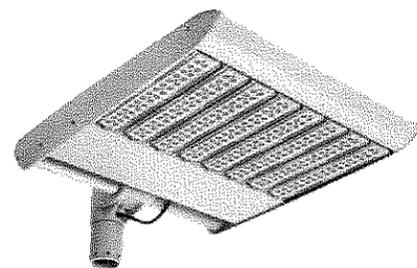
Patented NanoOptic® Product Technology

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

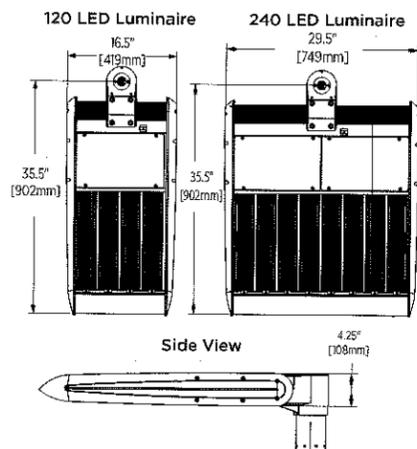
CCT: 5700K (+/- 500K) Standard, 4000K (+/- 300K)

Warranty: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish



Accessories

XA-BRDSPKXAK12 Bird Spikes for 120 LED luminaires
XA-BRDSPKXAK24 Bird Spikes for 240 LED luminaires



Ordering Information

Example: ARE-EHO-AF-AA-12-D-UL-SV-700-OPTIONS

ARE-EHO	AF	AA		D				
ARE-EHO	AF Automotive FrontlineOptic™	AA Adjustable Arm	12 24	D	UL Universal 120–277V UH Universal 347–480V	SV Silver (Standard) BK Black BZ Bronze PB Platinum WH White	700 700mA 1000* 1000mA	40K 4000K Color Temperature - Color temperature per luminaire DIM 0–10V Dimming - Control by others - Refer to dimming spec sheet for details - Can't exceed specified drive current F Fuse - When code dictates fusing, use time delay fuse R NEMA Photocell Receptacle - Photocell by others - Not available with UP option ML Multi-Level - Refer to ML spec sheet for details - Not available with 240 LEDs @ 1 Amp - Not available with UH voltage - Intended for downlight applications at 0° tilt UP Uplight Configuration - Product will be shipped orientated for upright installation

* Not available with UH voltage



Rev. Date: 10/16/2012



Product Specifications

BETALED™ TECHNOLOGY

Cree EDGE high output area luminaires are powered by BetaLED Technology delivering outstanding illumination, lasting performance and optimum energy efficiency. Patented NanoOptic® product technology optimizes target illumination, performance and offers flexibility with over 20 optic choices.

CONSTRUCTION & MATERIALS

- Slim, low profile, minimizing wind load requirements
- Luminaire sides are rugged die cast aluminum with integral, weather-tight LED driver compartments and high performance heat sinks
- Adjustable mounting arm is rugged die cast aluminum and mounts to 2" (51mm) IP 2.375-3" (60-76mm) O.D. vertical tenon
- Extruded aluminum adjustable mounting shaft
- Luminaire is adjustable from horizontal 90° towards pole and 120° away from pole
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultradurable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Standard is silver. Bronze, black, white, and platinum bronze are also available

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard
- When code dictates a slow blow fuse or type C/D breaker should be used to address inrush current

REGULATORY & VOLUNTARY QUALIFICATIONS

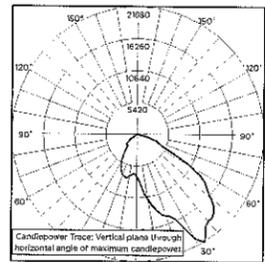
- cULus Listed
- Suitable for wet locations
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- RoHS Compliant
- Meets Buy American requirements within ARRA

PATENTS

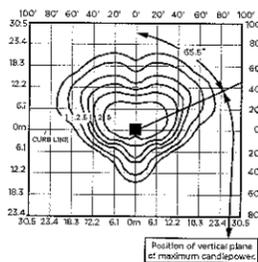
- Visit website for patents that cover these products:
Patents <http://www.cree.com/patents>

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by Independent Testing Laboratories, a NVLAP certified laboratory.



ITL Test Report #: 74357
ARE-EHO-AF-12-D-UL-1000-40K
Initial Delivered Lumens: 30,046



ARE-EHO-AF-12-D-UL-1000-40K
Mounting Height: 25' (7.6m)
Initial Delivered Lumens: 28,676
Initial FC at grade

IES Files
To obtain an IES file specific to your project consult:
<http://www.cree.com/lighting/tools-and-support/exterior-ies-configuration-tool>

Lumen Output, Electrical, and Lumen Maintenance Data

LED Count (x10)	5700K		4000K		System Watts 120-480V	TOTAL CURRENT						50K Hours Projected Lumen Maintenance Factor @ 15° C (59° F)**
	Initial Delivered Lumens	BUG Ratings* Per TM-15-11	Initial Delivered Lumens	BUG Ratings* Per TM-15-11		120V	208V	240V	277V	347V	480V	
700mA @ 25° C (77° F)												
12	23,832	B3 U1 G2	21,964	B3 U1 G2	279	2.32	1.34	1.16	1.01	0.80	0.58	91%
24	47,664	B4 U1 G3	43,929	B4 U1 G2	557	4.64	2.68	2.32	2.01	1.61	1.16	
1000mA @ 25° C (77° F)												
12	31,114	B4 U1 G2	28,676	B3 U1 G2	426	3.55	2.05	1.77	1.54	N/A	N/A	86%
24	62,228	B4 U1 G3	57,351	B4 U1 G3	851	7.09	4.09	3.55	3.07	N/A	N/A	

* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt
** Projected L₇₀ (10K) Hours: > 60,000. For recommended lumen maintenance factor data see TD-13

Weight and EPA

LED Count (x10)	Weight	CFM (Automotive Frontline Optic™) Distribution								
		0°	10°	20°	30°	45°	60°	70°	80°	90°
12	45 lbs (20.4kg)	1.40	1.40	1.89	2.49	3.32	3.96	4.26	4.44	4.51
24	80 lbs (36.3kg)	1.40	2.09	3.23	4.32	5.82	6.99	7.53	7.86	7.97



SEC-EDG-2M/2MB-WM

Cree Edge™ Security Wall Pack Luminaire – Type II Medium – Wall Mount

Product Description

Slim, low profile design. Luminaire end cap is rugged die cast aluminum with integral, weathertight LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum. Furnished with low copper lightweight mounting box designed for installation over standard and mud ring single gang J-Boxes. Secures to wall with four 3/16" (5mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allows mounting for uplight or downlight. Designed and approved for easy through-wiring. Includes leaf / debris guard.

Performance Summary

Utilizes BetaLED® Technology

Patented NanoOptic® Product Technology

Made in the U.S.A. of U.S. and imported parts

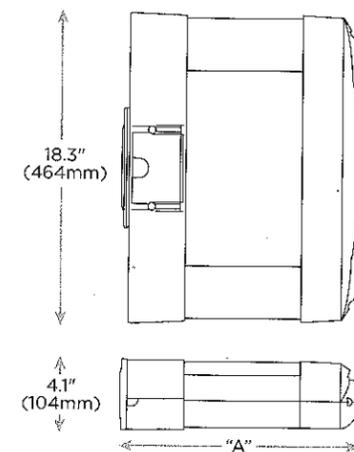
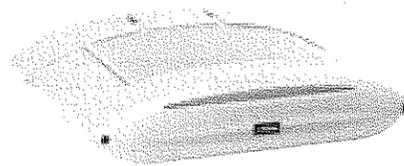
CRI: Minimum 70 CRI

CCT: 5700K (+/- 500K) Standard, 4000K (+/- 300K)

Limited Warranty*: 10 years on luminaire / 10 years on Colorfast DeltaGuard® finish

Accessories

Factory Installed Accessories
XA-BRDSPK Bird Spikes



LED Count (x10)	Dim. "A"
02	9.9" (251mm)
04	11.9" (303mm)
06	13.9" (353mm)
08	15.9" (404mm)
10	17.9" (455mm)
12	19.9" (505mm)

Ordering Information

Example: SEC-EDG-2M-WM-02-E-UL-SV-350-OPTIONS

SEC-EDG		WM		E				
Product	QBH	Mounting	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
SEC-EDG	2M Type II Medium	WM Wall	02 04 06 08 10 12	E	UL Universal 120-277V UH Universal 347-480V 34 347V	SV Silver (Standard) BK Black BZ Bronze PB Platinum Bronze WH White	350 350mA 525* 525mA 700** 700mA	40K 4000K Color Temperature - Color temperature per luminaire DIM 0-10V Dimming - Control by others - Refer to dimming spec sheet for details - Can't exceed specified drive current F Fuse - Not available with UH or 34 voltages - Not available with all ML options. Refer to ML spec sheet for availability with ML options P Photocell - Not available with all ML options. Refer to ML spec sheet for availability with ML options - Must specify voltage other than UH ML Multi-Level - Refer to ML spec sheet for details

* See www.cree.com/lighting/products/warranty for warranty terms

* Available on luminaires with 20-80 LEDs

** Available on luminaires with 20-60 LEDs



Rev. Date: 12/20/13



Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile design
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications
- Housing is rugged aluminum
- Furnished with low copper, light weight mounting box designed for installation over standard and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" (5mm) screws (by others)
- Conduit entry from top, bottom, sides, and rear
- Allows mounting for uplight or downlight
- Designed and approved for easy through-wiring
- Includes leaf / debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Standard is silver. Bronze, black, white, and platinum bronze are also available

ELECTRICAL SYSTEM

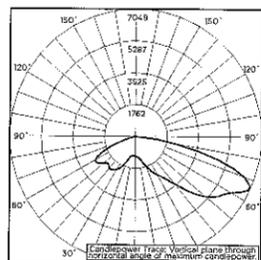
- **Input Voltage:** 120-277V or 347-480V, 50 / 60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral weathertight J-Box with leads (wire nuts) for easy power hook up
- Integral 10kV surge suppression protection standard
- To address inrush current, slow blow fuse or type C / D breaker should be used

REGULATORY & VOLUNTARY QUALIFICATIONS

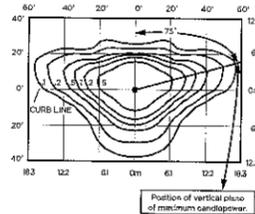
- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or ML options
- Consult factory for CE Certified products
- 10kV surge suppression protection tested in accordance with IEEE / ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Product qualified on the DesignLights Consortium™ ("DLC") Qualified Products List ("QPL") when ordered without full backlight control shield
- Dark Sky Friendly, IDA Approved
- Meets Buy American requirements within ARRA

Photometry

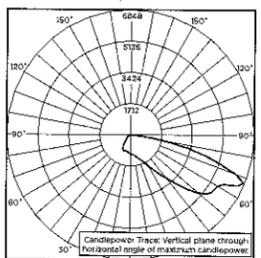
All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory.



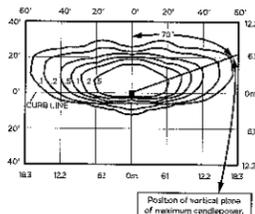
ITL Test Report #: 79174
SEC-EDG-2M-06-E-UL-700-40K
Initial Delivered Lumens: 11,128



SEC-EDG-2M-08-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 11,835
Initial FC at grade



CSA Test Report #: 6447
ARE-EDG-2MB-06-E-UL-700-40K
Initial Delivered Lumens: 7,953



SEC-EDG-2MB-08-E-UL-525-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 8,915
Initial FC at grade

IES Files
To obtain an IES file specific to your project consult:
<http://www.cree.com/lighting/tools-and-support/exterior-ies-configuration-tool>

Weight

LED Count (x10)	Weight
02	20 lbs (9.1kg)
04	22 lbs (10.0kg)
06	25 lbs (11.3kg)
08	27 lbs (12.2kg)
10	31 lbs (14.1kg)
12	32 lbs (14.5kg)

Lumen Output, Electrical, and Lumen Maintenance Data

LED Count (x10)	Type II Medium and Type II Medium-Distribution w/ BLS																50K Hours Projected Lumen Maintenance Factor @ 15°C (59°F)***
	5700K				4000K				TOTAL CURRENT								
	Initial Delivered Lumens*	BUS Ratings** Per TH-5-II	Initial Delivered Lumens w/BLS*	BUS Ratings** Per TH-5-II	Initial Delivered Lumens*	BUS Ratings** Per TH-5-II	Initial Delivered Lumens w/BLS*	BUS Ratings** Per TH-5-II	System Watts 120-480V	120V	208V	240V	277V	347V	480V		
350mA @ 25°C (77°F)																	
02	2,220	B1 U0 G1	1,672	B0 U0 G1	2,138	B1 U0 G1	1,610	B0 U0 G1	25	0.21	0.13	0.11	0.10	0.09	0.07	93%	
04	4,440	B1 U0 G1	3,345	B0 U0 G1	4,276	B1 U0 G1	3,222	B0 U0 G1	46	0.36	0.23	0.21	0.21	0.15	0.12		
06	6,584	B2 U0 G2	4,959	B1 U0 G1	6,340	B2 U0 G1	4,776	B1 U0 G1	66	0.52	0.31	0.28	0.26	0.20	0.15		
08	8,779	B2 U0 G2	6,613	B1 U0 G2	8,454	B2 U0 G2	6,368	B1 U0 G1	90	0.75	0.44	0.38	0.34	0.26	0.20		
10	10,947	B2 U0 G2	8,246	B1 U0 G2	10,542	B2 U0 G2	7,941	B1 U0 G2	110	0.92	0.53	0.47	0.41	0.32	0.24		
12	13,137	B3 U0 G3	9,895	B1 U0 G2	12,660	B2 U0 G2	9,629	B1 U0 G2	130	1.10	0.63	0.55	0.48	0.38	0.28		
525mA @ 25°C (77°F)																	
02	3,108	B1 U0 G1	2,341	B0 U0 G1	2,993	B1 U0 G1	2,254	B0 U0 G1	37	0.30	0.19	0.17	0.16	0.12	0.10	92%	
04	6,216	B2 U0 G2	4,682	B1 U0 G1	5,986	B2 U0 G1	4,509	B1 U0 G1	70	0.58	0.34	0.31	0.28	0.21	0.16		
06	9,218	B2 U0 G2	6,943	B1 U0 G2	8,876	B2 U0 G2	6,686	B1 U0 G2	101	0.84	0.49	0.43	0.38	0.30	0.22		
08	12,290	B2 U0 G2	9,258	B1 U0 G2	11,835	B2 U0 G2	8,915	B1 U0 G2	133	1.13	0.66	0.58	0.51	0.39	0.28		
700mA @ 25°C (77°F)																	
02	3,796	B1 U0 G1	2,860	B0 U0 G1	3,656	B1 U0 G1	2,754	B0 U0 G1	50	0.41	0.25	0.22	0.20	0.15	0.12	90%	
04	7,593	B2 U0 G2	5,719	B1 U0 G1	7,311	B2 U0 G2	5,502	B1 U0 G1	93	0.78	0.46	0.40	0.36	0.27	0.20		
06	11,259	B2 U0 G2	8,481	B1 U0 G2	10,842	B2 U0 G2	8,167	B1 U0 G2	134	1.14	0.65	0.57	0.50	0.39	0.29		

* Actual production yield may vary between -4 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.iesna.org/PDF/Etrates/TM-15-TBUGRatingAddendum.pdf
 *** For recommended lumen maintenance factor data see TD-15. Calculated L₈₀ based on 6,000 hours LM-80-08 testing > 100,000 hours



Appendix D

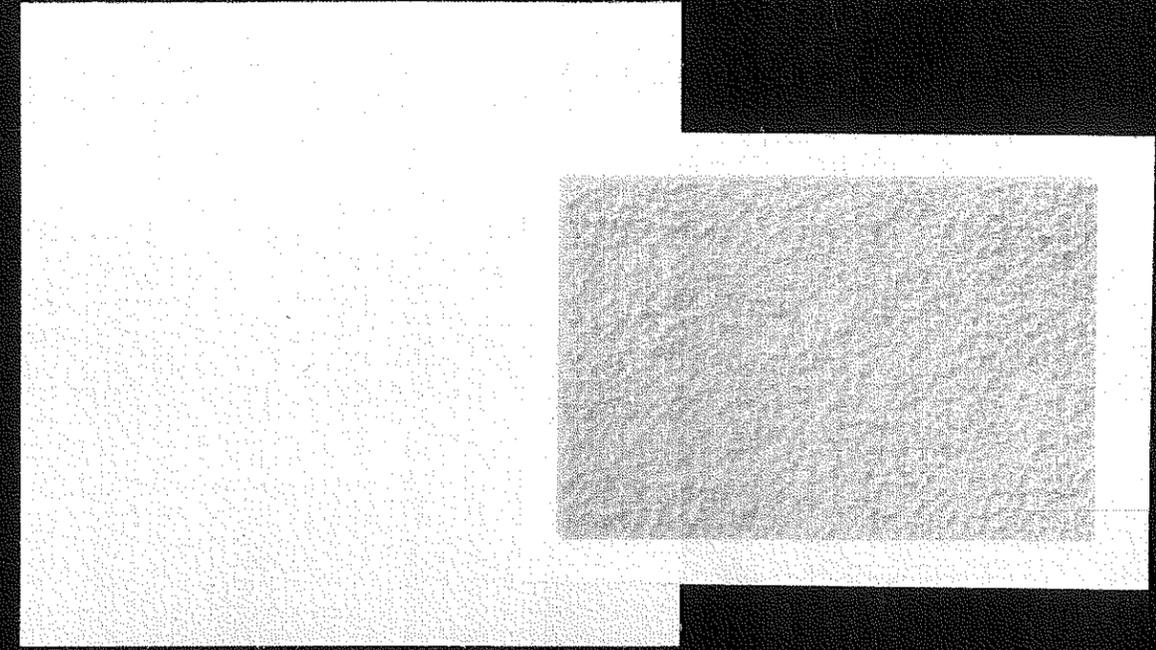
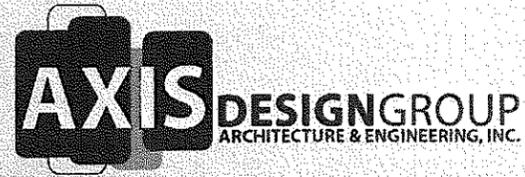
EXTERIOR FINISHES BOARD



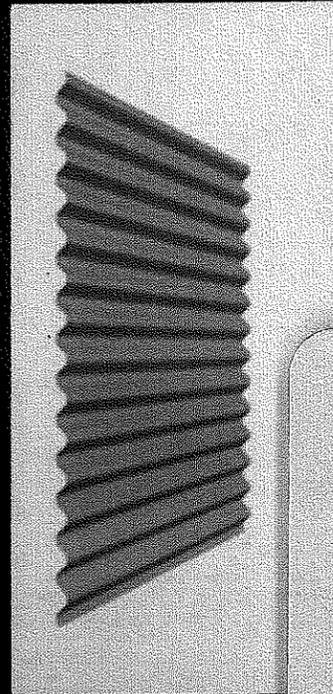
Armstrong Volkswagen

20000 McLoughlin Blvd, Gladstone OR 97027

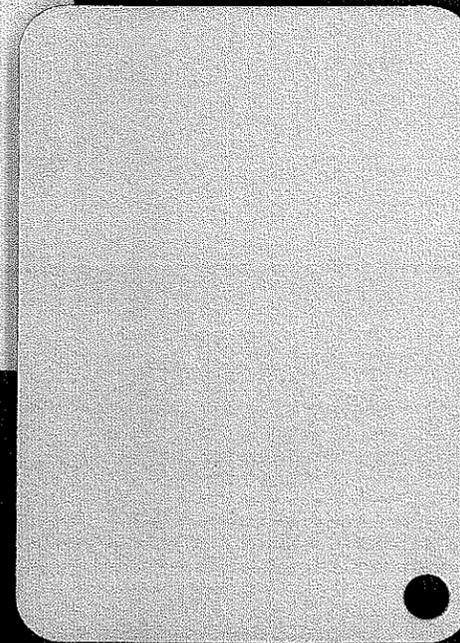
Appendix D: Exterior Finishes Board
Design Review Application



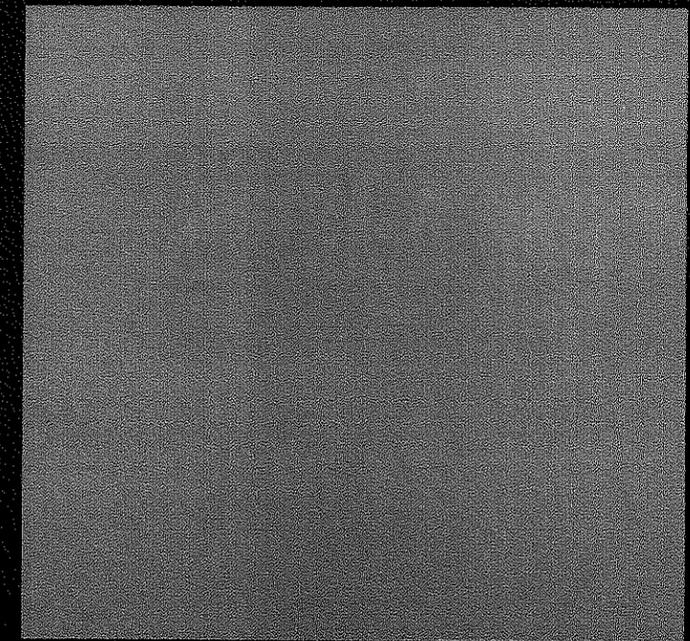
Exterior Stucco:
Color: SW 6539 Soothing White



Horizontal Corrugated Metal Siding:
AEP Cool Metallic Silver



Metal Composite Material Panels (MCM):
Color: Das White



Exterior Paint:
Color: SW 7670 Granite Grey

Appendix E

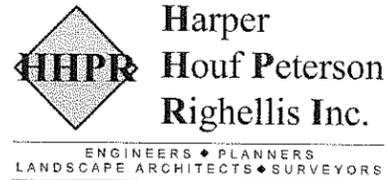
PRELIMINARY STORMWATER NARRATIVE

Job No.: ADG-16

Date: March 17, 2014

To: Jim Wright
Axis Design Group

From: Janelle Brannan, P.E.



Project/Subject: **Armstrong Volkswagen – Stormwater Management**

Fax - Number: _____; Number of pages _____
(If you did not receive the correct number of pages, please call 503-221-1131)
 E-mail Mail Hand Deliver Interoffice

The Armstrong Volkswagen improvements include building and parking lot improvements. The building improvements include demolition of the existing showroom area and construct a new showroom area. The parking lot improvements include construction of a car display area and modifications to adjacent parking stalls.

The site is located at 20000 McLoughlin Blvd in Gladstone Oregon. The overall site is 89,030sf, developed with buildings, parking lot and car inventory area. The existing site has 7,613sf of landscaped area, and 81,383 sf of impervious area (building and asphalt). The existing site generally slopes from the northwest corner to the southeast corner of the site. Web Soil Survey list the soils on the site to be McBee silty clay loam, 56, Hydrologic Group C.

The existing site storm drainage system, as shown on as-built plans for the site, is comprised of trapped inlets connected to private pipe storm system routed east to the public storm system in Berkeley Street, inlets connect to drywells, and roof drainage connect to drywells. Topographic survey of the site shows all stormwater runoff is collected on-site.

The proposed improvements to the building will increase the building footprint by 124sf, an overall increase of 0.6%. The proposed roof area will connect to the existing private storm system routed to drywells.

The proposed improvements to the parking lot include construction of a new car display area, minor modifications to parking area, and new landscape islands. The new car display area will be constructed with a pervious paver system to allow the stormwater runoff to infiltrate to the ground. The proposed improvements will decrease the impervious area by 5,422sf. The proposed area break down is 75,961sf impervious (bldg. and asphalt), 8,560sf landscape, and 4,509sf pervious pavers. The impervious area for the site will continue to drains to existing inlets as it does today. Modification to the private storm system is not proposed with these improvements.

205 SE Spokane Street
Suite 200
Portland, OR 97202
PHONE 503.221.1131
FAX 503.221.1171
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Appendix F

EXISTING AND PROPOSED PERSPECTIVE VIEWS



EXTERIOR PERSPECTIVE - EXISTING VIEW FROM MCLOUGHLIN BLVD

Armstrong Volkswagen

MARCH 17, 2014





EXTERIOR PERSPECTIVE - PROPOSED VIEW FROM MCLOUGHLIN BLVD

Armstrong Volkswagen

MARCH 17, 2014



Appendix G

11 X 17 APPLICATION DRAWINGS (HALF-SIZE)

General

- G-001 Cover Sheet

Architectural

- A-101 Site Plan – Existing
- A-102 Site Plan
- A-111 First Floor Plan – Existing
- A-112 Second Floor Plan – Existing
- A-121 First Floor Plan
- A-122 Second Floor Plan
- A-211 Exterior Elevations – Existing
- A-212 Exterior Elevations – Existing
- A-221 Exterior Elevations
- A-222 Exterior Elevations
- A-311 Building Sections – Existing
- A-312 Building Sections – Existing
- A-321 Building Sections
- A-322 Building Sections

Civil

- C-100 Grading Plan
- C-200 Utilities Plan
- C-300 Details

Landscape

- L-100 Irrigation Plan
- L-200 Planting Plan

GENERAL NOTES:

1. GENERAL:
 - A. IN PERFORMING PROFESSIONAL SERVICES FOR THIS PROJECT, AXIS DESIGN GROUP ARCHITECTURE AND ENGINEERING INC. NEITHER ISSUES, EXPRESSES, OR IMPLIES ANY WARRANTIES OR CERTIFICATIONS EXCEPT AS REQUIRED FOR BY GOVERNING JURISDICTIONS.
 - B. ALL WORK TO CONFORM WITH CONTRACT DOCUMENTS. NO CHANGES SHALL BE MADE WITHOUT REVIEW BY THE ARCHITECT. WHEN MORE INFORMATION OR AN INTERPRETATION OF THE CONTRACT DOCUMENTS IS NEEDED, THE CONTRACTOR WILL REFER THE MATTER TO THE ARCHITECT WHO WILL FURNISH INFORMATION OR INTERPRETATION IN THE FORM OF SUPPLEMENTAL INFORMATION OR OTHER WRITTEN FORM OR DRAWING.
 - C. INFORMATION RELATING TO THE EXISTING BUILDING IS BASED ON LIMITED EXISTING BUILDING DOCUMENTS AND LIMITED FIELD MEASUREMENTS. ACTUAL CONDITIONS MAY VARY. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
 - D. SYSTEMS AND CONDITIONS HIDDEN FROM VIEW ARE BASED ON OWNER PROVIDED AS BUILT DOCUMENTS, HAVE NOT BEEN VERIFIED BY THE ARCHITECT, AND ARE PROVIDED FOR REFERENCE PURPOSES ONLY. ALL SYSTEMS AND CONDITIONS TO BE VERIFIED BY THE GENERAL CONTRACTOR.
 - E. CONTRACTOR TO NOTIFY THE OWNER UPON DISCOVERY OF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL DURING THE COURSE OF WORK. ALL WORK SHALL STOP IMMEDIATELY IN AFFECTED AREA UNTIL THE CONDITION IS CORRECTED.
2. CODES:
 - A. THE LATEST EDITION OF APPLICABLE CODES ON THIS PROJECT ARE AS FOLLOWS:
 - 2010 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
 - OMSC, OFC, OSPC, OSEC,
3. PERMITS:
 - A. OTHER THAN THE BUILDING PERMIT, THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, LICENSES, AND INSPECTIONS REQUIRED FOR THE COMPLETION OF THE WORK.
4. COORDINATION AND VERIFICATION:
 - A. THE DRAWINGS ARE DIVIDED INTO SEPARATE SHEETS FOR GENERAL CONVENIENCE ONLY. SHEET DESIGNATION OR NUMBERS ARE TO BE CONSIDERED AS LIMITATIONS OF AREAS OF WORK, RESPONSIBILITY OR TRADES. COORDINATE THE WORK SHOWN IN THE DRAWINGS AND IN THE PROJECT MANUAL IN ORDER TO COMPLETE THE PROJECT AS DESIGNED.
 - B. LOCATIONS AND SIZES OF EQUIPMENT ARE BASED ON AVAILABLE INFORMATION. PROVIDE AND COORDINATE THE EXACT DIMENSIONS, SIZES AND POSITIONS OF ALL EQUIPMENT, PADS, BASES, MOUNTINGS, ATTACHMENTS AND CONDUIT RELATING TO THE WORK.
 - C. PROVIDE AND COORDINATE THE EXACT DIMENSIONS, SIZES AND POSITIONS OF OPENINGS IN SLABS AND WALLS NECESSARY FOR THE INSTALLATION OF THE WORK.
 - D. POSITION ALL VALVES CONTROLS AND TERMINATIONS TO BE POSITIONED FOR SAFE, DIRECT AND EASY ACCESS. ALL PIPING AND DUCTWORK TO BE INSTALLED FOR CONVENIENT FUTURE ADDITIONS AND MODIFICATIONS. ITEMS TO BE LABELED PER OWNER REQUIREMENTS.
 - E. QUANTITIES LISTED ON THE DRAWINGS ARE APPROXIMATE. CONTRACTOR TO VERIFY QUANTITIES AND INCLUDE ACCURATE QUANTITIES AS PART OF THE WORK.
 - F. SPECIFIC NOTES OR KEYNOTES ON DETAILS APPLY TO SIMILAR CONDITIONS ON OTHER DETAILS ON ALL DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
5. UTILITIES AND DEMOLITION:
 - A. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITY LINES INCLUDING ELECTRICAL, SEWER, WATER, GAS, TELEPHONE, ETC. IN ADDITION THE CONTRACTOR SHALL CAUTION ALL SUBCONTRACTORS THAT THE SITE CONTAINS UNDERGROUND UTILITY LINES. THE DRAWINGS SHOW DIAGRAMMATICALLY THE APPROXIMATE LOCATION OF UNDERGROUND UTILITIES WHERE INFORMATION IS AVAILABLE, BUT THE DRAWINGS ARE NOT EXACT AS TO THE QUANTITY, EXTENT OR LOCATION.
 - B. THE CONTRACTOR IS REQUIRED TO EXERCISE EXTREME CAUTION DURING ALL PHASES OF THE WORK TO LOCATE, IDENTIFY AND PROTECT EXISTING UTILITIES TO BE MODIFIED OR TO REMAIN. THE CONTRACTOR SHALL RECORD LOCATION OF, DISCONNECT, AND CAP AS NECESSARY, AND REPAIR DAMAGE TO EXISTING UTILITIES WHICH ARE ENCOUNTERED AS A RESULT OF WORK UNDER THIS CONTRACT.
 - C. IF REQUIRED BY THE PROJECT, THE CONTRACTOR IS REQUIRED TO PROVIDE OUTSIDE GAS SHUT-OFF VALVE CONSPICUOUSLY MARKED PER OWNER REQUIREMENTS.
 - D. CONTRACTOR TO COORDINATE ALL NEW SERVICE REQUIREMENTS WITH LOCAL UTILITY AGENCIES AND OWNER.
 - E. THE CONTRACTOR TO ARRANGE AND PAY FOR TEMPORARY POWER, UTILITIES EXCEPT AS PREARRANGED WITH OWNER.
 - F. IN PERFORMING PROFESSIONAL SERVICES FOR THIS PROJECT, CONTRACTOR SHALL PROVIDE SHORING, BRACING, SUPPORT, AND PROTECTION AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF THE PROJECT, ADJACENT PROPERTIES, AND PUBLIC SAFETY.
6. DISCREPANCIES:
 - A. VERIFY ALL DIMENSIONS, ELEVATIONS AND ALL EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND OWNER.
 - B. IF ANY ERRORS, INCONSISTENCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS ARE RECOGNIZED BY THE CONTRACTOR OR ANY MEMBER OF HIS ORGANIZATION, THE CONTRACTOR IS REQUIRED TO NOTIFY THE ARCHITECT IN WRITING OF SUCH ERROR, INCONSISTENCY OR OMISSION BEFORE PROCEEDING WITH THE WORK.
 - C. SHOULD THE SPECIFICATIONS FAIL TO DESCRIBE THE MATERIAL OR KIND OF GOODS TO BE USED, SUBMIT AN INQUIRY OF THE ARCHITECT FOR CLARIFICATION.
 - D. ALL WORK TO CONFORM TO THE CONTRACT DOCUMENTS. NO SUBSTITUTIONS PERMITTED WITHOUT REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER.
 - E. IN THE EVENT OF A CONFLICT BETWEEN DRAWINGS AND THE PROJECT MANUAL, THE CONTRACTOR IS TO PRICE THE MORE EXPENSIVE, OR MORE ELABORATE METHOD, MATERIALS, AND EQUIPMENT DESCRIBED OR SHOWN, SHOULD THE OWNER, AT THE OWNER'S DISCRETION, APPROVE TO UTILIZE THE LESS EXPENSIVE, OR LESS ELABORATE METHOD, MATERIALS, OR EQUIPMENT, AN APPROPRIATE CREDIT NEGOTIATED BETWEEN THE CONTRACTOR AND OWNER SHALL BE DUE TO THE OWNER.
 - F. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE INDIVIDUAL CONTRACT DOCUMENTS AND REPORT AT ONCE IN WRITING TO THE ARCHITECT ANY DEFICIENCIES PRIOR TO BIDDING. THE CONTRACTOR SHALL REQUIRE EACH SUBCONTRACTOR TO LIKEWISE STUDY THE DOCUMENTS AND IMMEDIATELY REPORT ANY DEFICIENCIES.
7. MODIFICATIONS:
 - A. MODIFICATIONS TO DETAILS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND WILL BE MADE PART OF THE WORK.
8. ACCESS PANELS:
 - A. AT ALL WALL AND CEILING LOCATIONS PROVIDE ACCESS PANELS FOR ELECTRICAL, PLUMBING AND AIR CONDITIONING CONTROLS, VALVES, DAMPERS, COUNTER FIRE SHUTTERS OR OTHER DEVICES AS REQUIRED BY THE WORK AND APPLICABLE EVEN IF ACCESS PANELS IS NOT SHOWN ON CONTRACT DOCUMENTS. AT NON-ACCESSIBLE CEILINGS, ACCESS PANELS SHALL BE 24"x24" FLUSH MOUNTED AND FIT WITHIN THE CEILING PATTERN. SUBMIT SHOP DRAWINGS INDICATING THE EXACT LOCATIONS OF ALL ACCESS PANELS. NO INSTALLATION OF ACCESS PANELS TO BE MADE UNTIL THE ARCHITECT HAS APPROVED THE LOCATIONS. ACCESS PANELS TO BE LABELED AS REQUIRED BY OWNER.

9. EXITS:
 - A. EVERY EXIT DOOR TO BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
10. PENETRATION OF RATED ASSEMBLIES:
 - A. MECHANICAL DUCTS, ETC. PENETRATING FIRE-RATED CEILINGS AND FIRE WALLS TO BE CORRESPONDINGLY RATED OR DAMPERED. CABINETS, ELECTRICAL PANELS, LIGHTS, ETC. RECESSED INTO FIRE-RATED WALLS OR CEILINGS TO BE BACKED WITH CORRESPONDING FIRE-RESISTIVE CONSTRUCTION AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE FIRE PROTECTION.
 - B. FIRE RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS TO COMPLY WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
 - C. PENETRATION OF FIRE-RATED ASSEMBLIES WHICH REQUIRE OPENING PROTECTION TO BE FIRE STOPPED. FIRE RATING FOR FIRE STOP SYSTEMS TO BE EQUAL TO THE ASSEMBLY PENETRATED.
11. DISSIMILAR METALS:
 - A. ALL DISSIMILAR METALS TO BE EFFECTIVELY ISOLATED FROM EACH OTHER WITH NEOPRENE ISOLATOR OR SIMILAR MATERIAL TO PREVENT MOLECULAR BREAKDOWN.
12. ELECTRICAL BACKBOARDS:
 - A. REFER TO ELECTRICAL, TELEPHONE/DATA AND SECURITY ELECTRONICS DRAWINGS FOR LOCATION OF AND SPECIFICATIONS FOR THE INSTALLATION OF FIRE RETARDANT TREATED PLYWOOD BACKBOARDS REQUIRED IN ELECTRICAL AND COMMUNICATION ROOMS. THESE REQUIRED PLYWOOD BACKBOARDS HAVE NOT BEEN SHOWN ON THE ARCHITECTURAL DRAWINGS, BUT MUST BE FURNISHED AND INSTALLED AS A PART OF THE OVERALL CONTRACT. BACKBOARDS TO BE PAINTED TO MATCH THE SURFACE UPON WHICH THEY ARE MOUNTED. ALL REQUIRED BLOCKING IN WALLS TO ACCEPT PLYWOOD SHOULD BE VERIFIED AND APPROVED WITH THE ELECTRICAL TEAM REPRESENTATIVE. COORDINATE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
13. SIGNAGE:
 - A. FURNISH AND INSTALL SUPPORTS AND OTHER NECESSARY FINISH MATERIALS FOR A COMPLETE CODE REQUIRED SIGNAGE INSTALLATION. REMOVE AND REINSTALL EXISTING SIGNAGE.
14. COORDINATION OF DEVICES:
 - A. EXACT LOCATIONS AND HEIGHTS OF ELECTRICAL, LOW VOLTAGE, MECHANICAL AND PLUMBING DEVICES, INCLUDING BUT NOT LIMITED TO SMOKE DETECTORS, PULL STATIONS, SWITCHES, OUTLETS, PHONE JACKS, AND THERMOSTATS, TO BE COORDINATED BY THE CONTRACTOR FOR ALIGNMENT, COORDINATION WITH EACH OTHER AND OTHER BUILDING FEATURES PRIOR TO INSTALLATION AS APPROVED BY ARCHITECT AND OWNER.
15. FIRE ALARM COORDINATION:
 - A. FIRE DETECTION ENGINEERING SERVICES, DOCUMENTS, AND PERMIT ACQUISITION TO BE PROVIDED ON A DESIGN-BUILD BASIS WITH THE SELECTED FIRE SYSTEM SUBCONTRACTOR PROVIDING THE REQUIRED DESIGN WORK AND INSTALLATION BASED ON DIAGRAMS AND PERFORMANCE SPECIFICATIONS PROVIDED BY OWNER AND EXISTING CONDITIONS.
 - B. CONTRACTOR TO VERIFY ALL UTILITIES AND COORDINATE EQUIPMENT AND UTILITY REQUIREMENTS AND LOCATIONS WITH FIRE SYSTEM ENGINEER PRIOR TO PROCEEDING AND REVIEW WITH ARCHITECT PRIOR TO FINAL ROUGH-IN.
16. ELECTRICAL COORDINATION:
 - A. ELECTRICAL CONTRACTOR TO EXAMINE EXISTING CONDITIONS, VERIFY ALL UTILITIES, AND COORDINATE POWER REQUIREMENTS WITH BUILDING OWNERS REPRESENTATIVE PRIOR TO PROCEEDING. REVIEW AND VERIFY LIGHTING, CONTROLS, OUTLETS, AND OWNER EQUIPMENT POWER LOCATIONS WITH THE ARCHITECT PRIOR TO APPROVAL AND FINAL ROUGH-IN.
 - B. ALL LIGHT FIXTURES SHALL MEET CURRENT CODES AND BE PRE-APPROVED BY THE ARCHITECT AND OWNER.
 - C. PROPOSALS AND DOCUMENTS PERTAINING TO THIS WORK TO BE PROVIDED TO THE ARCHITECT FOR REVIEW PRIOR TO PROCEEDING. ALL ELECTRICAL AND FIRE ALARM FIXTURES, COMPONENTS, AND ANY OTHER EXPOSED EQUIPMENT, ALONG WITH THEIR LOCATIONS TO BE SUBMITTED FOR REVIEW.
 - D. ELECTRICAL AND COMMUNICATIONS SYSTEM RECEPTACLES TO BE MOUNTED AT 15" A.F.F. UNLESS OTHERWISE NOTED.
 - E. ELECTRICAL OUTLETS AT OPPOSITE SIDES OF FIRE RATED AND/OR ACOUSTICALLY RATED WALLS ARE TO BE SEPARATED BY A MINIMUM OF 24" MINIMUM HORIZONTAL SPACING AND SEPARATE STUD SPACES OR AS INDICATED IN THE DRAWINGS.
17. MECHANICAL COORDINATION:
 - A. CONTRACTOR TO VERIFY ALL UTILITIES AND COORDINATE EQUIPMENT POWER REQUIREMENTS AND LOCATIONS WITH MECHANICAL SPECIFICATIONS AND MECHANICAL ENGINEER PRIOR TO PROCEEDING AND REVIEW WITH ARCHITECT PRIOR TO FINAL ROUGH-IN.
18. PROJECT CLOSEOUT:
 - A. WHEN REQUESTING THE ARCHITECT'S INSPECTION FOR SUBSTANTIAL COMPLETION:
 - 1) KNOWN EXEMPTIONS MUST BE LISTED IN THE REQUEST.
 - 2) ALL WARRANTIES AND CERTIFICATES MUST BE SUBMITTED TO THE ARCHITECT.
 - 3) THE CONTRACTOR'S PUNCH LIST MUST BE SUBMITTED WITH THE REQUEST.
 - B. THE ARCHITECT WILL VERIFY THE CONTRACTOR'S PUNCH LIST AND INDICATE ADDITIONAL PUNCH LIST ITEMS AS NEEDED. RESULTS OF THE ARCHITECT COMPLETED INSPECTION WILL FORM THE "PUNCH LIST" FOR FINAL ACCEPTANCE. ONE RE-INSPECTION WILL BE PERFORMED BY THE ARCHITECT TO ESTABLISH CERTIFICATION OF FINAL ACCEPTANCE; FURTHER RE-INSPECTIONS BY THE ARCHITECT TO BE AT THE CONTRACTOR'S EXPENSE.
 - C. ALL MAINTENANCE AND OPERATIONS MANUALS FOR ALL EQUIPMENT AND MATERIALS PROVIDED TO BE ORGANIZED AND PREPARED AS INDICATED IN THE PROJECT MANUAL.
19. DEFERRED SUBMITTAL ITEMS:
 - A. THIS PROJECT WILL HAVE THE FOLLOWING DEFERRED APPROVAL ITEMS WHICH UTILIZE A DESIGN/BUILD APPROACH. THE INFORMATION CONTAINED IN THESE DOCUMENTS ARE PRELIMINARY, PROVIDING A BASIS FOR BIDDING AND PLANNING. ACTUAL ENGINEERING AND INSTALLATION DRAWINGS ARE TO BE PROVIDED AS "DEFERRED APPROVAL DOCUMENTS" AND REQUIRE THE APPROVAL OF BOTH THE ARCHITECT AND THE ENGINEERS AND THE AUTHORITY HAVING JURISDICTION. THE DEFERRED APPROVAL ITEMS ARE AS FOLLOWS:
 - 1.
 - 2.
 - 3.
 - B. THE PROCEDURE FOR "DEFERRED APPROVAL DOCUMENTS" TO BE AS FOLLOWS:
 1. THE DESIGN/BUILD CONTRACTOR TO PROVIDE (4) SETS OF DEFERRED SUBMITTAL DOCUMENTS OR PDF SUBMITTAL DOCUMENTS TO THE ARCHITECT FOR INITIAL REVIEW AND COORDINATION WITH THE DESIGN INTENT OF THE PROJECT.
 2. IF THE SUBMITTAL DOCUMENTS ARE FOUND TO BE ACCEPTABLE THE ARCHITECT WILL ADD A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.
 3. FOLLOWING THE ARCHITECT'S APPROVAL, THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR SUBMITTING, TRACKING, AND OBTAINING APPROVAL FROM THE AUTHORITY HAVING JURISDICTION.
 4. UPON APPROVAL BY THE AUTHORITY HAVING JURISDICTION, THE DESIGN/BUILD CONTRACTOR IS REQUIRED TO PROVIDE A COPY OF THE DRAWINGS TO THE ARCHITECT AND OWNER FOR REFERENCE.

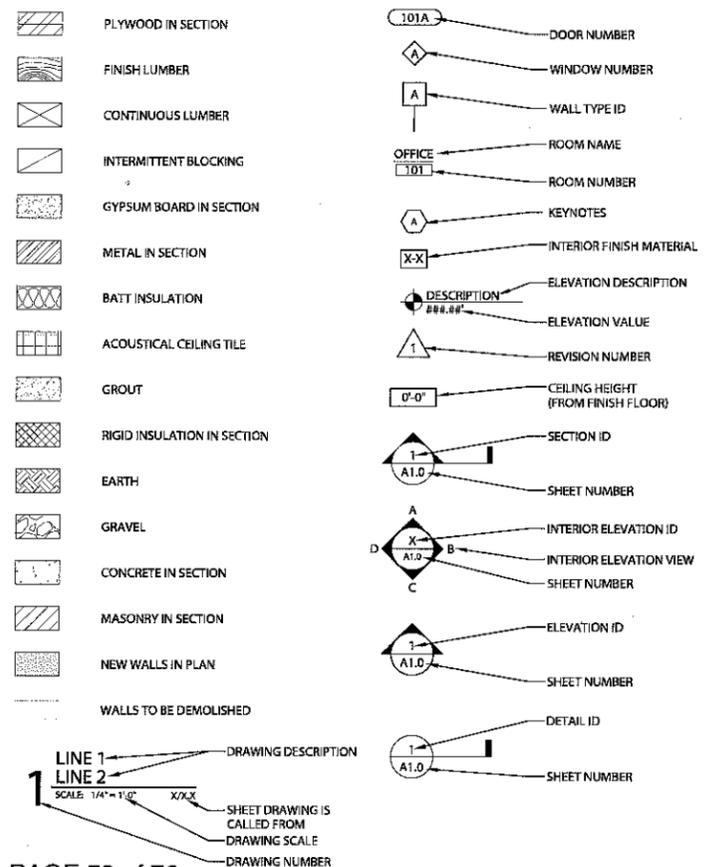
Armstrong Volkswagen

DEALERSHIP SHOWROOM RENOVATION

ABBREVIATIONS:

ACOUS	ACOUSTICAL	GA	GALV	GAUGE	PT	PRESSURE TREATED
ACM	ALUMIN. CLAD MATERIAL	G.B.	G.L.	GALVANIZED GYPSUM BOARD	PTD	PAPER TOWEL DISPENSER
AD	AREA DRAIN	GL	GL	GLASS	PLY	PLYWOOD
ALT	ALTERNATE	HC	HDWR	HOLLOW CORE HARDWARE	PNL	PANEL
ALUM	ALUMINUM	HGT	HGT	HEIGHT	QT	QUARRY TILE
ARCH	ARCHITECTURAL	HM	HM	HOLLOW METAL	R	RADIUS
		HORIZ	HORIZ	HORIZONTAL	RD	ROOF DRAIN
		ID	ID	INSIDE DIAMETER	REF	REFERENCE
		INSUL	INSUL	INSULATION	REINFD	REINFORCED(D)
		INT	INT	INTERIOR	RESIL	RESILIENT
		JAN	JAN	JANITOR	RM	ROUGH OPENING ROOM
		JOINT	JOINT	JOINT	SAM	SELF-ADHERED MEMBRANE
		LAM	LAM	LAMINATES	SC	SCHEDULE
		LAV	LAV	LAVATORY	SCHED	SCHEDULE
		LT	LT	LIGHT	SECT	SECTION
		MANUF	MANUF	MANUFACTURER	SHT	SHEET
		MFR	MFR	MANUFACTURE	SHTHG	SHEATHING
		MIN	MIN	MINIMUM, MINUTE	SIM	SIMILAR
		MISC.	MISC.	MISCELLANEOUS	SQ	SQUARE
		M.O.	M.O.	MASONRY OPENING	STD	STANDARD
		MTD	MTD	MOUNTED	STL	STEEL
		MTL	MTL	METAL	STOR	STORAGE
		MUL	MUL	MULLION	STRUC	STRUCTURAL
		NTS	NTS	NOT TO SCALE	SUSP	SUSPENDED
		(N)	(N)	NEW	SYM.	SYMMETRICAL
		NO.	NO.	NOT IN CONTRACT	THK	THICK
		NO. OR #	NO. OR #	NUMBER	THRU	THROUGH
		CA	CA	OVERALL	TC	TOP OF CURB
		OC	OC	ON CENTER	T/G	TEMPERED GLASS
		OD	OD	OUTSIDE DIAMETER	TYP	TYPICAL
		OF/CI	OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED	UON	UNLESS OTHERWISE
		OP/ID	OP/ID	OPPOSITE HAND OPENING(S)	NOTED	NOTED
		VER	VER	VERIFY	VERT	VERTICAL
		VIF	VIF	VERIFY IN FIELD	VIF	VERIFY IN FIELD
		WD	WD	WOOD	W/	WITH
		W/O	W/O	WITHOUT	WP	WATERPROOF
		WRB	WRB	WATER-RESISTANT BARRIER		

SYMBOLS



PROJECT TEAM

ARCHITECT / APPLICANT: AXIS DESIGN GROUP ARCHITECTURE + ENGINEERING, INC.
 11104 S.E. STARK STREET
 PORTLAND, OREGON 97216
 PHONE: (503) 284-0988

OWNER: ARMSTRONG VOLKSWAGEN
 20000 MCLOUGHLIN BLVD
 GLADSTONE, OREGON 97027
 PHONE: (503) 656-2924

CONTRACTOR: PERLO
 16101 SW 72nd Ave #200
 PORTLAND, OREGON 97224
 PHONE: (503) 624-2090

CIVIL / LANDSCAPE: HHP, INC.
 205 SE SPOKANE ST, STE 200
 PORTLAND, OREGON 97202
 PHONE: (503) 221-1131

SITE INFORMATION

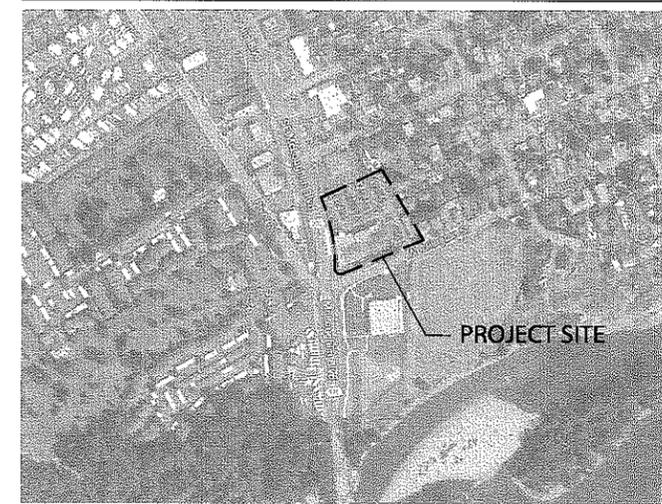
PROPERTY ID: C163799
 STATE ID: 22E19DD05800
 PROJECT ADDRESS: 20000 MCLOUGHLIN BLVD
 GLADSTONE, OR 97027
 SITE AREA: 56,994 SQ.FT. (1.31 ACRES)
 ZONING: GENERAL COMMERCIAL (C-3)

PROJECT DESCRIPTION

THE PROPOSAL INVOLVES THE DEMOLITION AND RECONSTRUCTION OF THE ARMSTRONG VOLKSWAGEN SHOWROOM. OTHER WORK TO INCLUDE EXTERIOR FINISH UPGRADES AND SITE MODIFICATIONS.

SHEET INDEX		ISSUE LOG	
SHEET NUMBER	SHEET TITLE	DESIGN	REVISION
GENERAL			
G-001	COVER SHEET	*	
ARCHITECTURAL			
A-101	SITE PLAN - EXISTING	*	
A-102	SITE PLAN	*	
A-211	EXTERIOR ELEVATIONS - EXISTING	*	
A-212	EXTERIOR ELEVATIONS - EXISTING	*	
A-221	EXTERIOR ELEVATIONS	*	
A-222	EXTERIOR ELEVATIONS	*	
A-311	BUILDING SECTIONS - EXISTING	*	
A-312	BUILDING SECTIONS - EXISTING	*	
A-321	BUILDING SECTIONS	*	
A-322	BUILDING SECTIONS	*	
CIVIL			
C-100	GRADING PLAN	*	
C-200	UTILITIES PLAN	*	
C-300	DETAILS	*	
LANDSCAPE			
L-100	IRRIGATION PLAN	*	
L-200	PLANTING PLAN	*	

LEGEND:
 * = ISSUED AS PART OF SET
 0 = NOT PART OF ISSUED SET
 * = ISSUED FOR INFORMATION ONLY



1 VICINITY MAP
 SCALE: NTS



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GENERAL CONTRACTOR

STRUCTURAL

CIVIL

LANDSCAPE

MECHANICAL

ELECTRICAL

PLUMBING

FIRE SUPPRESSION

ARMSTRONG VOLKSWAGEN



20000 MCLOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS

NO.	DESCRIPTION

DRAWN BY: KJK
 CHECKED BY: TRB
 JOB NO: 13-032

DATE: 03/17/2014
 ISSUED FOR: LAND USE

SHEET TITLE
COVER SHEET

SHEET NO.

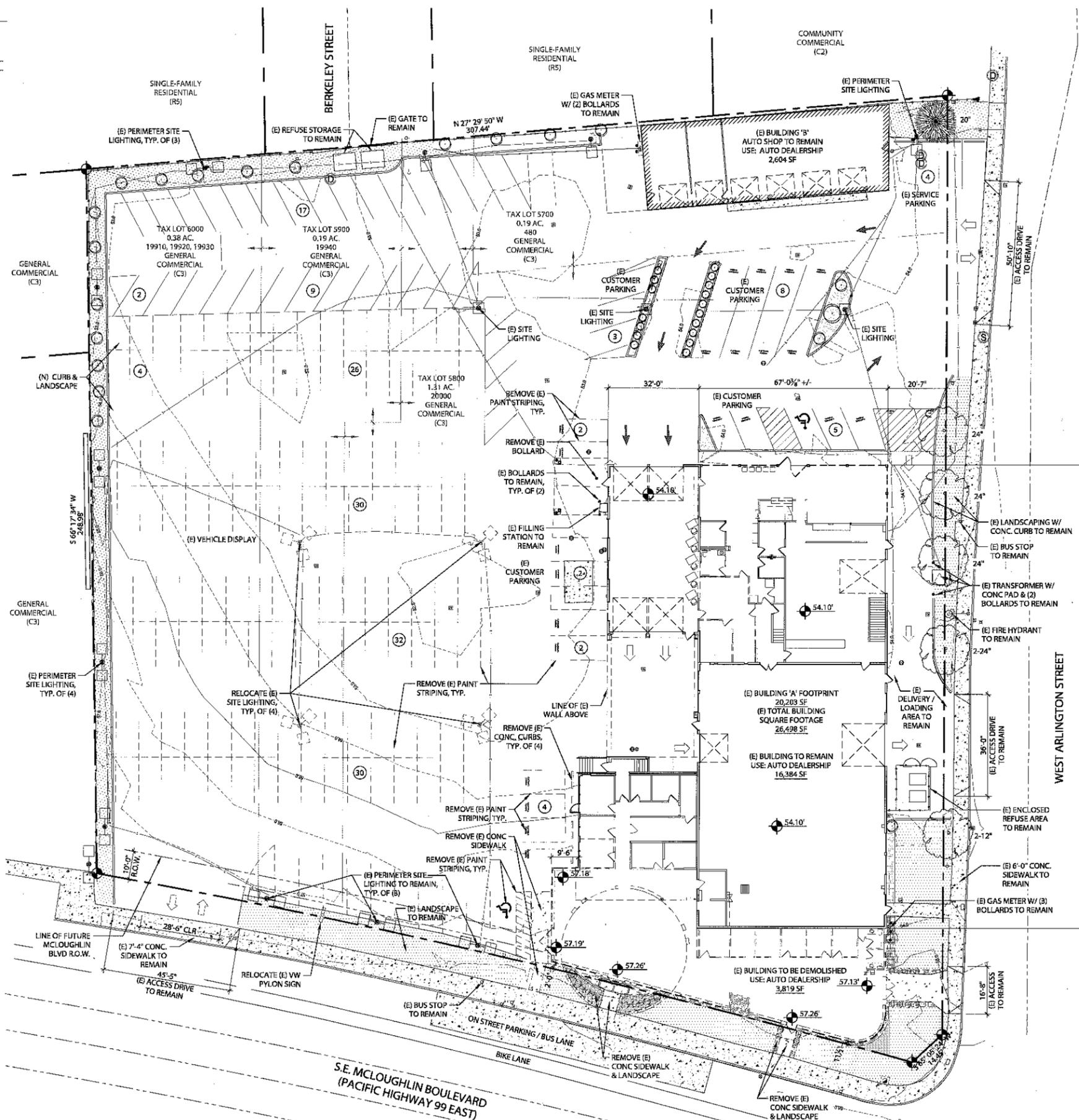
G-001

S:\Projects\2013 Projects\13-032 Armstrong VW Drawings\Current\G-001 - 13032 - Cover Sheet.dwg © Plot Date: Mar 15 14 @ Time: 8:16 PM

SITE CONDITIONS:

*PROPERTY AREA EQUALS THE SUM OF TAX LOTS
5700, 5800, 5900 & 6000.

EXISTING SITE CONDITIONS		
PROPERTY AREA:	89,030 SF	100.0%
IMPERVIOUS:		
TOTAL BUILDINGS:	81,383 SF	91.4%
BUILDING 'A'	22,807 SF	25.6%
BUILDING 'B'	20,203 SF	22.7%
PAVEMENT:	2,604 SF	2.9%
PAVEMENT:	58,576 SF	65.8%
PERVIOUS:		
LANDSCAPING:	7,613 SF	8.6%



SITE PLAN LEGEND:

- (E) PROPERTY LINE
- (E) FENCE
- CENTER LINE OF STREET
- PATH OF FIRE ACCESS
- CONTOUR - MINOR
- CONTOUR - MAJOR
- (E) LEASE LINE
- DEMO / HIDDEN
- (E) GAS LINE
- (E) UTILITY POWER LINE
- (E) SANITARY STORM LINE
- (E) WATER LINE
- (E) UTILITY COMMUNICATION LINE
- (E) CONCRETE
- (E) LANDSCAPING MULCH
- (E) LANDSCAPE GROUNDCOVER
- AREA OF (E) SHOWROOM TO BE DEMOLISHED
- (S) SANITARY MANHOLE
- (D) STORM MANHOLE
- (F) FIRE HYDRANT
- (V) WATER VALVE
- (M) WATER METER
- (C) CATCH BASIN
- (S) SANITARY CLEANOUT
- (P) POWER GUY WIRE
- (T) TELEPHONE BOX
- (O) POWER POLE (OVERHEAD POWER)
- (S) TRAFFIC SIGNAL POLE
- (J) POWER JUNCTION BOX
- (G) GAS METER
- (B) BOLLARD / POST
- (P) PYLON SIGN
- (S) SIGN
- (A) DIRECTIONAL ARROW - PAINTED
- (N) DIRECTIONAL ARROW - NOT PAINTED
- (2) DENOTES NUMBER OF PARKING SPACES
- (S) LUMINARE - SINGLE FIXTURE
- (D) LUMINARE - DOUBLE FIXTURE
- (T) LUMINARE - TRIPLE FIXTURE
- (S) LANDSCAPE SHRUB
- (C) CONIFEROUS TREE
- (D) DECIDUOUS TREE



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- GENERAL CONTRACTOR
- STRUCTURAL
- CIVIL
- LANDSCAPE
- MECHANICAL
- ELECTRICAL
- PLUMBING
- FIRE SUPPRESSION
- ARMSTRONG VOLKSWAGEN**
- 20000 MCLOUGHLIN BLVD
GLADSTONE, OR 97027

REVISIONS

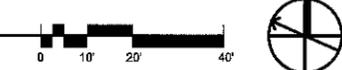
NO.	DESCRIPTION

DRAWN BY: KJK
CHECKED BY: TRB
JOB NO: 13-032
DATE: 03/17/2014
ISSUED FOR: LAND USE

SHEET TITLE
SITE PLAN -
EXISTING

SHEET NO.
A-101

1 SITE PLAN - EXISTING
SCALE: 1"=20'-0"

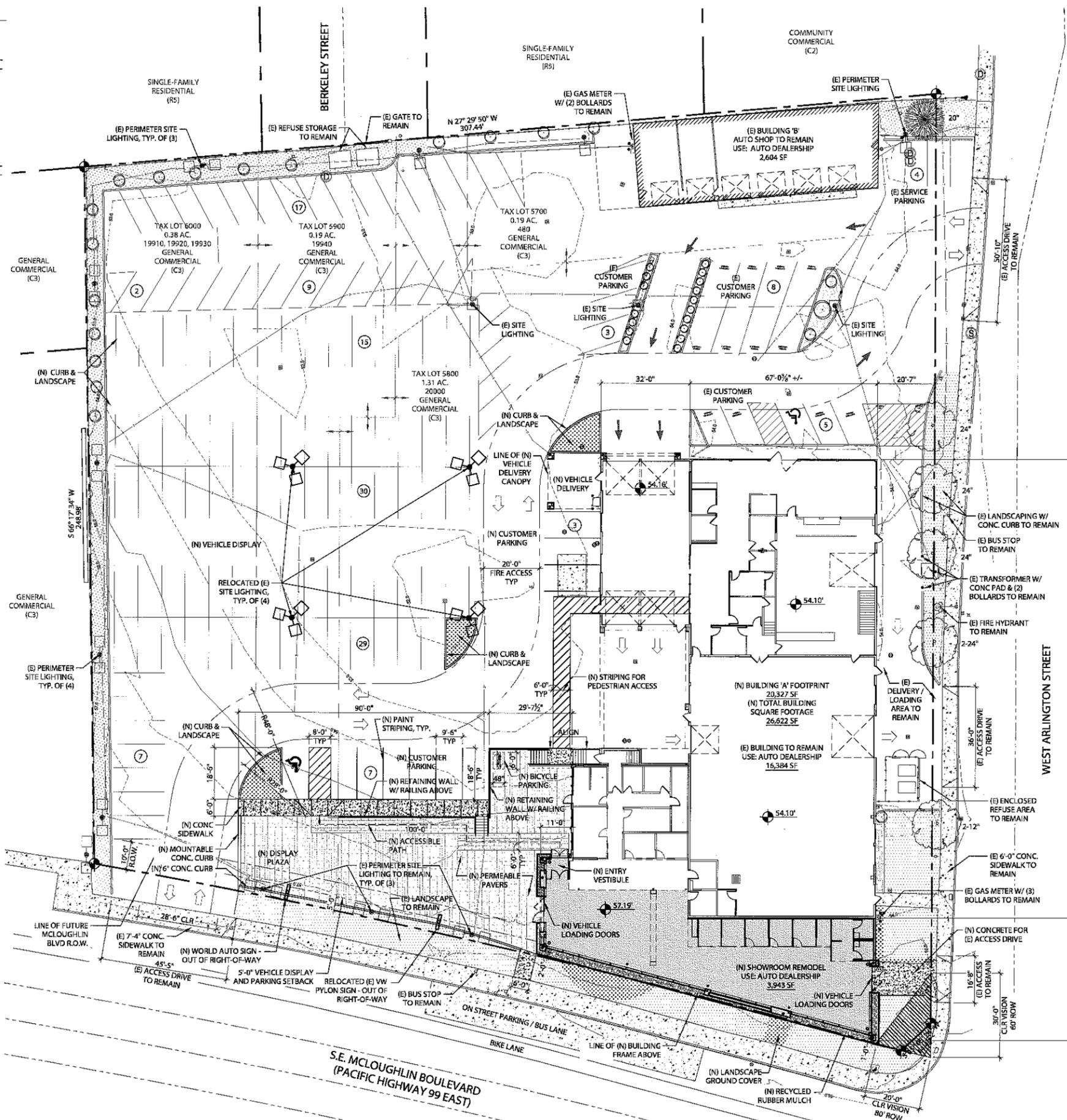


S:\Projects\2013 Projects\13-032 Armstrong VW Drawings\Current\A-101_A-102_13032_Site Plan.dwg © Plot Date: Mar 17 14 @ Time: 9:24 AM

SITE CONDITIONS:

*PROPERTY AREA EQUALS THE SUM OF TAX LOTS
5700, 5800, 5900 & 6000.

EXISTING SITE CONDITIONS		
PROPERTY AREA:	89,030 SF	100.0%
IMPERVIOUS:		
TOTAL BUILDINGS:	81,383 SF	91.4%
BUILDING 'A'	22,807 SF	25.6%
BUILDING 'B'	2,604 SF	2.9%
PAVEMENT:	56,576 SF	63.5%
PERVIOUS:		
LANDSCAPING:	7,613 SF	8.6%
PROPOSED SITE CONDITIONS		
PROPERTY AREA:	89,030 SF	100.0%
IMPERVIOUS:		
TOTAL BUILDINGS:	75,961 SF	85.3%
BUILDING 'A'	22,931 SF	25.8%
BUILDING 'B'	2,604 SF	2.9%
PAVEMENT:	53,030 SF	59.5%
PERVIOUS:		
LANDSCAPING:	13,069 SF	14.7%
PERMEABLE PAVERS:	8,560 SF	9.6%



SITE PLAN LEGEND:

- (E) PROPERTY LINE
- (E) FENCE
- CENTER LINE OF STREET
- PATH OF FIRE ACCESS
- CONTOUR - MINOR
- CONTOUR - MAJOR
- (E) LEASE LINE
- DEMO / HIDDEN
- (E) GAS LINE
- (E) UTILITY POWER LINE
- (E) SANITARY STORM LINE
- (E) WATER LINE
- (E) UTILITY COMMUNICATION LINE
- (E) CONCRETE
- (N) CONCRETE
- (N) PERMEABLE PAVERS TO MATCH: UNILOCK 5.91" X 2.76" RUNNING BOND SERIES: 3000, COLOR: MINERAL ICE GREY
- (E) LANDSCAPING MULCH
- (E) LANDSCAPE GROUNDCOVER
- (N) LANDSCAPE GROUNDCOVER
- AREA OF (N) SHOWROOM REMODEL
- (N) RECYCLED RUBBER MULCH SERIES: EVERLAST, COLOR: BLACK ONYX
- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ CATCH BASIN
- ⊙ SANITARY CLEANOUT
- ⊙ POWER GUY WIRE
- ⊙ TELEPHONE BOX
- ⊙ POWER POLE (OVERHEAD POWER)
- ⊙ TRAFFIC SIGNAL POLE
- ⊙ POWER JUNCTION BOX
- ⊙ GAS METER
- ⊙ BOLLARD / POST
- ⊙ PYLON SIGN
- ⊙ SIGN
- ➔ DIRECTIONAL ARROW - PAINTED
- ➔ DIRECTIONAL ARROW - NOT PAINTED
- ② DENOTES NUMBER OF PARKING SPACES
- ⊙ LUMINAIRE - SINGLE FIXTURE
- ⊙ LUMINAIRE - DOUBLE FIXTURE
- ⊙ LUMINAIRE - TRIPLE FIXTURE
- ⊙ LANDSCAPE SHRUB
- ⊙ CONIFEROUS TREE
- 20" DIAMETER AT BREAST HEIGHT (DBH)
- ⊙ DECIDUOUS TREE
- 24" DIAMETER AT BREAST HEIGHT (DBH)



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FX: 503.546.9276

- GENERAL CONTRACTOR
- STRUCTURAL
- CIVIL
- LANDSCAPE
- MECHANICAL
- ELECTRICAL
- PLUMBING
- FIRE SUPPRESSION
- ARMSTRONG VOLKSWAGEN**
- 20000 MCGLOUGHLIN BLVD
GLADSTONE, OR 97027

REVISIONS

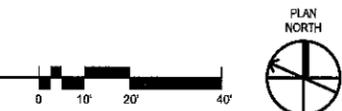
NO.	DESCRIPTION

DRAWN BY: KJK
CHECKED BY: TRB
JOB NO: 13-032
DATE: 03/17/2014
ISSUED FOR: LAND USE

SHEET TITLE
SITE PLAN - PROPOSED

SHEET NO.

1 SITE PLAN - PROPOSED
SCALE: 1" = 20'-0"



S:\Projects\2013 Projects\13-032 Armstrong VW Drawings\Currents\A-101, A-102 - 13032 - Site Plan.dwg © Plot Date: Mar 17 14 @ Time: 10:30 AM



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GENERAL CONTRACTOR

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- CIVIL
- LANDSCAPE
- MECHANICAL
- ELECTRICAL
- PLUMBING
- FIRE SUPPRESSION

ARMSTRONG VOLKSWAGEN



20000 MCLOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS

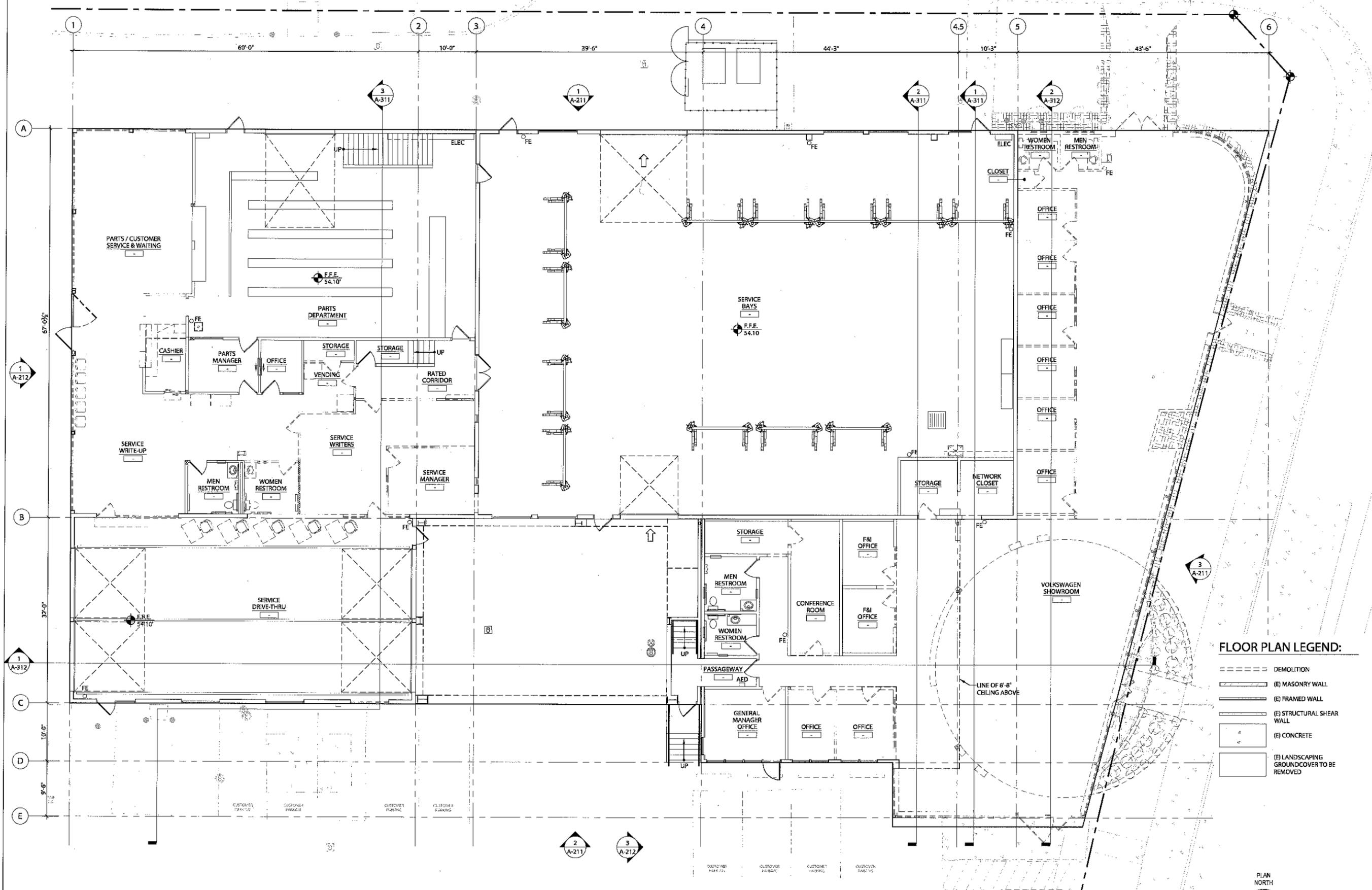
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DRAWN BY: KJK
 CHECKED BY: TRB
 JOB NO: 13-032
 DATE: 03/17/2014
 ISSUED FOR: LAND USE

SHEET TITLE
FIRST FLOOR PLAN - EXISTING

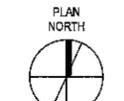
SHEET NO.

A-111



FLOOR PLAN LEGEND:

- DEMOLITION
- (E) MASONRY WALL
- (E) FRAMED WALL
- (E) STRUCTURAL SHEAR WALL
- (E) CONCRETE
- (E) LANDSCAPING GROUNDCOVER TO BE REMOVED



1 FIRST FLOOR PLAN - EXISTING
 SCALE: 1/8" = 1'-0"

S:\Projects\2013 Projects\13-032 Armstrong VW Drawings\Current\A-111_A-121_13032 - First Floor Plan.dwg © Plot Date: Mar 17 14 @ Time: 10:28 AM



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 PORTLAND, OR 97216
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 FX: 503.546.9276

GENERAL CONTRACTOR

STRUCTURAL

CIVIL

LANDSCAPE

MECHANICAL

ELECTRICAL

PLUMBING

FIRE SUPPRESSION

ARMSTRONG
VOLKSWAGEN



20000 M'CLOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS

NO.	DESCRIPTION

DRAWN BY: KJK

CHECKED BY: TRB

JOB NO: 13-032

DATE: 03/17/2014

ISSUED FOR: LAND USE

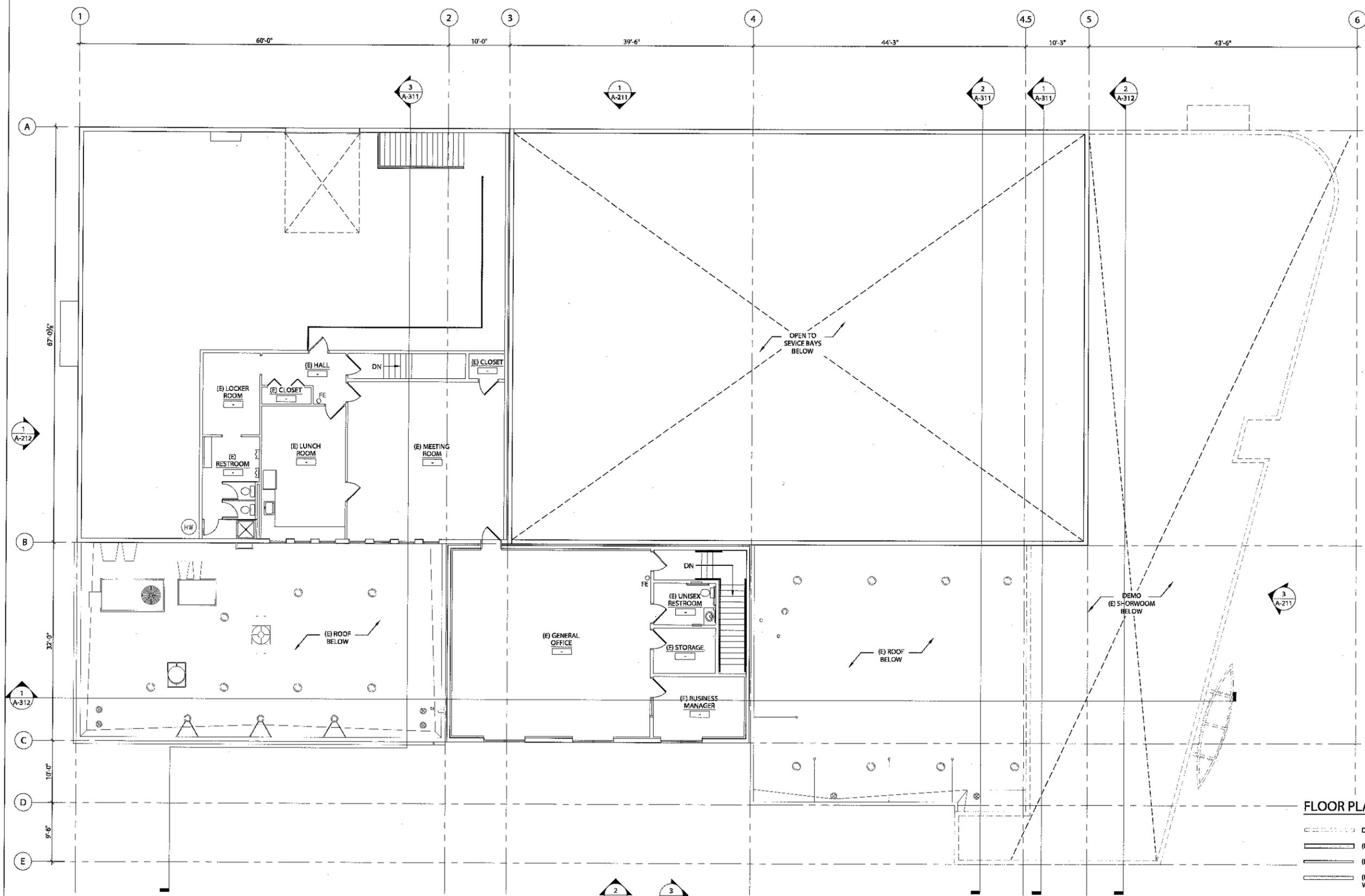
SHEET TITLE

SECOND FLOOR

PLAN - EXISTING

SHEET NO.

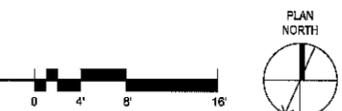
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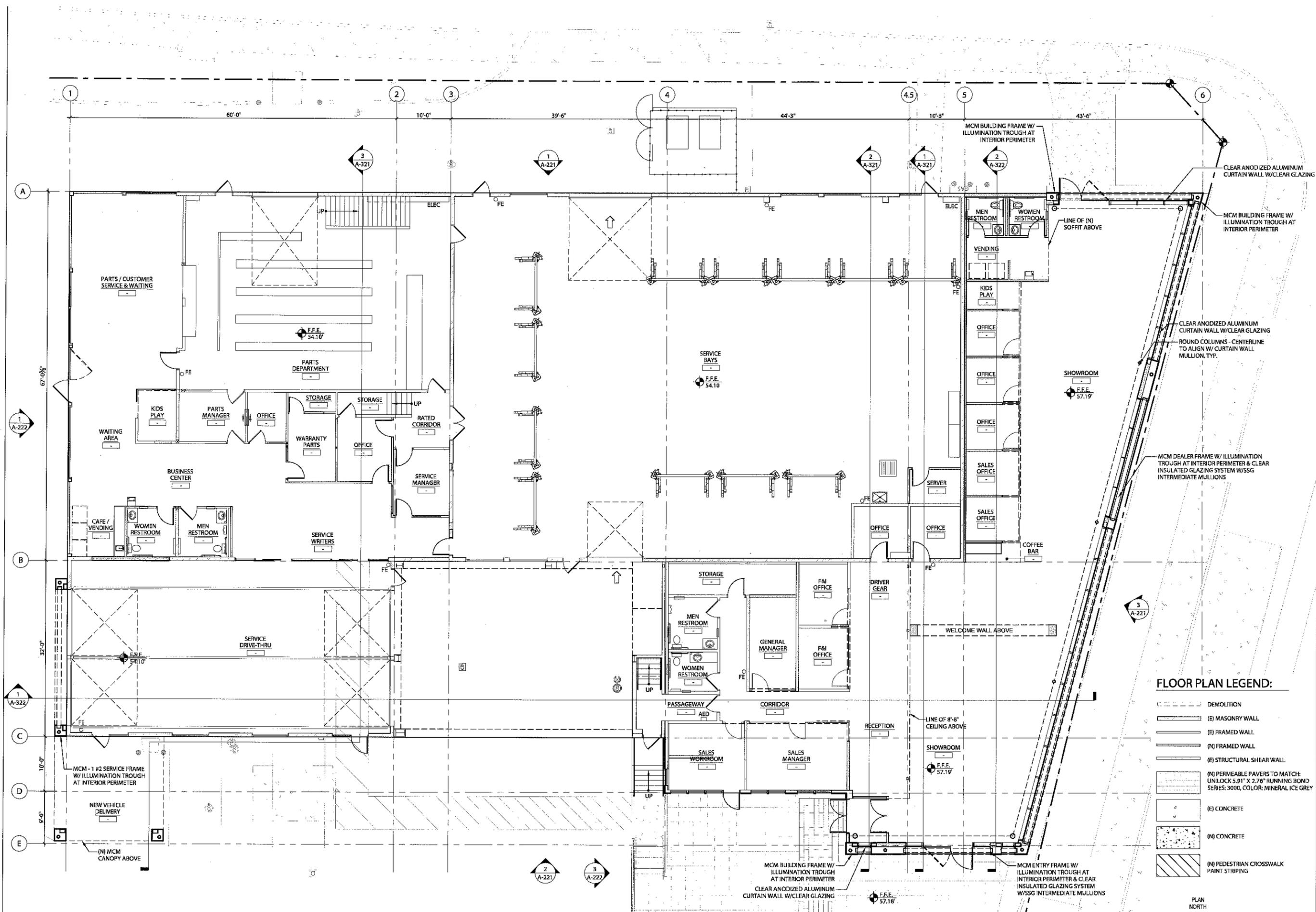
FLOOR PLAN LEGEND:

- DEMOLITION
- (E) MASONRY WALL
- (E) FRAMED WALL
- (E) STRUCTURAL SHEAR WALL

1 SECOND FLOOR PLAN - EXISTING
 SCALE: 1/8" = 1'-0"



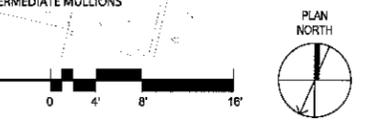
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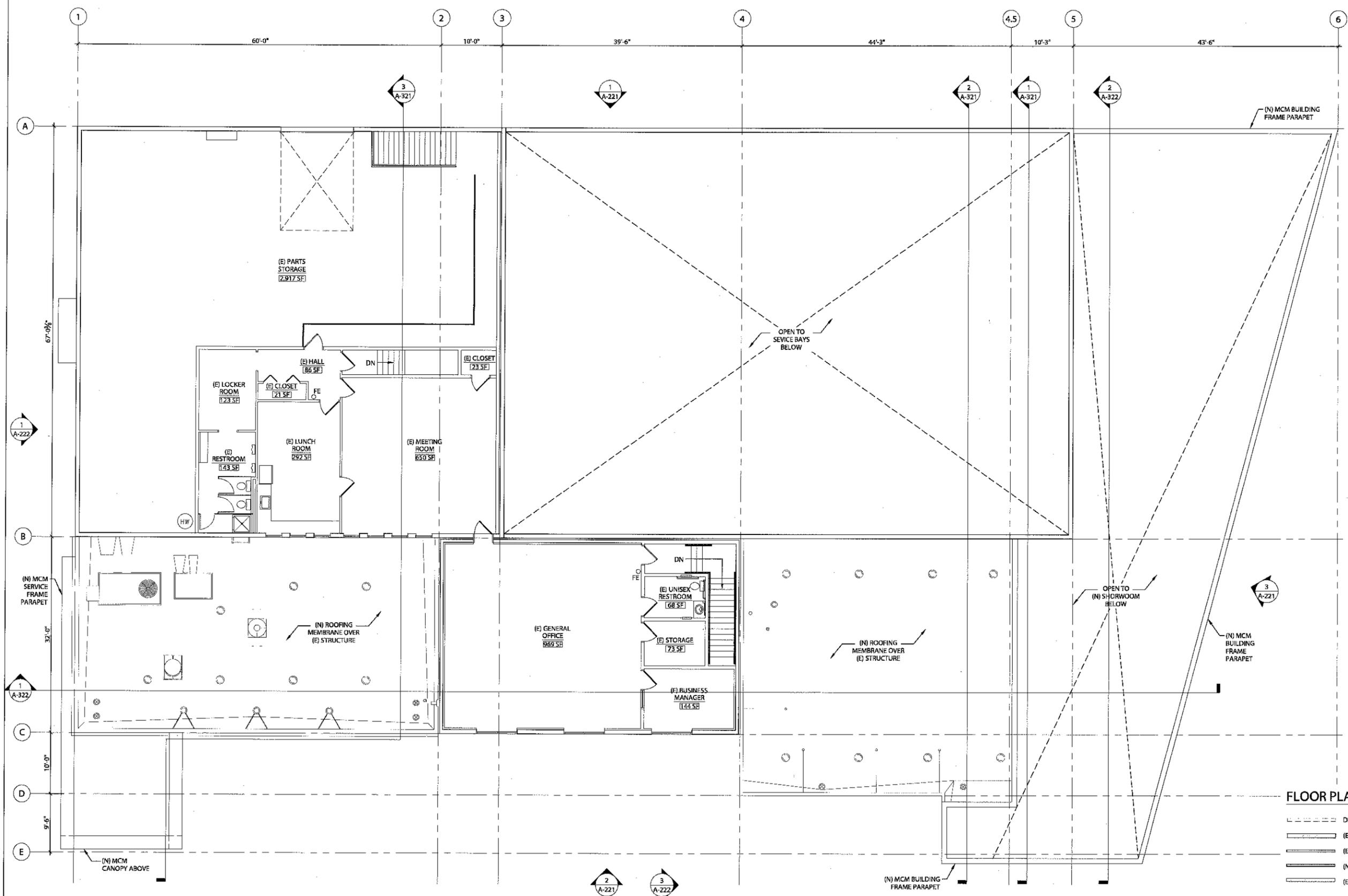
FLOOR PLAN LEGEND:

	DEMOLITION
	(E) MASONRY WALL
	(E) FRAMED WALL
	(N) FRAMED WALL
	(E) STRUCTURAL SHEAR WALL
	(N) PERMEABLE PAVERS TO MATCH: UNILOCK 5.91" X 2.76" RUNNING BOND SERIES: 3000, COLOR: MINERAL ICE GREY
	(E) CONCRETE
	(N) CONCRETE
	(N) PEDESTRIAN CROSSWALK PAINT STRIPING

1 FIRST FLOOR PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



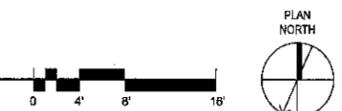
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FLOOR PLAN LEGEND:

	DEMOLITION
	(E) MASONRY WALL
	(E) FRAMED WALL
	(N) FRAMED WALL
	(E) STRUCTURAL SHEAR WALL

1 SECOND FLOOR PLAN - PROPOSED
 SCALE: 1/8" = 1'-0"



S:\Projects\2013 Projects\13-032 Armstrong VW\Drawings\Current\A-112_A-122_13032 - Second Floor Plan.dwg © Plot Date: Mar 17 14 @ Time: 9:45 AM



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GENERAL CONTRACTOR

STRUCTURAL

CIVIL

LANDSCAPE

MECHANICAL

ELECTRICAL

PLUMBING

FIRE SUPPRESSION

ARMSTRONG VOLKSWAGEN



20000 MCLOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS

NO.	DESCRIPTION

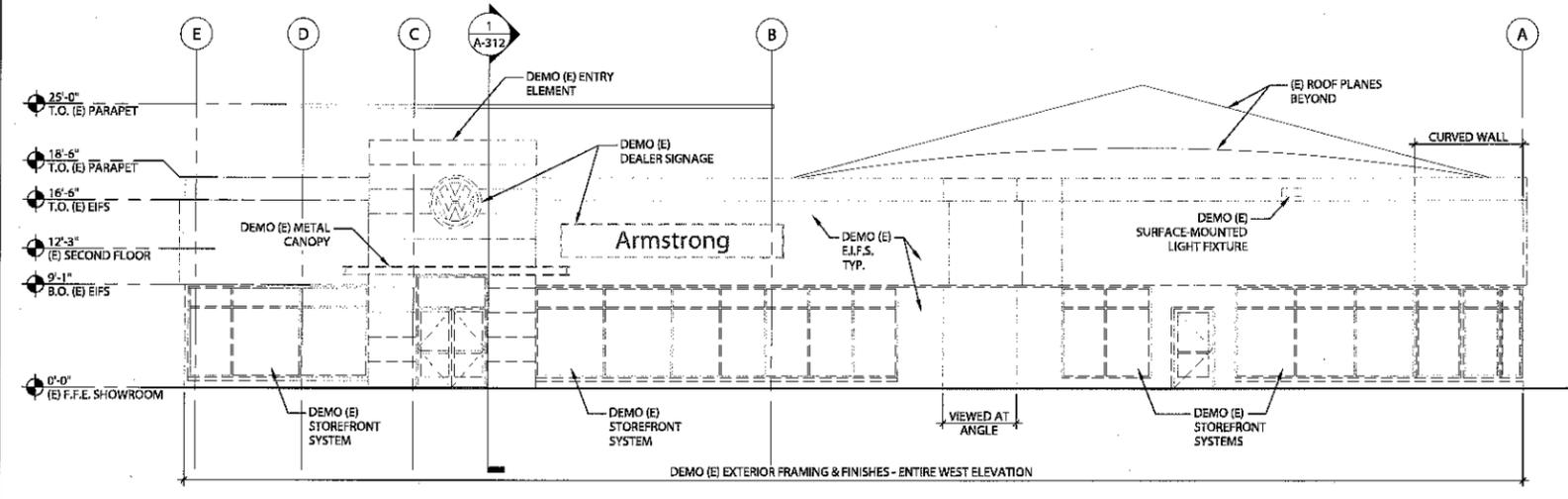
DRAWN BY: KJK
 CHECKED BY: TRB
 JOB NO: 13-032

DATE: 03/17/2014
 ISSUED FOR: LAND USE

SHEET TITLE
 EXTERIOR
 ELEVATIONS -
 EXISTING

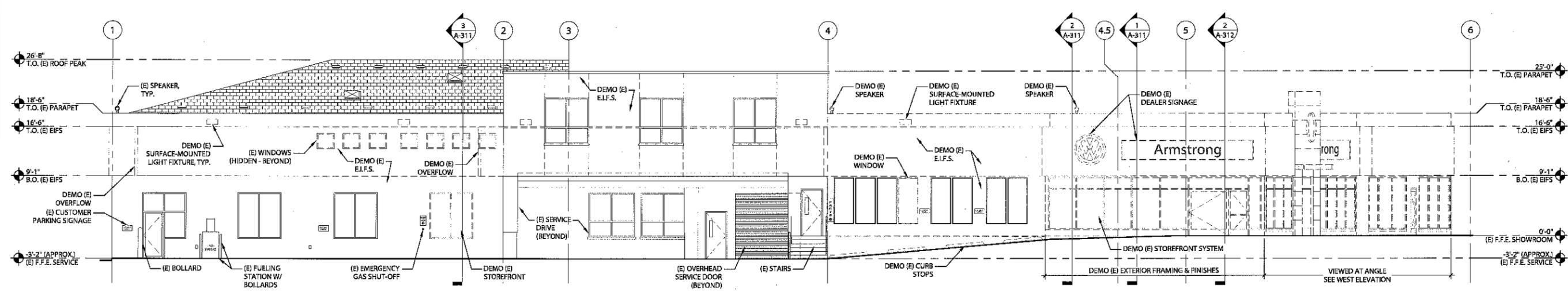
SHEET NO.

A-211



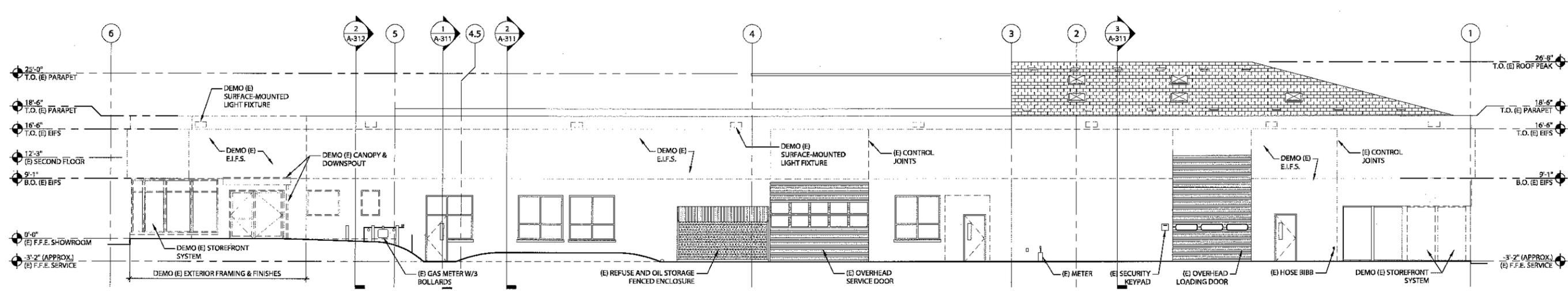
3 WEST ELEVATION - EXISTING
 SCALE: 1/8"=1'-0"

1/A-111



2 NORTH ELEVATION - EXISTING
 SCALE: 1/8"=1'-0"

1/A-111



1 SOUTH ELEVATION - EXISTING
 SCALE: 1/8"=1'-0"

1/A-111

S:\Projects\2013\Projects\13-032_Armstrong VW\Drawings\Current\A-211 - A-222 - 13032 - Exterior Elevations.dwg @ Plot Date: Mar 15 14 @ Times: 9:49 PM



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GENERAL CONTRACTOR

- STRUCTURAL
- CIVIL
- LANDSCAPE
- MECHANICAL
- ELECTRICAL
- PLUMBING
- FIRE SUPPRESSION

ARMSTRONG VOLKSWAGEN

20000 M'CLOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS

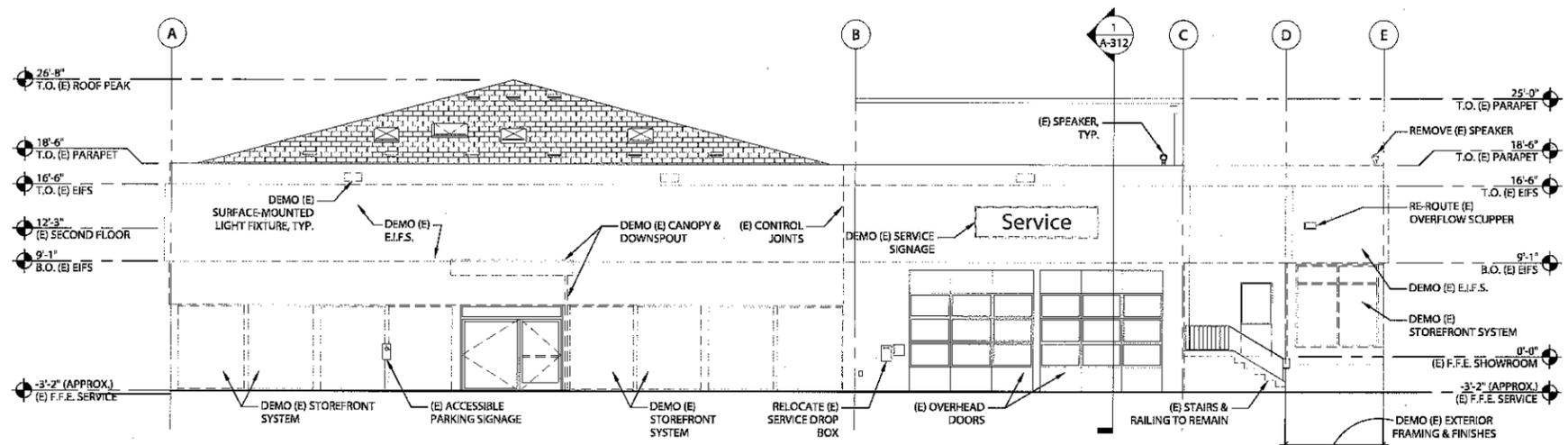
DRAWN BY: KJK
 CHECKED BY: TRB
 JOB NO: 13-032

DATE: 03/17/2014
 ISSUED FOR: LAND USE

SHEET TITLE
 EXTERIOR
 ELEVATIONS -
 EXISTING

SHEET NO.

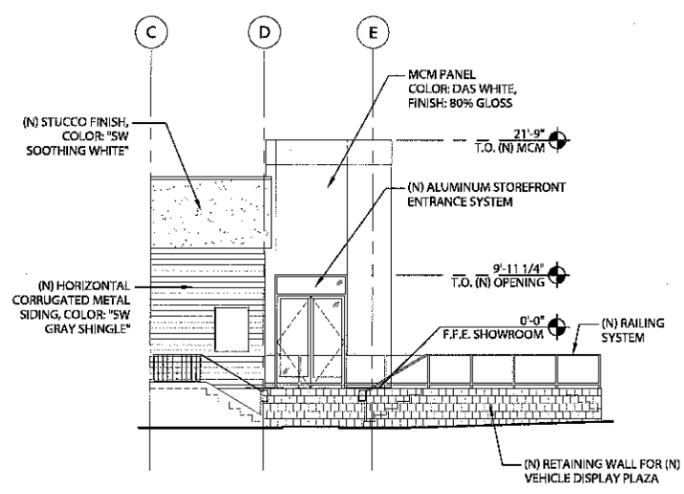
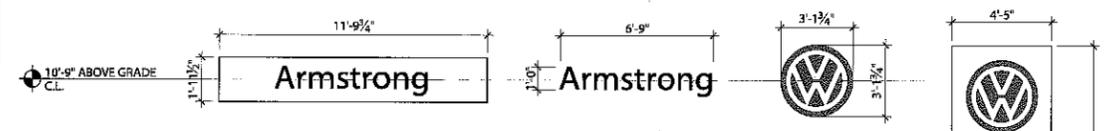
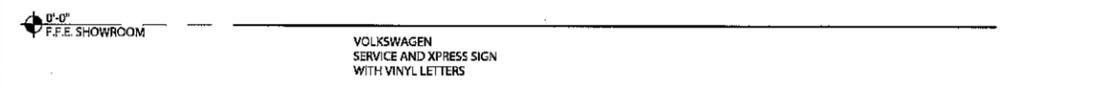
A-212



1 EAST ELEVATION - EXISTING
 SCALE: 1/8" = 1'-0"

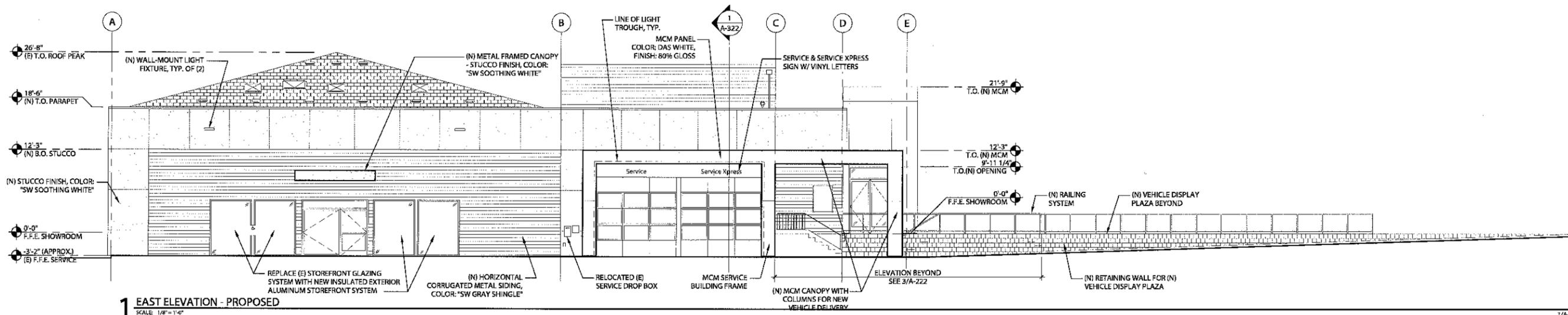
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NO.	DATE	DESCRIPTION



2 ENLARGED SIGN ELEVATIONS - PROPOSED
SCALE: 1/4" = 1'-0"

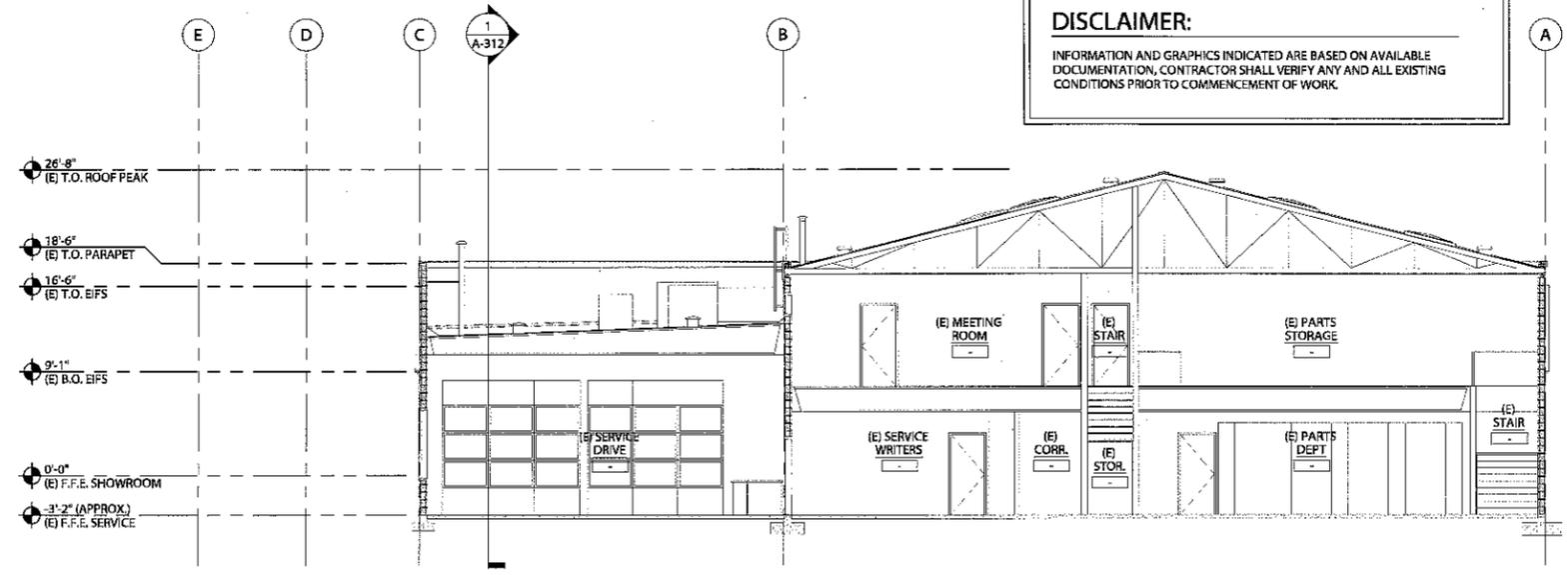
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SCALE: 1/8" = 1'-0"



1 EAST ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"

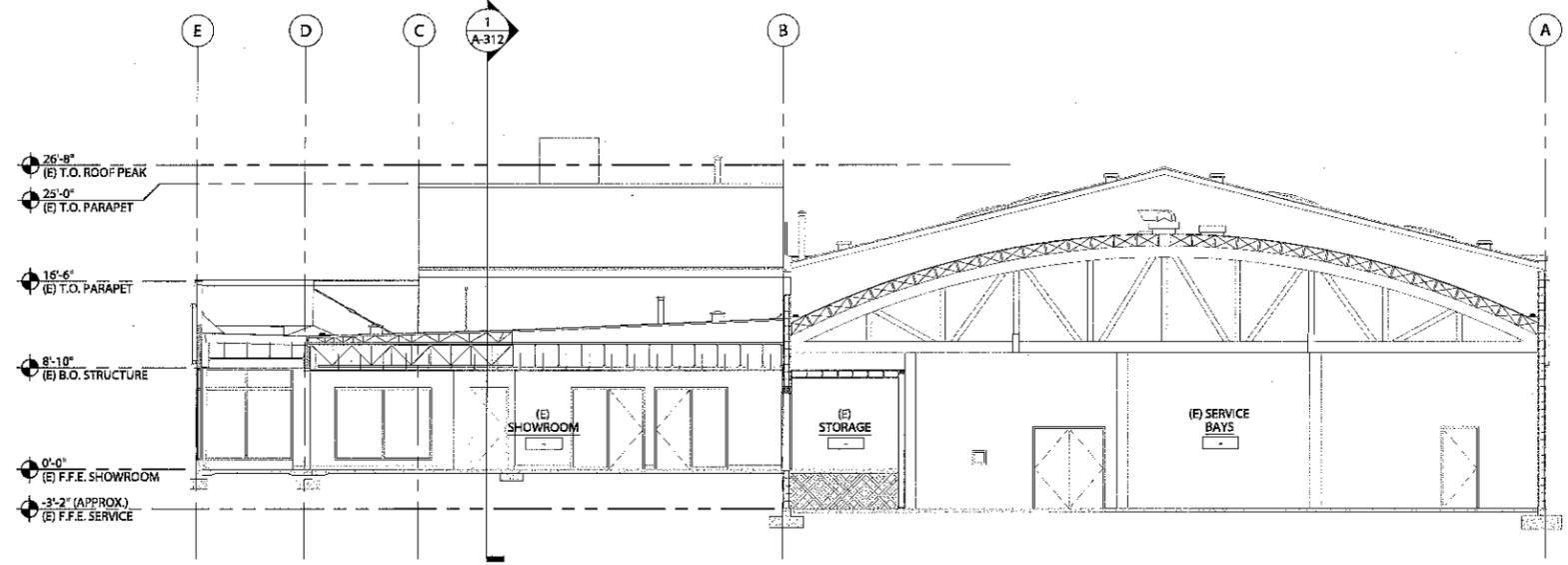


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 INFORMATION AND GRAPHICS INDICATED ARE BASED ON AVAILABLE DOCUMENTATION, CONTRACTOR SHALL VERIFY ANY AND ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.



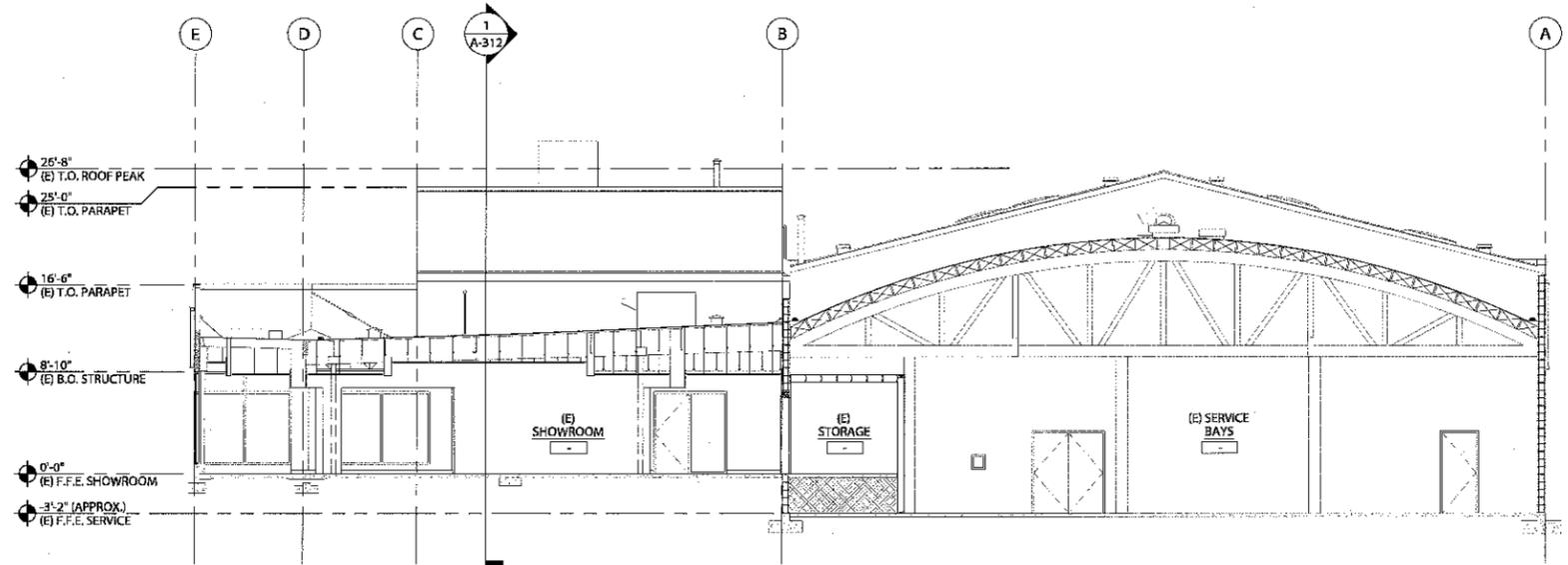
3 BUILDING SECTION - EXISTING
 SCALE: 1/8" = 1'-0"

1/A-121



2 BUILDING SECTION - EXISTING
 SCALE: 1/8" = 1'-0"

1/A-121



1 BUILDING SECTION - EXISTING
 SCALE: 1/8" = 1'-0"

1/A-121

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GENERAL CONTRACTOR

STRUCTURAL

CIVIL

LANDSCAPE

MECHANICAL

ELECTRICAL

PLUMBING

FIRE SUPPRESSION

ARMSTRONG VOLKSWAGEN



20000 M'LOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY: KJK

CHECKED BY: TRB

JOB NO: 13-032

DATE: 03/17/2014

ISSUED FOR: LAND USE

SHEET TITLE

BUILDING SECTIONS - EXISTING

SHEET NO.

A-311

S:\Projects\2013 Projects\13-032 Armstrong VW Drawings\Current\A-311 - A-322 - 13032 - Building Sections.dwg © Plot Date: Mar 15 14 @ Time: 9:26 PM

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11104 SE STARK STREET
 PORTLAND, OR 97216
 PH: 503.284.0988
 FX: 503.546.9276

GENERAL CONTRACTOR

STRUCTURAL

CIVIL

LANDSCAPE

MECHANICAL

ELECTRICAL

PLUMBING

FIRE SUPPRESSION

ARMSTRONG VOLKSWAGEN



20000 MCLOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS

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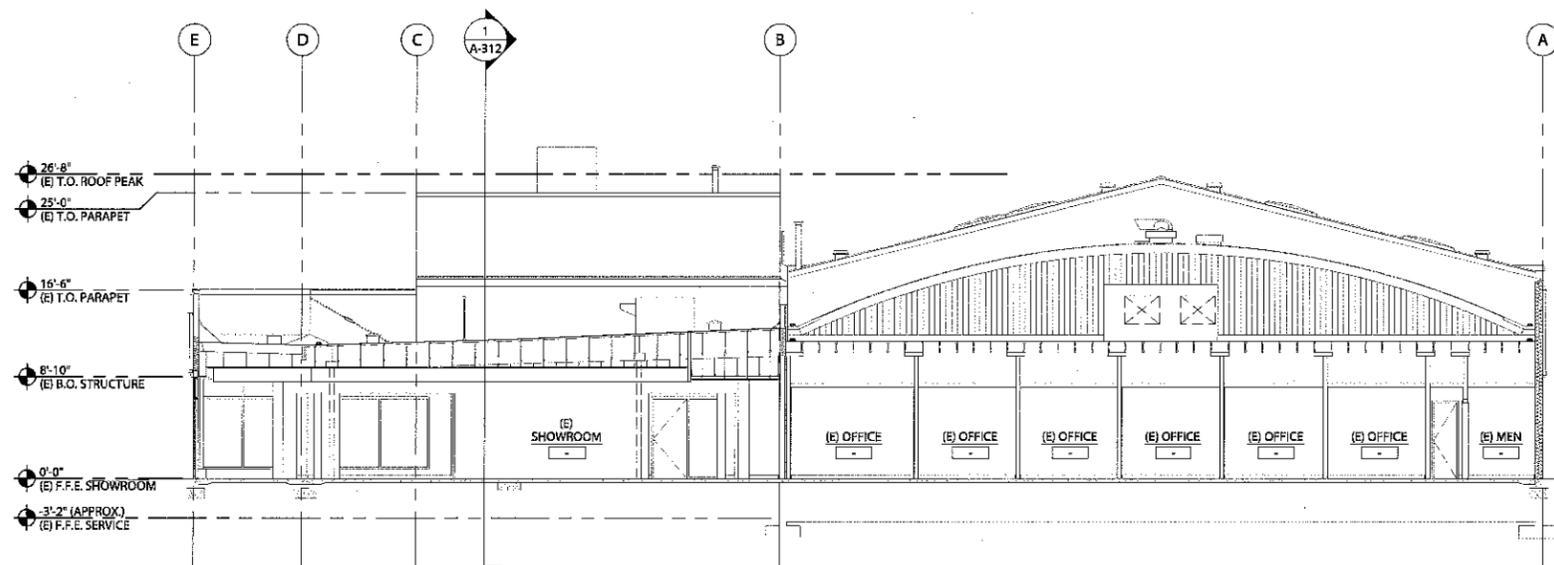
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BUILDING SECTIONS -

EXISTING

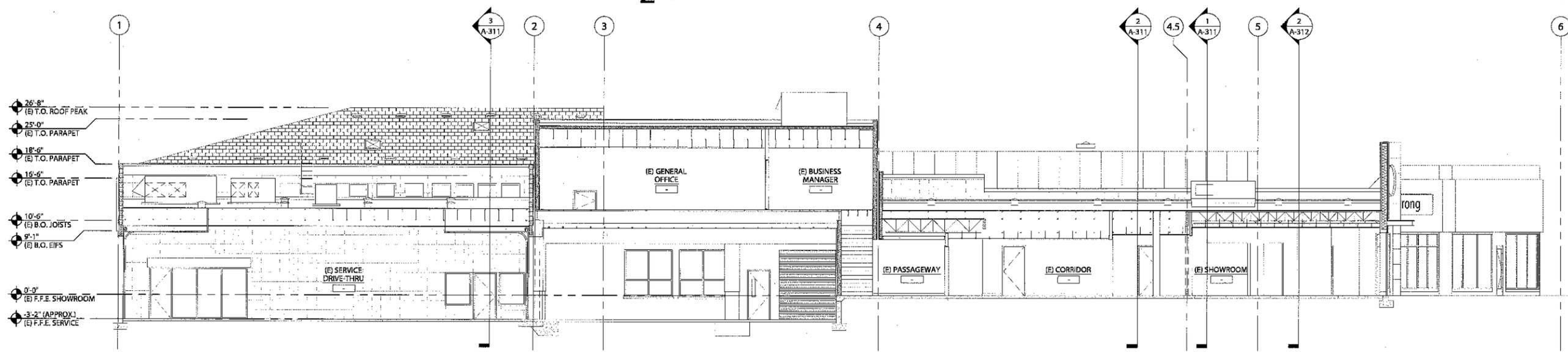
SHEET NO.

A-312



2 BUILDING SECTION - EXISTING
 SCALE: 1/8" = 1'-0"

1/A-121



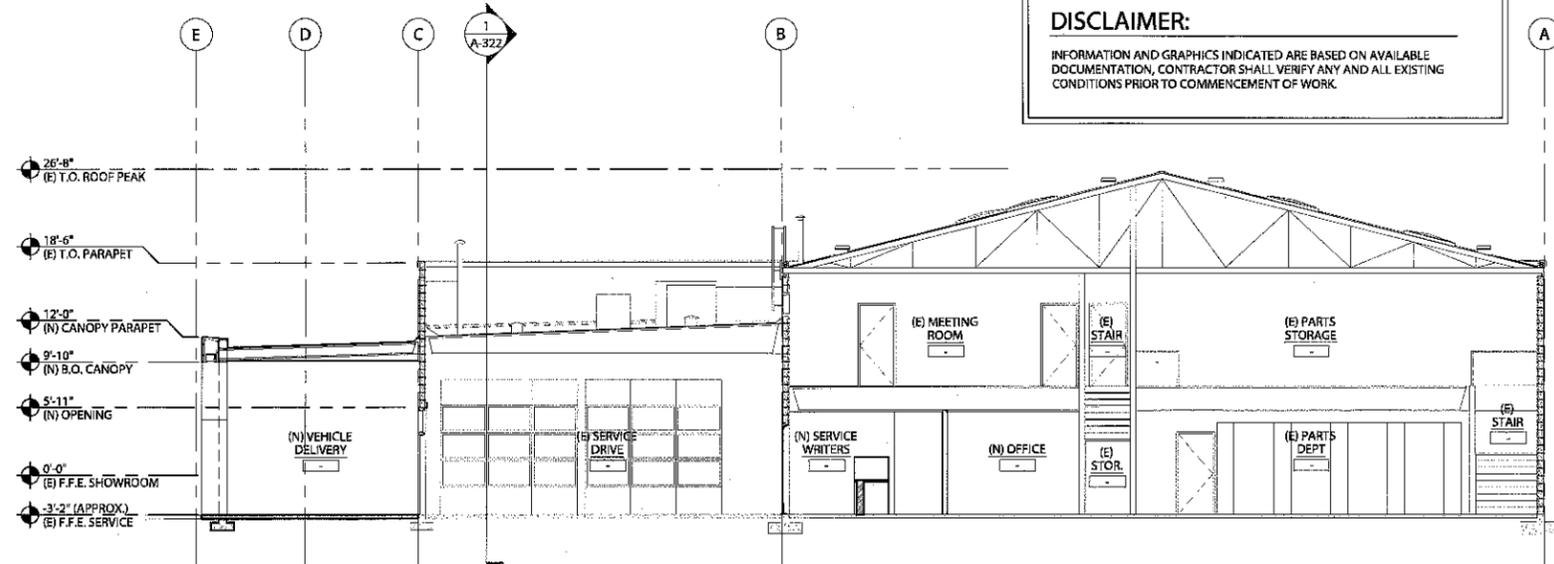
1 BUILDING SECTION - EXISTING
 SCALE: 1/8" = 1'-0"

1/A-121

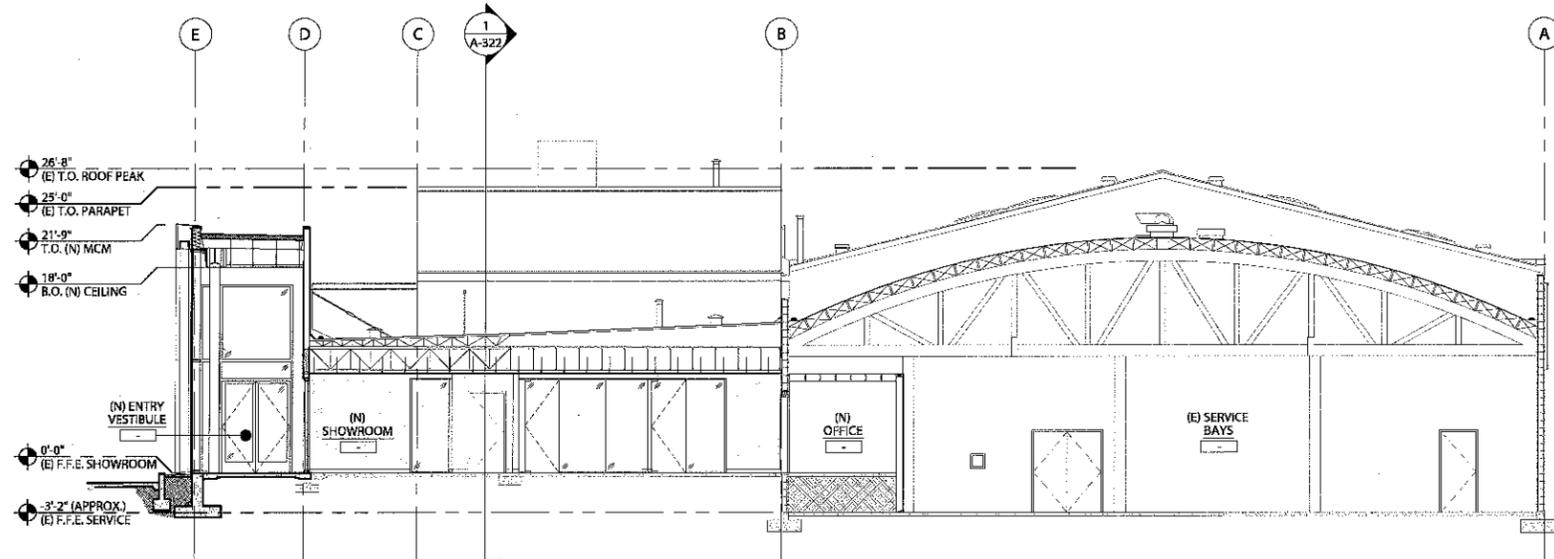
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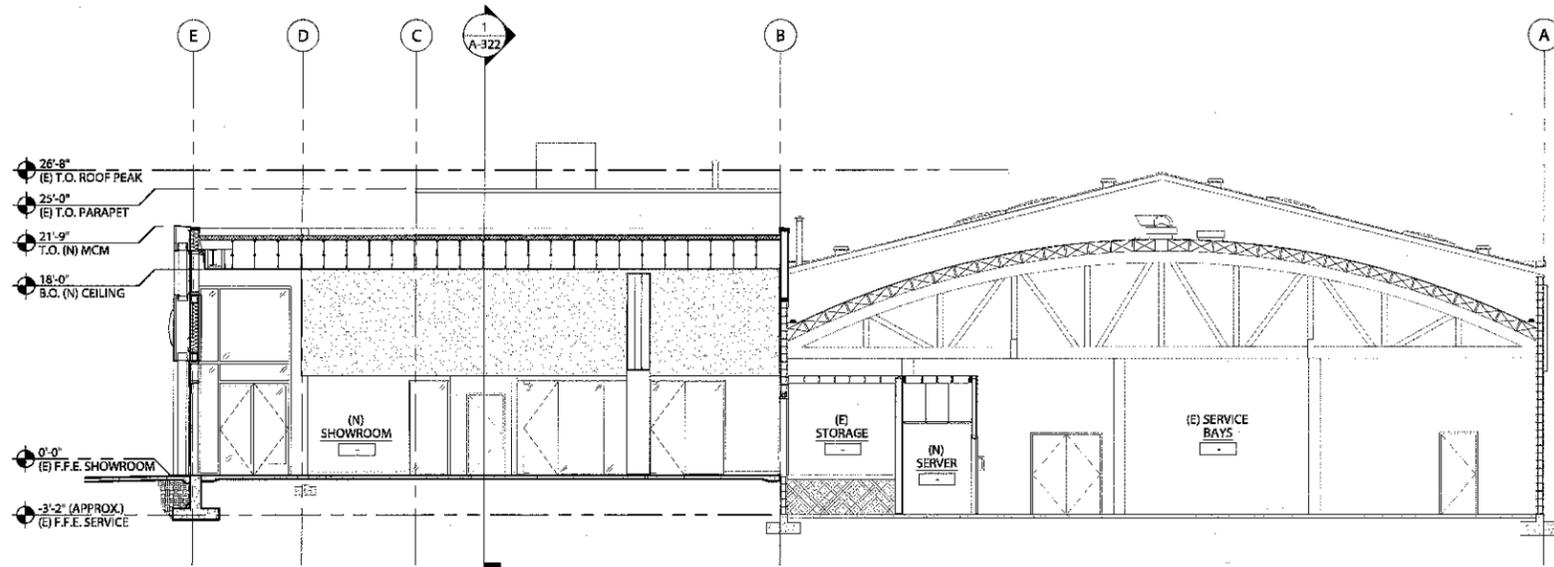
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3 BUILDING SECTION - PROPOSED
 SCALE: 1/8" = 1'-0"



2 BUILDING SECTION - PROPOSED
 SCALE: 1/8" = 1'-0"



1 BUILDING SECTION - PROPOSED
 SCALE: 1/8" = 1'-0"

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GENERAL CONTRACTOR

STRUCTURAL

CIVIL

LANDSCAPE

MECHANICAL

ELECTRICAL

PLUMBING

FIRE SUPPRESSION

ARMSTRONG VOLKSWAGEN



2000 MCLOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS

DRAWN BY: KJK

CHECKED BY: TRB

JOB NO: 13-032

DATE: 03/17/2014

ISSUED FOR: LAND USE

SHEET TITLE

BUILDING SECTIONS -
 PROPOSED

SHEET NO.

A-321

S:\Projects\2013 Projects\13-032 Armstrong VW Drawings\Current\A-311 - A-322 - Building Sections.dwg © Plot Date: Mar 15 14 @ Time: 8:29 PM

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GENERAL CONTRACTOR

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LANDSCAPE

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FIRE SUPPRESSION

**ARMSTRONG
 VOLKSWAGEN**



20000 M'LOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY: KJK

CHECKED BY: TRB

JOB NO: 13-032

DATE: 03/17/2014

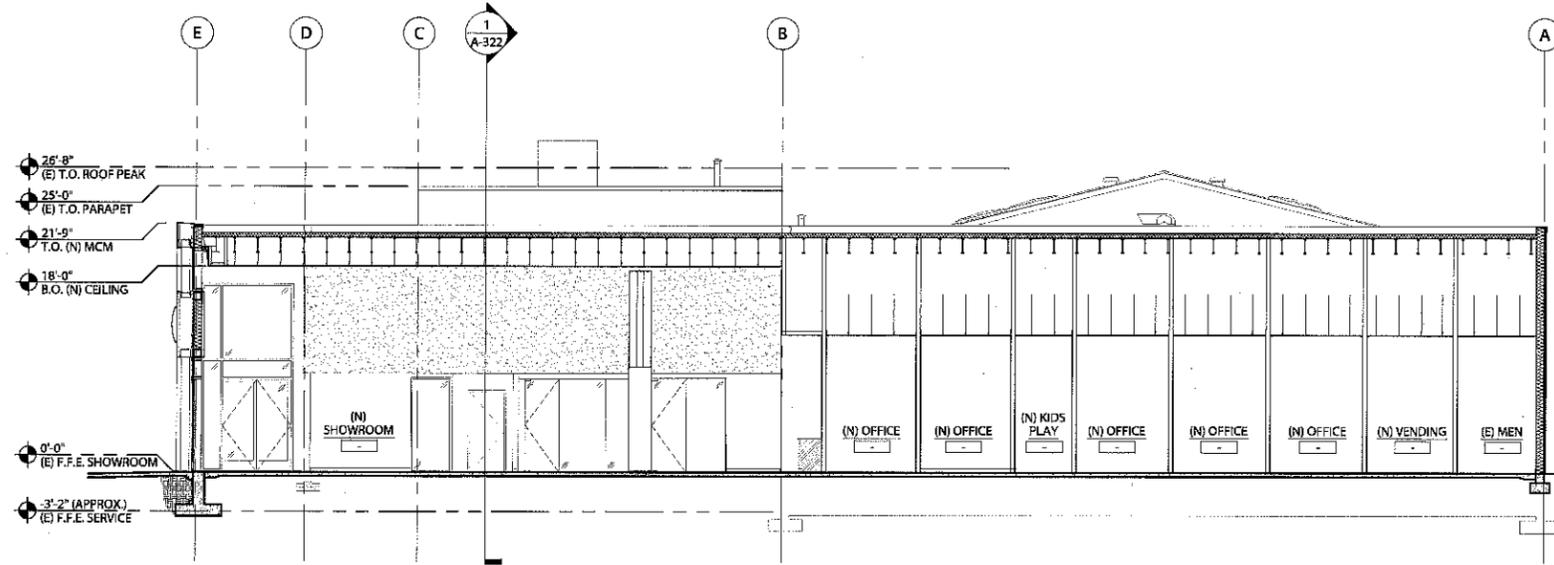
ISSUED FOR: LAND USE

SHEET TITLE

BUILDING SECTIONS -
 PROPOSED

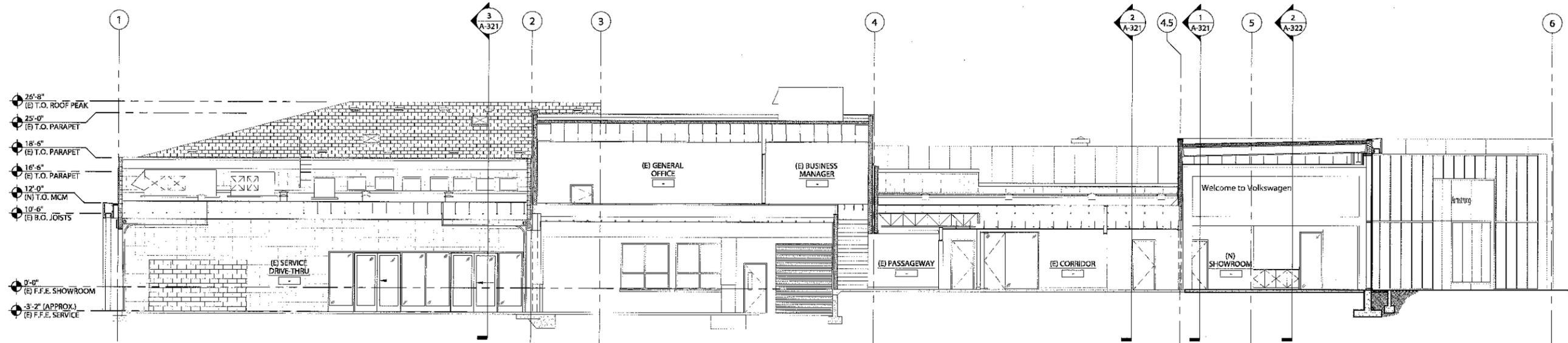
SHEET NO.

A-322



2 BUILDING SECTION - PROPOSED
 SCALE: 1/8"=1'-0"

1/A-121



1 BUILDING SECTION - PROPOSED
 SCALE: 1/8"=1'-0"

1/A-121

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 FX: 503.546.9276

GENERAL CONTRACTOR

STRUCTURAL

CIVIL
 HHR INC.
 205 SE SPOKANE ST, STE 200
 PORTLAND, OR 97202
 PH: 503.221.1131

LANDSCAPE

MECHANICAL

ELECTRICAL

PLUMBING

FIRE SUPPRESSION

ARMSTRONG VOLKSWAGEN



20000 M'LOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS

DRAWN BY: TLH

CHECKED BY: JLB

JOB NO: 13-032

DATE: 03/17/2014

ISSUED FOR: LAND USE

SHEET TITLE

GRADING AND

EROSION CONTROL

PLAN

SHEET NO.

C100



PROJECT LOCATION
 20000 M'LOUGHLIN BLVD
 GLADSTONE, OR 97207
 2S 2E 19DD T1.5800

NOTES
 SITE AREA: 1.18 AC
 DISTURBED AREA: 17,000 SF
 THERE ARE NO NATURAL WATER COURSES WITHIN THE PROJECT SITE.
 THE SITE IS NOT WITHIN 100 YR FLOOD FLAIN.
 THE SITE IS WITHIN ZONE X 'OTHER FLOOD AREAS' AS SHOWN ON FEMA MAPS.
 THE FOLLOWING NATURAL FEATURES ARE NOT WITHIN THE PROJECT SITE: WOODED AREAS, WILDLIFE HABITAT AREAS, STREAMS AND STREAM CORRIDORS, MARSH AND WETLAND AREAS, KNOWN UNDERGROUND SPRINGS, EARTH MOUNDS, LARGE ROCK OUTCROPPINGS, SIGNIFICANT VIEWS.
 THE SITE IS NOT WITHIN A KNOWN POTENTIAL GEOLOGIC HAZARD AREA.

EXISTING SITE SLOPE ANALYSIS

0% TO 10%	49,900 SF
10% TO 20%	1,500 SF
20% TO 35%	0 SF
35% TO 50%	0 SF
50% GREATER	0 SF

LEGEND

	PROPERTY LINE
	PROPOSED CURB
	SAWCUT LINE
	FLOW ARROW
	SPOT ELEVATION
	SLOPE ARROW
	INLET PROTECTION
	PAVERS
	CONCRETE
	LANDSCAPE
	AC PAVEMENT

ABBREVIATIONS:

EX	EXISTING
S/W	SIDEWALK
AC	ASPHALT
TOC	TOP OF CURB

P:\ADG (Axis Design Group)\ADG-16 (Armstrong Volkswagen)\ADG16-DWG\SSHEETS\ADG16-C100_Grading.dwg © Plot Date: Mar 17 14 @ Time: 10:29 AM

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GENERAL CONTRACTOR

STRUCTURAL

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 HHPR INC.
 205 SE SPOKANE ST, STE 200
 PORTLAND, OR 97202
 PH: 503.221.1131

LANDSCAPE

MECHANICAL

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FIRE SUPPRESSION

ARMSTRONG VOLKSWAGEN



20000 MCLOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS

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DATE: 03/17/2014

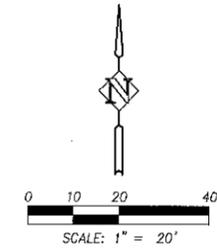
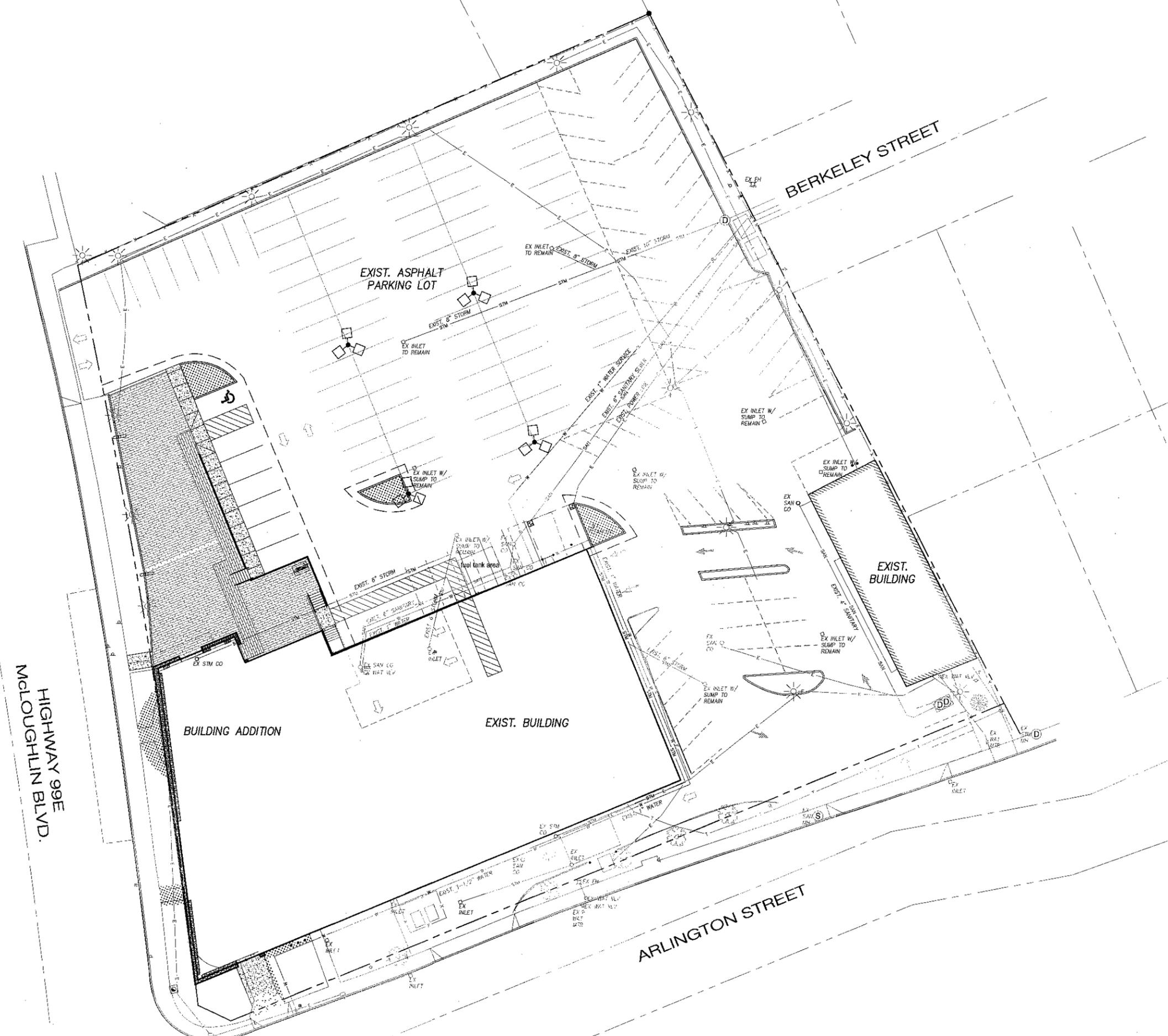
ISSUED FOR: LAND USE

SHEET TITLE

UTILITIES PLAN

SHEET NO.

C200



MODIFICATIONS TO EXISTING UTILITIES ARE
 NOT ANTICIPATED WITH THIS PROJECT.

LEGEND

— STM —	EXIST. STORM LINE
— SAN —	EXIST. SANITARY LINE
— W —	EXIST. WATER LINE
— P —	EXIST. POWER LINE
○	EXIST. INLET
○	EXIST. STORM CLEANOUT
⊙	EXIST. STORM MANHOLE
○	EXIST. SANITARY CLEANOUT
⊙	EXIST. SANITARY MANHOLE
⊙	EXIST. FIRE HYDRANT
⊙	EXIST. WATER VALVE
⊙	EXIST. WATER METER
☀	EXIST. LIGHT
☀	PROPOSED LIGHT

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GENERAL CONTRACTOR

STRUCTURAL

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 HHRP INC.
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 PORTLAND, OR 97202
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LANDSCAPE

MECHANICAL

ELECTRICAL

PLUMBING

FIRE SUPPRESSION

ARMSTRONG VOLKSWAGEN



20000 M.CLOUGH LIN BLVD
 GLADSTONE, OR 97027

REVISIONS

DRAWN BY: TLH

CHECKED BY: JLB

JOB NO: 13-032

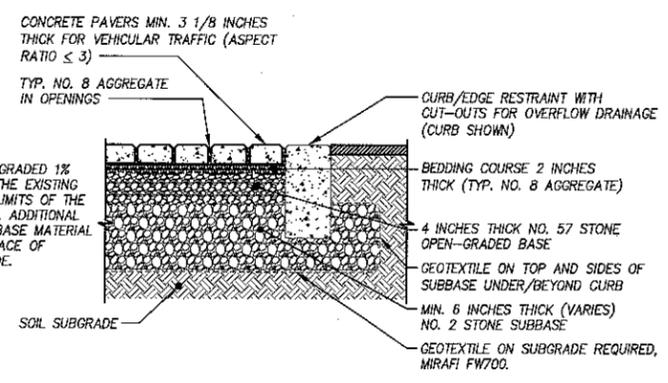
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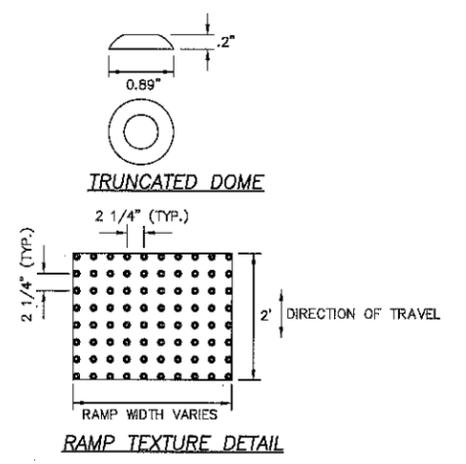
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DETAILS

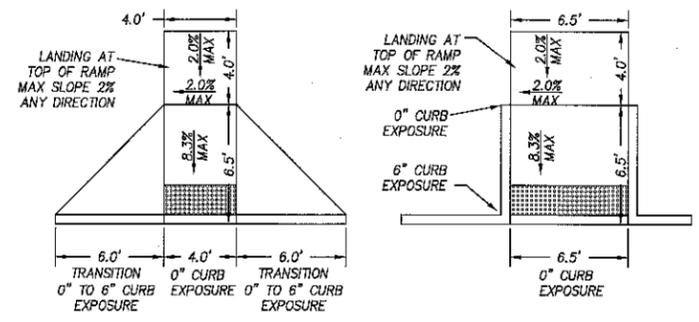
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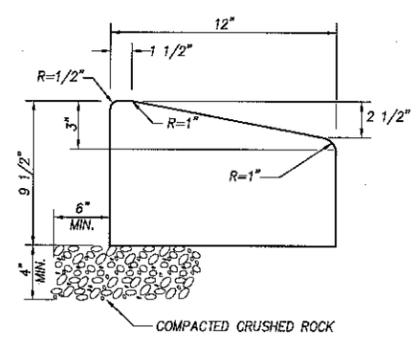
PERMEABLE INTERLOCKING CONCRETE PAVEMENT
 N.T.S.



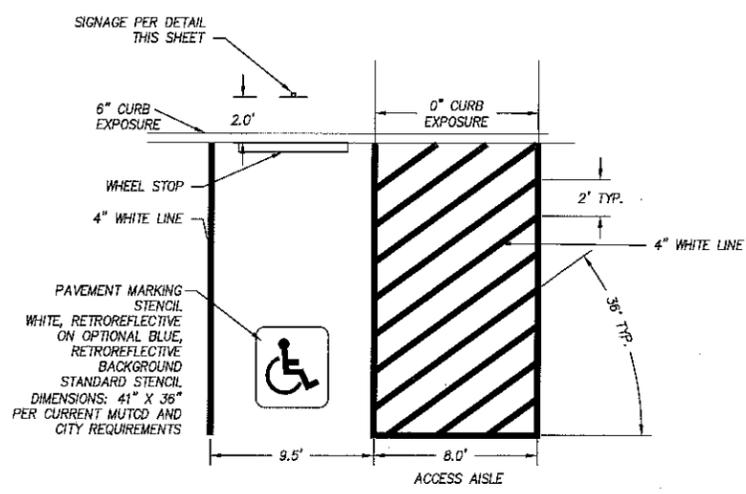
ADA TACTILE WARNING STRIP
 N.T.S.



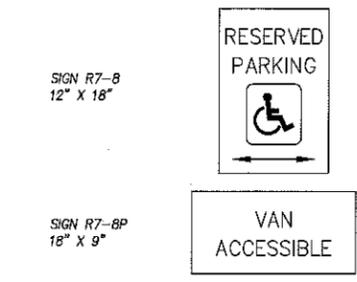
TYPICAL ADA RAMP DETAIL
 N.T.S.



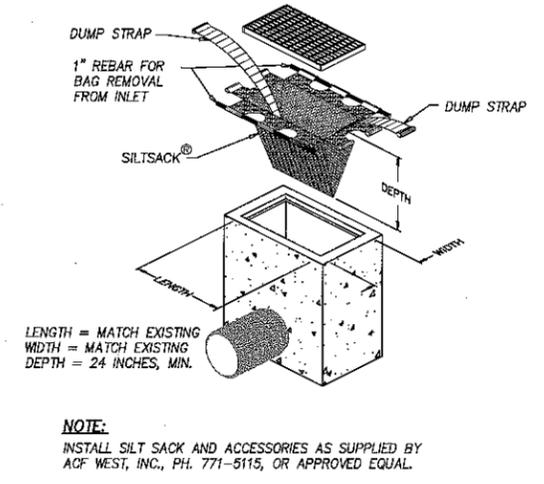
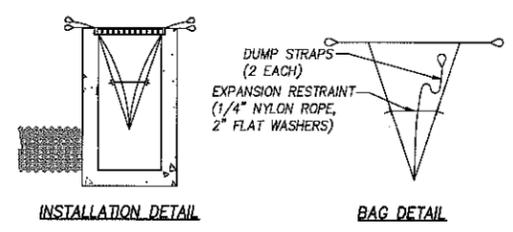
MOUNTABLE CURB DETAIL
 N.T.S.



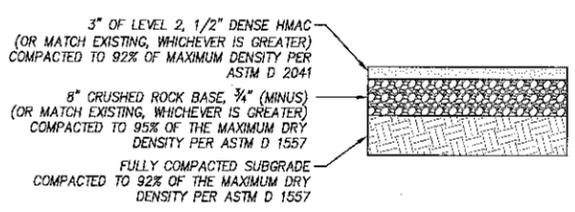
ACCESSIBLE PARKING STALL & AISLE DETAIL
 N.T.S.



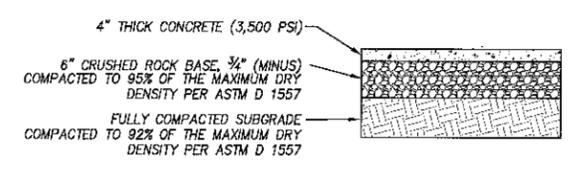
ACCESSIBLE PARKING STALL SIGNAGE
 N.T.S.



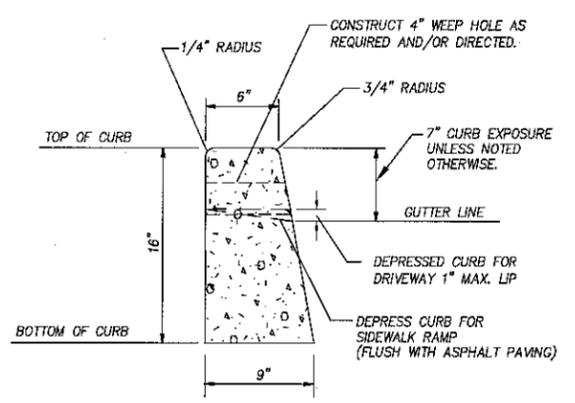
INLET SEDIMENT CONTROL SACK, USE FOR ALL INLETS
 N.T.S.



A.C. PAVEMENT SECTION
 N.T.S.



4" THICK CONCRETE SECTION
 N.T.S.



1. CONCRETE SHALL BE 3000 PSI MIN. (CLASS B), 3-1/2" SLUMP (MAX.)
2. CURBS ADJACENT TO PAVEMENT OR SIDEWALK TO HAVE EXPANSION AND/OR CONTRACTION JOINTS TO MATCH EXISTING PATTERNS.
3. 3/8" EXPANSION JOINTS SHALL BE PLACED AT 45' MAXIMUM SPACING, ON BOTH SIDES OF CATCH BASINS, AT CHANGES IN DIRECTION. 1-1/2" CUT JOINTS TO BE PLACED AT 15' MAXIMUM SPACING.
4. CURB SHALL BE PLACED ON 3" (MIN.) CRUSHED AGGREGATE (5/8"-0 OR 1-1/4"-0).
5. COMPACT SUBGRADE AND AGGREGATE TO 85% OF MAX. DRY DENSITY.
6. CURB TO BE BRUSH FINISHED.
7. ALL EXISTING EDGES SHALL BE SAWCUT.

STANDARD CURB
 N.T.S.

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NO.	DATE	DESCRIPTION

IRRIGATION LEGEND

EQUIPMENT

- SYMBOL DESCRIPTION**
- BALL VALVE - NIBCO T-560 OR APPROVED EQUAL.
 - REMOTE CONTROL VALVE - RAINBIRD FFB OR APPVD EQ, SIZE AS SHOWN REMOTE CONTROL VALVE.
 - QUICK COUPLER - RAINBIRD 44 LRC OR APPROVED EQUAL.

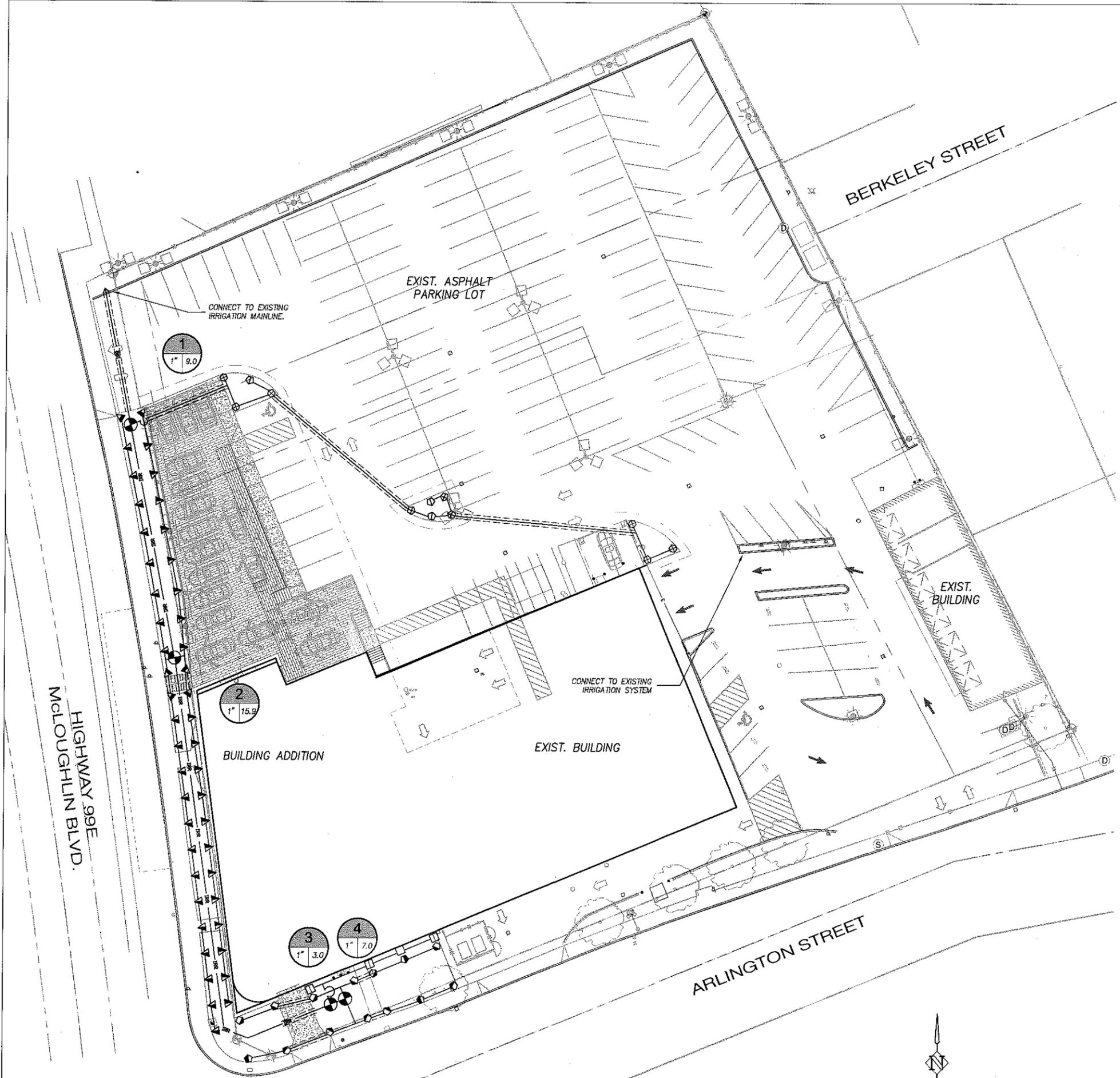
- SLEEVING - 3" DIAMETER OF PIPE, CLASS 200 PVC
- MAINLINE - 2" SCH. 40 PVC
- LATERAL LINE - 3/4", CLASS 200 PVC
- LATERAL LINE - SIZE AS INDICATED, CLASS 200 PVC

HEAD SCHEDULE

SYMBOL	DESCRIPTION	PSI	RADIUS	GPM
RAINBIRD 1800-PRS HEADS W/ MPR NOZZLES				
	1800-PRS-5 (F, H & Q)	30	5'	.41, .20, .10
	1800-PRS-8 (F, H & Q)	30	8'	1.05, .52, .26
	1800-PRS-10 (F, H & Q)	30	10'	1.58, .79, .39
	1800-PRS-12 (F, H & Q)	30	12'	2.60, 1.30, .65
	1800-PRS-15 (F, H & Q)	30	15'	3.70, 1.85, .92
	1800-PRS-15 (SST & EST)	30	4'X30', 4'X15'	1.21, .61
RAINBIRD 1800-PRS HEADS W/ MPR NOZZLES				
	MP1000 (360, 180, 90)	40	8'-15'	.75, .37, .19
	MP2000 (360, 180, 90)	40	13'-21'	1.47, .74, .40

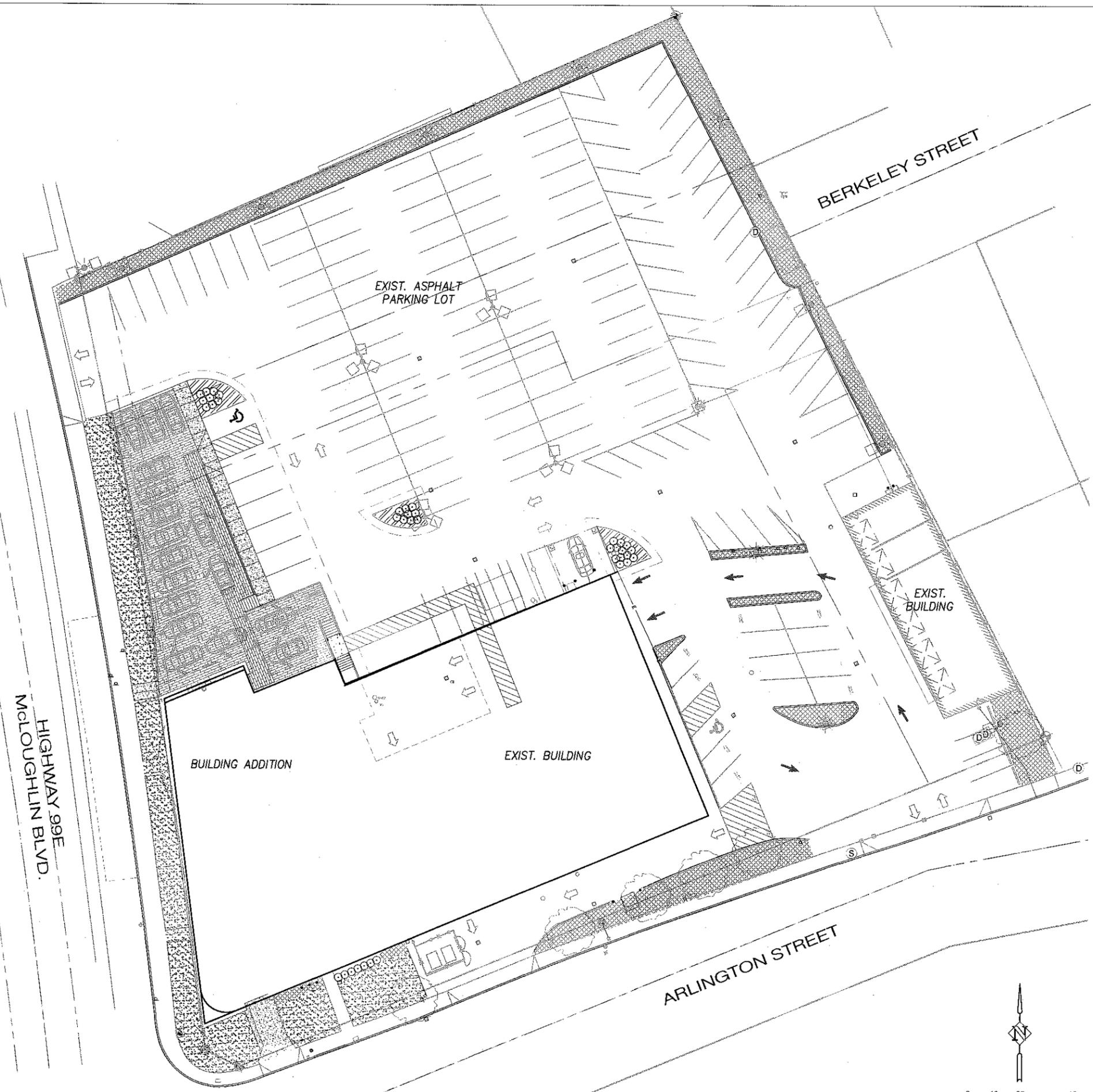
IRRIGATION GENERAL NOTES

1. THE CONTRACTOR SHALL INSPECT THE SITE AND VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
2. IRRIGATION PLANS ARE SCHEMATIC DRAWINGS ONLY. PLACE LINES IN A COMMON TRENCH WHENEVER POSSIBLE. FIELD ADJUST LINES TO AVOID CONFLICT WITH UTILITIES.
3. IRRIGATION IS COORDINATED WITH THE PLANTING PLAN AND SITE IMPROVEMENTS AND IS DESIGNED WITH TRIANGULAR SPACING GIVING HEAD TO HEAD COVERAGE. COORDINATE IRRIGATION HEAD LAYOUT WITH NEW PLANT MATERIALS. LOCATE SPRAY HEADS 30" FROM BASE OF TREE. DO NOT ALTER HEAD LOCATION, PIPE LAYOUT, OR VALVE LOCATION WITHOUT WRITTEN APPROVAL FROM THE CONSTRUCTION MANAGER. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES OCCUR BETWEEN THE PLANS AND FIELD CONDITIONS.
4. ALL COMPONENTS OF IRRIGATION SYSTEM SHALL BE INSTALLED AND PROPERLY ADJUSTED TO PROVIDE ADEQUATE COVERAGE AND MINIMIZATION OF OVER SPRAY ONTO WALKS, BUILDINGS, PARKING AREAS, ETC.
5. ALL PIPE SIZES INDICATED ARE MINIMUMS. CONTRACTOR MAY NOT DECREASE PIPE SIZE. LARGER PIPE SIZES MAY BE USED AT NO ADDITIONAL COST TO OWNER.
6. INSTALL ALL IRRIGATION PIPE AND CONTROL WIRES IN PVC SLEEVE BELOW ALL PAVED SURFACES UNLESS OTHERWISE INDICATED ON THE PLANS. INSTALL SLEEVES PRIOR TO PLACEMENT OF PAVEMENT SURFACES. COORDINATE WITH PLACEMENT OF SUB-BASE.
7. COORDINATE IRRIGATION POINTS OF CONNECTION AND LOCATION OF AUTOMATIC CONTROL VALVES WITH PROJECT MANAGER. COORDINATE ALL WORK WITH OTHER TRADES, I.E. ELECTRICAL, MASONRY, ETC.
8. CONTRACTOR TO PROGRAM AUTOMATIC CONTROLLER TO ALLOW FOR THE EQUIVALENT OF 1" OF WATER PER WEEK, OR PER SITE AND PLANTING NEEDS FOR BEST PLANT HEALTH.
9. ALL PIPES SHALL BE TRENCHED. PROVIDE FOR POSITIVE DRAINAGE OF MAINLINE. PLACE MANUAL DRAIN AT LOW POINTS IN MAINLINE. LOCATIONS TO BE DETERMINED IN THE FIELD. IDENTIFY LOCATIONS ON AS-BUILTS.
10. CONTRACTOR TO LOCATE EXISTING CONTROLLER AND IRRIGATION MAINLINE. CONTRACTOR TO CONNECT CONTROL WIRES FROM NEW VALVES TO CONTROLLER.
11. INSTALL FOUR (4) ADDITIONAL CONTROL WIRES AND GROUND WIRE FROM CONTROLLER TO NEW VALVE LOCATION.
12. ALL SPRINKLER BODIES TO BE 12-INCH POP-UP TYPE - SHRUB AND STORM WATER PLANTER AREAS.





NO.	DATE	DESCRIPTION



PLANT SCHEDULE

TREES	SHRUBS	GROUND COVER
 xx EXISTING DECIDUOUS TREE TO BE RETAINED VARIES	 38 <i>Buxus microphylla</i> 'Golden Triumph' - Golden Triumph B 5 GAL CONT., FULL PLANTS, SPACING AS SHOWN	 <i>Liriope muscari</i> 'Aztec Grass' - Aztec Grass 1 GAL CONT., FULL PLANTS, 12" O.C.
	 SOD - JB PACIFIC NORTHWEST SOD OR APPROVED EQUAL	 EXISTING LANDSCAPING TO REMAIN

GENERAL PLANTING NOTES

- All construction shall be performed in accordance with current City of Gladstone Standards and the Oregon Uniform Building Codes.
- Install erosion control systems in accordance with City of Gladstone Standards prior to site work and landscape installation.
- Mark and protect all utilities, site features, and vegetation to remain in place.
- Remove existing planting bed soils and replace and/or amend soils in beds in accordance with landscape plans and specifications.
- Landscape installation shall include provision of an automatic irrigation system designed to compliment a landscape planting plan for beds in the plans meeting local and State building codes.
- Plant material installed shall conform in size and grade to the "American Standard for Nursery Stock" current edition.
- The quantities of plant materials shall be as determined by the contractor in accordance with the specified spacing or location on the plan. Material quantities shown on plan are for Contractor convenience only and shall be verified by the Contractor prior to installation. Surplus or shortages of plant quantities shall be the responsibility of the Contractor.
- Landscape contractor shall water plantings for the duration of 60 day warranty period after installation and guarantee all plantings to be alive and in satisfactory health. Owner individually or through contract with landscape contractor will extend watering and warranty period for the remainder of one year after installation.

