



**GLADSTONE PLANNING COMMISSION AGENDA
GLADSTONE CITY HALL, 525 PORTLAND AVENUE**

Tuesday, May 21, 2019

6:30 P.M. CALL TO ORDER
ROLL CALL
FLAG SALUTE

CONSENT AGENDA

All items listed below are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items unless a commission member or person in the audience requests specific items be removed from the Consent Agenda for discussion prior to the time the commission votes on the motion to adopt the Consent Agenda.

1. Approval of April 16, 2019 Meeting Minutes

REGULAR AGENDA

2. Monthly Planning Report – April 2019
3. **Public Hearing:** File Z0161-19-D. Request for an enclosure of an existing 1,239 sq. ft. service drive area at Dick Hannah Nissan, 19505 McLoughlin Blvd, to accommodate five (5) employees and customer service areas. No landscaping or parking modifications are proposed. Scott Aldinger, applicant; Jason Hannah, JJHO LLC, owner.
4. Continued Discussion of Possible Changes to Extension Compliance (time limits) in the Gladstone Municipal Code

BUSINESS FROM THE PLANNING COMMISSION

ADJOURN

(Reminder: Joint City Council/Planning Commission meeting to discuss the Gladstone Housing Code Audit on Thursday, May 23, 2019 at 6:00 p.m.)



CONSENT AGENDA

GLADSTONE PLANNING COMMISSION MEETING MINUTES of April 16, 2019

Meeting was called to order at approximately 6:30 P.M.

ROLL CALL:

Chair Randy Rowlette, Commissioner Andriel Langston, Commissioner Natalie Smith, Commissioner Malachi de AElfweald, Commissioner Libby Wentz, Commissioner Patrick Smith

ABSENT:

Commissioner Les Poole

STAFF:

Tami Bannick, City Recorder; Melissa Ahrens, Senior Planner

CONSENT AGENDA:

1. Approval of March 19, 2019 Meeting Minutes

Chair Rowlette noted that the meeting was not a work session as indicated in the title.

2. *Commissioner de AElfweald made a motion to approve the Consent Agenda with the correction noted. Motion was seconded by Commissioner Natalie Smith. Motion passed unanimously.*

REGULAR AGENDA:

3. Monthly Planning Report – March 2019

Ms. Ahrens went over the report. She said the numbers were very similar to last month.

They had two decisions at the last meeting regarding the Civic Center and the business park – they are moving forward with condition compliance at the County before they can release any building permits.

They signed off on the building permit for one new single-family home – it's in the newer subdivision area off Columbia Avenue.

The 82nd Avenue bridge suite of administrative land use approvals has been formally approved so construction should begin sometime this summer. The County will be doing a robust noticing campaign.

The Carz Planet design review application is still incomplete – they haven't received any information/submittal materials from the applicant. They have until July 1st until the application will become void. There was discussion regarding involving enforcement.

4. Request for Extension – File Z0124-19-TE – Request for an extension of Design Review approval for file Z0118-18-DR – Development of Small Business Park consisting of three (3) distinct buildings and associated site improvements behind an existing single-family home at 740 82nd Drive:

Ms. Ahrens said the property owner/applicant, Robert Blackmore, is diligently working to try to implement the approved development from the design review. He is working out some details with his lender – he just needs a little more time.

There was discussion regarding approval/signed dates.

Commissioner de AElfweald made a motion to approve the extension for File Z0124-19-TE. Motion was seconded by Commissioner Langston. Ms. Bannick took a roll call vote: Commissioner Langston – yes. Commissioner Natalie Smith – yes. Commissioner de AElfweald – yes. Commissioner Wentz – yes. Commissioner Patrick Smith – yes. Chair Rowlette – yes.

Motion passed unanimously.

5. Discussion regarding Chapter 17.80.100:

Commissioner de AElfweald made a motion to discuss Chapter 17.80.100, the extension compliance. Motion was seconded by Commissioner Wentz. Motion passed unanimously.

Commissioner de AElfweald said that if they are going to change this they should add in the clause that they've been adding manually each time – where they have to get the approval before it expires.

Chair Rowlette said they have had two recent land use decisions that had expired and the applicants had to reapply and pay a significant amount of money. Part of the issue is that the applicant can't just walk in the day before it expires and get an extension – they have to get on the meeting agenda and the Planning Commission has to approve it. Commissioner de AElfweald said they could put in language that allows the City Administrator or Senior Planner to approve it if there are no changes. He went over some of the history of the reasons this all came about. Ms. Ahrens said that the County does not send out notification regarding a design review getting close to expiration – that is the responsibility of the applicant. There was discussion regarding what other jurisdictions do. There was discussion regarding options. Ms. Ahrens noted that they are only discussing the expirations for design reviews – if they want to include other types of land use approvals (condition use permits, variances, adjustments, etc.), that is something else to discuss. Ms. Ahrens noted that they are not currently tasked with doing any more long range planning right now in their IGA so that would be a discussion they would need to have with Ms. Betz regarding staff time allocation/budget.

Chair Rowlette said they are not ready to make a recommendation to City Council today, but they discussed these key points:

1. In the first paragraph they want to change the one year at the beginning of it to two years with a one year extension.
2. It may be renewed administratively if there are no changes (it would be a staff level decision and not have to come before the Planning Commission).
3. Add the “before expiration” clause to this section as well.

Ms. Bannick said she will follow up with Ms. Betz regarding the staff time allocation/budget. Ms. Ahrens recommended doing an on-line search of the terms “one year” so the Commissioners can search the other sections (17.72, 17.73, and 17.70). They will have further discussions in the future regarding other sections.

Commissioner de AElfweald made a motion to close the discussion for further discussion at a later date. Motion was seconded by Commissioner Natalie Smith. Motion passed unanimously.

BUSINESS FROM THE COMMISSION:

Commissioner de AElfweald:

He said at last month’s meeting the Commission asked him to talk with Tammy (Mayor Stempel) regarding the Tri-Met stop in front of the new Civic Center. Tammy said if the Commission wanted to move forward with this she wanted to know what the next steps would be, if any. She spoke with the General Manager of Tri Met, Doug Kelsey, and he would let her know who could help them. There was discussion regarding bus lines, bus stop locations, distances, high school students, etc. It was agreed to ask a representative from Tri Met to attend a Planning Commission meeting to discuss this topic. Commissioner de AElfweald will follow up.

Commissioner Patrick Smith:

He asked why we don’t include the schools like we do with the Fire Department and Police Department when we are discussing building plans. Ms. Ahrens said they were recently contacted by the North Clackamas School District and they wanted to know the development stats – it is her understanding that they check in yearly for those stats. She said the information is out there if Gladstone schools want it. They are given notice if a school is within 500 feet of a development or they are an interested party – they can be added to the notification list for design review if they so desire. Chair Rowlette pointed out that Gladstone schools have been begging for students. There was further discussion regarding schools, bus stops, multi-family developments, etc.

ADJOURN:

Meeting adjourned at approximately 7:07 P.M.

Minutes approved by the Planning Commission this _____ day of _____, 2019.

Randy Rowlette, Chair



REGULAR AGENDA



City of Gladstone Monthly Report | APRIL 2019

PUBLIC CONTACTS/PLANNING ACTIONS

CUSTOMER CONTACT/Planning Actions	JANUARY	FEBRUARY	MARCH	APRIL	YEAR TOTALS
Customer Service Counter Contacts	8	4	5	10	27
Customer phone contacts	48	42	35	45	170
Building Permits Issued	0	1	1	1	3
Pre-application conferences	3	1	0	1	5
Administrative Decisions	0	0	1	3	4

PLANNING COMMISSION ACTIONS/DECISIONS

- APPROVAL OF Z003Z0124-19-E-TE; EXTENSION OF PRIOR DESIGN REVIEW APPROVAL AT 740 82ND DRIVE

CITY COUNCIL LAND USE ACTIONS/DECISIONS

- NONE

PRE-APPLICATION CONFERENCES

- ZPAC0043-19; 18000 Webster Rd. Housing Facility

ADMINISTRATIVE PERMITS

- Z0117-19; Sign Permit; 485 W. Arlington
- Z0059-19; Sign permit; 20160 McLoughlin Blvd.
- Z0166-19-PLA; Property Line Adjustment, Ben Court/Franklin St.

BUILDING PERMITS

APRIL

Date	Address	Building Permit #	Description
4/30	310 W. Arlington	B0206919	NEW SINGE FAMILY HOME

FUTURE ITEMS/PROPERTY UPDATES

Location	Topic	Contact
18085 se Webster Ridge Rd.	Comp Plan/Zone change; (Design Review and Conditional Use Permit to follow at a subsequent hearing) for a multi-family apartment complex development; no application submitted yet	Cascadia Planning
19120 SE McLoughlin Blvd	CarzPlanet Design Review application to modify previously approved landscaping; Application remains incomplete pending applicant submittal of landscaping plan	CarzPlanet
19505 McLoughlin	Design Review for Dick Hannah Nissan service drive area enclosure; Scheduled for May Planning Commission hearing	Scott Aldinger



REGULAR AGENDA



Agenda Item No. 3

PC Meeting Date: 5/21/19

STAFF REPORT: DESIGN REVIEW

Application No.: Z0161-19-D

Applicant: Scott Aldinger

Owner: Jason Hannah

Project Location: 19505 Mcloughlin Boulevard; west side of Mcloughlin Boulevard between Gloucester Street and Glen Echo Avenue; T2S, R2E, Section 19AD, Tax Lot 09400

Zoning: C3; General Commercial

Project Description: Renovation at existing Dick Hannah Nissan Dealership, to include enclosure of existing 1,239 sq. ft. service reception drive to accommodate employee office space and provide additional customer service areas.

SUMMARY OF PLANNING COMMISSION RECCOMENDATION

Planning staff are recommending **APPROVAL** of the Design Review application Z0161-19-D and recommend the following findings and following conditions in support of approval: (1) 1985 Design Review Conditions (2) Lighting, (3) Bicycle Parking, (4) ADA Access (5) Fire Department Approval, (6) Public Works Approval, (7) Final Occupancy, (8) Design Review Plans, (9) Endangered Species Act.

The proposed project will not modify any existing landscaping, parking areas, or impervious surfaces. The proposed 1,239 sq. ft. addition of internal floor area will be associated with the existing Dick Hannah dealership. This request is subject to Chapter 17.20, C-3, General Commercial District; Chapter 17.80, Design Review, and the Development Standards of Title 17 of the Gladstone Municipal Code (GMC).

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EXHIBITS

- Exhibit 1. Location Map
- Exhibit 2. Conditions of DR 85-5

APPENDIX: SUBSTANSIVE FILE DOCUMENTS

A. Application Materials

I. REQUEST FOR COMMENTS

Sent to: Property owners within two hundred fifty (250) feet of the subject property, City of Gladstone, Public Works, Gladstone Fire, Gladstone PD, Engineering, Tri-Cities

Responses Received: None

II. STANDARD CONDITIONS

1. **Expiration.** This approval shall remain valid for one year following the date of approval. If use has not commenced by that date, this approval shall expire unless the Planning Commission pursuant to Section 17.80.100 of the GMC grants an extension prior to expiration of approval.
2. **Interpretation.** Any questions of intent or interpretation of any condition will be resolved by the Planning Director for the City of Gladstone,
3. **Assignment.** The permit may be assigned to any qualified person, provided assignee files with the City Planning Department an affidavit accepting all terms and conditions of the permit.
4. **Terms and Conditions Run with the Land.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.
5. **Building Permits.** The applicant shall obtain required building permits from Clackamas County. The applicant shall comply with requirements of the permits.

III. SPECIAL CONDITIONS

1. **1985 Design Review Conditions.** All conditions of approval established in DR-85-5 remain in effect.
2. **Lighting.** PRIOR TO ISSUANCE OF ANY BUILDING PERMITS, Developer to submit final lighting plan demonstrating that any new on-site lighting shall comply with Subsections 17.44.020(4) and (5) of the GMC, including compliance with IES standards. "Dark sky" fixtures shall be used to the extent possible.
3. **Bicycle Parking.** PRIOR TO ISSUANCE OF ANY BUILDING PERMITS, developer to submit evidence that the bicycle parking standards of Subsection 17.48.050(1)(c)(A) are met.
4. **ADA Access.** This approval is subject to the development complying with the provisions of the Americans with Disabilities Act (ADA), including provisions for curb ramps.
5. **Fire Department Approval.** PRIOR TO ISSUANCE OF ANY BUILDING PERMITS, Applicant shall receive approval in writing from the Gladstone Fire Department indicating all requirements from that agency have been satisfied.
6. **Public Works Approval.** PRIOR TO ISSUANCE OF ANY BUILDING PERMITS, Applicant shall receive approval in writing from the Gladstone Public Works Department indicating all requirements from that agency have been satisfied.

7. **Final Occupancy.** PRIOR TO ISSUANCE OF A FINAL OCCUPANCY PERMIT, all conditions of the design review approval shall be met.
8. **Design Review Plans.** Any changes in the approved design review plans shall be submitted and approved prior to execution. Any departure from the approved design review may cause revocation of building permits or denial of the final certificate of occupancy.
9. **Endangered Species Act.** The approval of the application granted by this decision concerns only the applicable criteria for this decision. The decision does not include any conclusions by the county concerning whether the activities allowed will or will not come in conflict with the provisions of the federal Endangered Species Act (ESA). This decision should not be construed to or represented to authorize any activity that will conflict with or violate the ESA. It is the applicant, in coordination if necessary with the federal agencies responsibility for the administration and enforcement of the ESA, who must ensure that the approved activities are designed, constructed, operated and maintained in a manner that complies with the ESA.

IV. FINDINGS AND DECLARATIONS

The Planning Commission hereby finds and declares:

A. PROJECT LOCATION AND PROPOSED DEVELOPMENT

The enclosure of an existing service drive at the Dick Hannah Nissan dealership will add approximately 1,239 square feet to the existing footprint of the main building. The new enclosed area will accommodate five (5) existing employees that are being moved from another location on site. There will be five (5) service desks used to check in customers who are arriving for service. The proposed addition will provide a heated/cooled space for both employees and customers, making the entire service process protected from any weather conditions. Building materials to be used are as described and shown in the submitted application. No changes are proposed to site light fixtures and or landscaping. Current landscape meets requirements of the Title 17 of the City's Municipal Code and the previous 1985 Design Review (DR 85-5) approval for development of the site.

The subject property is approximately .93 acres in size and part of the Mcloughlin commercial corridor. Adjacent tax lot in common ownership that are part of the subject dealership total 2.01 acres. The primary building on site and existing site improvements were constructed in the 1980's pursuant to a 1985 Planning Commission Design Review approval (See Exhibit No. 3 for conditions of the 1985 approval). Sanitary sewer, storm sewer and water are in place and serve the property. This stretch of Mcloughlin is "auto row", made up largely of a series of auto sales/service businesses on both sides of the street along with other strip commercial uses. Car sales/service business has been in place here in one form or another since the 1980's.

The proposed project site does not contain any environmental overlays that would require additional land use approvals.

B. DESIGN REVIEW CONSISTENCY FINDINGS

Design Review

Chapter 17.80 of the GMC establishes the requirements for design review. Pursuant to *Subsection 17.80.021(1)*, site development in the C-3 zoning district is subject to design review.

Section 17.80.061 lists submittal requirements for Design Review. The application as submitted satisfies these requirements.

Section 17.80.100(1) provides for approved design plans to remain valid for one year. If construction has not begun by that time, design plan approval may be renewed once by the Planning Commission for not more than one year.

General Commercial District

Chapter 17.20 of the GMC establishes basic requirements for the General Commercial District. *Section 17.20.020* identifies uses permitted outright in the General Commercial District, and includes automobile sales and service such as is in place. This criterion is met.

Section 17.20.050 establishes dimensional standards for the C-3 district. The proposed buildings as shown comply with setbacks and the 35-foot maximum building height standard.

Section 17.20.050(4) requires off-street parking areas to be a minimum of five feet from all property lines. No change in parking proposed at this time.

The proposed remodel occurs in a C-3 zoning district. The current use of the site is for an auto dealership and the use will not change under the scope of the project. Since the auto dealership is an approved use the standards of this section are met.

General Siting and Design

Chapter 17.44 of the GMC identifies standards for building siting and design.

These standards apply to all development that is subject to Design Review. *Section 17.44.020(1)* deals with siting specifically, and requires that, where there are no conflicts with other design standards or requirements in Title 17, to site buildings to maximize solar access where practical, using such techniques as maximizing east-west street length; orienting buildings within twenty degrees of true south as well as maximizing their south-facing dimension; placing higher buildings on the north portion of the site while protecting solar access for adjacent sites, and placing major yard spaces on south side of buildings.

The subject property is rectangular in shape, with one main building in place. Submitted site plan information shows how the service drive enclosure will occur. The proposed 1,239 sq. ft. addition to the existing 13,837 sq. ft. dealership building will utilize glass storefront windows along the North drive, five (5) large windows along the West wall. Since the proposal consists of enclosure of an existing service drive and not construction of an entirely new building, these standards are met.

Section 17.44.020(2) requires buildings to have energy efficient designs. The proposed enclosure includes increasing windows both in number and size, thereby enhancing natural lighting. The building

will be required to meet the energy codes of the Oregon Structural Specialty Code, which will be evaluated through the building permit process. This is consistent with this subsection of the GMC.

Section 17.44.020(3) of the GMC addresses compatibility in building design. This subsection encourages the arrangement of structures and use areas to be compatible with adjacent developments and surrounding land uses. As noted, this auto sales business is in an area of like activities. The changes as proposed will be compatible with adjacent development and surrounding land uses.

Section 17.44.020(4) of the GMC deals with building materials. That Section requires buildings be constructed using high-image exterior materials and finishes such as masonry, architecturally treated tilt-up concrete, glass, wood or stucco. Screening of roof-mounted equipment is also discussed in this section.

This application proposes, in part, installation of masonry CMU blocks, painted to match the existing building. Along with the new glass storefront, the intent of this subsection is met. *This criterion is satisfied.*

Section 17.44.020(5) of the GMC establishes lighting standards. This proposal includes replacing some existing lights/poles. *Section 17.44.020(6) of the GMC* establishes illumination level standards. It requires that all on-site lighting shall be designed, located, shielded or deflected so as not to shine into off-site structures or impair the vision of the driver of any vehicle.

The applicant will submit a final lighting plan to ensure compliance with this section, per recommended Special Condition No. 2. **As conditioned, this criterion is met.**

Section 17.44.020(7) regarding equipment and facilities establishes that all utility lines shall be placed underground. No new utility lines, roof-mounted fixtures, utility cabinets or similar equipment are proposed as part of the subject project and underground utilities are already in place in site.

Section 17.44.020(8) regarding trash disposal and recycling collection requires new construction to incorporate functional and adequate space for on-site storage and efficient collection of mixed solid waste and source separated recyclables prior to pick-up and removal by haulers. This proposal does not plan changes to the existing trash/recycling facilities.

Section 17.44.024 establishes design standards for nonresidential construction. These provisions require that new, non-residential buildings, with the exception of buildings housing institutional, warehouse or manufacturing uses shall be subject to the following design standards:

(1) Ground floor windows. Ground floor windows shall be required on walls fronting a public street and shall comply with the following standards:

(a) The windows shall cover at least 50% of the length and 25% of the ground level wall area. Ground level wall areas include all exterior wall area up to nine feet above the finished grade. The bottom of required window shall be no more than 4 feet above the adjacent exterior finished grade.

(b) Required windows shall be windows that allow views into work areas or lobbies, pedestrian entrances or display windows set into the wall. Display cases attached to the outside wall shall not qualify.

The new service area enclosure addition will maximize solar access by adding windows on the ground floor as well as a glass storefront on the north drive entrance. The proposed remodel will also provide visual order and interest to the existing showroom and service reception area. The existing refuse area will remain, and the loading area will be oriented away from adjacent residences across River Rd. No mechanical equipment is proposed. The applicant has submitted evidence that new glazing will bring the development closer to meeting/exceeding requirements of this subsection. This criterion is met.

Landscaping

Chapter 17.46 of the GMC identifies landscaping standards and states that these standards are applicable to all developments subject to design review.

Subsection 17.46.020(1) requires a minimum of fifteen percent of the lot area be landscaped. The development currently exceeds this requirement, and no changes are planned through this application. This criterion is met.

Subsection 17.46.020 (9) states the following:

(9) Exceptions. The following exceptions apply to properties with frontage on Mcloughlin Blvd.:

- (a) The use of sod along Mcloughlin Blvd. shall be encouraged in landscape plans for development of Mcloughlin Blvd.;*
- (b) The use of sod along Mcloughlin Blvd. may be allowed in lieu of required street trees;*
- (c) The 10-foot-wide landscape strip along Mcloughlin Blvd. may be allowed in the right-of-way if applicant agrees to relocate the 10-foot strip whenever the right-of-way is improved. This strip may be included in total landscape area calculations.*

The existing property abuts general commercial C-3 zoned properties to the North and South and Multi-Family residential MR to the west. Existing landscaping will remain to continue providing visual screening and buffering. The property currently meets the landscaping coverage requirements as well as the applicable landscape conditions of Design Review 85-5 and the proposed project will not modify existing landscaped areas on site.

Parking and Loading

Chapter 17.48 of the GMC regulates off-street parking and loading. The site has 20-minute peak hour transit service and is therefore considered Zone A. As an auto sales business, the bulk of the property is a parking lot. Applicant provides calculation of parking requirements based on square footage of buildings on site. Minimum parking requirements are met and will continue be so through this development. No additional parking, or parking area modification is proposed as part of the project. While the current number of parking spaces (75 total; 29 customer parking spaces, 24 service vehicle parking spaces and 22 employee parking spaces) exceeds the current maximum allowed in the municipal code (by 4 spaces), the on-site parking was constructed pursuant to the original 1985 site approval and the City's Municipal Code at the time. As such, the existing parking is considered legally non-conforming to today's parking maximum of 47 spaces and is allowed to be maintained.

Section 17.48.040(1)(a) requires parking and loading areas to be paved with asphalt and/or concrete meeting city standards, maintained adequately for all-weather use and so drained as to avoid flow of water across public sidewalks. The existing development meets this requirement.

Section 17.48.040(1)(c) requires areas for standing and maneuvering vehicles, other than for the off-street parking and storage of truck tractors and /or semi-trailers, to be paved. The existing development is paved.

Section 17.48.040(2)(a) states that required parking spaces must be located within two hundred feet of the building or use they are required to serve. The required parking spaces meet this provision.

Section 17.48.040(2)(b) states that required parking shall be provided in the same zoning district or a different zoning district of a more intensive use. Existing/required parking is located in the C-3 zoning district.

Section 17.48.040(2)(c) prohibits parking for a commercial or industrial use from being located in a residential district except in the case of a conditional use. As noted above, all parking is located in the C-3 district,

Section 17.48.040(2)(d) requires groups of more than four parking spaces to be permanently marked and so located and served by driveways that their use will require no backing movements or other maneuvering within a street right-of-way other than an alley. Existing development complies with this subsection.

Section 17.48.040(2)(f),(g) and (i) establish the minimum width of access aisles and the minimum dimensions of parking spaces. No change to parking is anticipated or required through this application.

Section 17.48.040(2)(h) requires parking areas to be designed to the maximum extent practicable, to avoid large, uninterrupted rows of parking spaces. Again, no changes proposed.

Section 17.48.040(3)(b),(c) and (d) establish requirements for loading areas. Met as shown.

Section 17.48.050 establishes requirements for bicycle parking. **This application will submit evidence that a minimum of two (2) bike parking spaces are available on site, per recommended Special Condition No. 3.**

Applicable portions of Section 17.48 are satisfied.

Vehicular and Pedestrian Circulation

Chapter 17.50 of the GMC establishes the requirements for vehicular and pedestrian circulation. Subsection 17.50.020(1) requires that provisions be made for the least amount of impervious surface necessary to adequately service the type and intensity of proposed land uses within developments as well as providing adequate access for service vehicles. No additional impervious surface will result. This standard is met.

Subsection 17.50.020(2) requires provisions to be made, when feasible, for a separation of motor vehicular, bicycle and pedestrian traffic. Again, no site changes are proposed. Separation will remain as

is. This standard is met.

Subsection 17.50.020(3) requires curbs, associated drainage and sidewalks within the right-of-way or easement for public roads and streets. Sidewalks currently exist along site frontage.

Subsection 17.50.020(4) requires provisions to be made to accommodate any increased volume of traffic resulting from the development. Applicant does not expect additional traffic as a result of this project. Staff concurs.

Subsection 17.50.020(5) requires provisions to be made for the special needs of the handicapped. This Subsection is met. Three (3) ADA parking spaces already exist on site.

Subsection 17.50.020(6) pertains to pedestrian access. No changes proposed at this time.

Subsection 17.50.020(7) deals with new development requiring full site design review that, when completed, generate an average daily traffic count of 1000 trips or greater. In such case, a transit stop shall be provided. This is an addition to an existing building/use. There is no evidence this proposal will result in an ADT of 1000 trips or greater.

Section 17.50.040, Streets and Roads Generally, Full improvements exist along Mcloughlin.

Applicable portions of Section 17.48 are satisfied.

Drainage and Stormwater

17.56.010 [Drainage] Applicability.

The development standards for surface water drainage shall apply to all new or redevelopment activities in the City of Gladstone that result in the creation or disturbance of 5,000 square feet or more impervious surface except for substantial improvement or lesser remodel or reconstruction of existing single-family or two-family dwellings.

17.50.020 Vehicular and pedestrian circulation generally.

Vehicular and pedestrian circulation facilities, including walkways, provisions for the handicapped, interior drives and parking as provided under GMC Chapter 17.48 (off-street parking and loading), shall be designated as follows:

- (1) Impervious Surface. Provide for least amount of impervious surface necessary to adequately serve the type and intensity of proposed land uses within developments as well as providing adequate access for service vehicles.*

[...]

The entire area shown for development is impervious surface currently and the existing storm drainage system is consistent with the standards of this Chapter. The proposed project does not disturb more than 5,000 sq. ft. of impervious surfaces and this Chapter is not applicable to the subject proposal.

EXHIBITS



EXHIBIT 1
Location Map
Z0161-19-DR

RE: planning requirements for Acura dealership
McLoughlin Blvd, GLADSTONE. JBlock
3/6/86

- J. The proposal is generally consistent with the requirements of the Gladstone Zoning Ordinance and Design Review Standards.
- K. The proposal generally preserves the environment, visual character, and provides orderly development. The proposal generally protects neighboring owners and users providing a design which is generally consistent with neighboring land uses.

III. CONCLUSION

The applicant generally meets the minimum standards of the Gladstone Municipal Code for approval of Design Review.

IV. RECOMMENDATION

Approval of Design Review as proposed subject to the following conditions:

- A. Prior to the issuance of a building permit for exterior construction or Certificate of Occupancy for related activities such as landscaping, etc, the applicant shall either modify plans and construct in conjunction with or post a personal or corporate guarantee (at the option of the City) for the following:
 - A. Provide for underground watering of landscaping.
 - B. Subdue any metal of the exterior portion of the building via anodization, painting, (brushing) such that exterior materials will not produce a glare or shiny appearance.
 - C. Provide handicap parking spaces as required by statute.
 - D. Submit a storm drainage plan consistent with the provisions of Section 16.36.070 of the Gladstone Municipal Code.
 - E. Provide underground utilities except as otherwise prohibited by the Utility District or company.
 - F. The permanent identification sign shall not exceed 40 square feet in area. Setbacks, if any, shall be consistent with those of the C-3 zoning district. If 0 setback is proposed, the base of the display area shall be a minimum of 8' above sidewalks, or 15' above driveways. Illumination shall be consistent with Section 16.36.1300 and E.
 - G. Onsite traffic control signs shall be no greater than 3 square feet in area.
 - H. The applicant shall demonstrate receipt of a new or reapproval of the existing permit to relocate access on McLoughlin Blvd. issued by ODOT. The applicant shall receive approval to modify curb cut locations on Gloucester Street and River Road from the City.

Deleted

~~The applicant shall provide a 24 foot driveway, a 30' radius curb at the Gloucester Street entrance to facilitate delivery vehicles~~

deleted

~~deliver access and egress. Specific size and radii shall be determined in conjunction with the Director of Public Works)~~

- J. Either bumper rails or curbs 4" high set back 4½' from the property line shall be provided for parking spaces on the periphery of the parking lot.
- K. Artificial lighting shall ^{shall} not create a glare to adjacent residential areas. The applicant ~~must~~ submit artificial lighting shading or shadowing details to City staff.
- L. Construct, as required by ODOT ^{and the city} sidewalks adjacent to the eastside of the site.
- M. Provide a 5' sidewalk, bikepath and standard concrete curb adjacent to River Road for the entire length of the ownership. Coordination with City improvements to River Road is recommended.
- N. Repair or replace curbs and sidewalks as determine by City staff adjacent to Gloucester Street.

Recommended Actions:

- A. Consult with the Chief of Police for incorporation of intrusion alarms, security fencing and lighting for the proposed use.
- B. Discuss details of the facility with the Fire Department to verify adequate provisions for emergency services, fire/smoke alarms, etc.

GC:elk
1/4-8

The following conditions were added: *Q, P, Q, R. Block*

- O. A landscape buffer between the parking lot and the public rights of way of McLoughlin Blvd, w. Gloucester St., and River Rd. shall contain a minimum of 7½ feet of approved landscaping.
- P. Conformance with City's parking requirements.
- Q. Site development shall conform to city developmental, design review, and zoning standards.
- R. The developer shall submit a landscaping plan satisfactory to the city staff, waiving street tree planting requirement in front of showroom on McLoughlin Blvd. and requiring suitable and compatible, low-growing vegetation in lieu thereof.

SALES ENTRY MODIFICATIONS FOR:
DICK HANNAH DEALERSHIPS
NISSAN GLADSTONE
 19505 SE MCLOUGHLIN BLVD., GLADSTONE, OR 97027



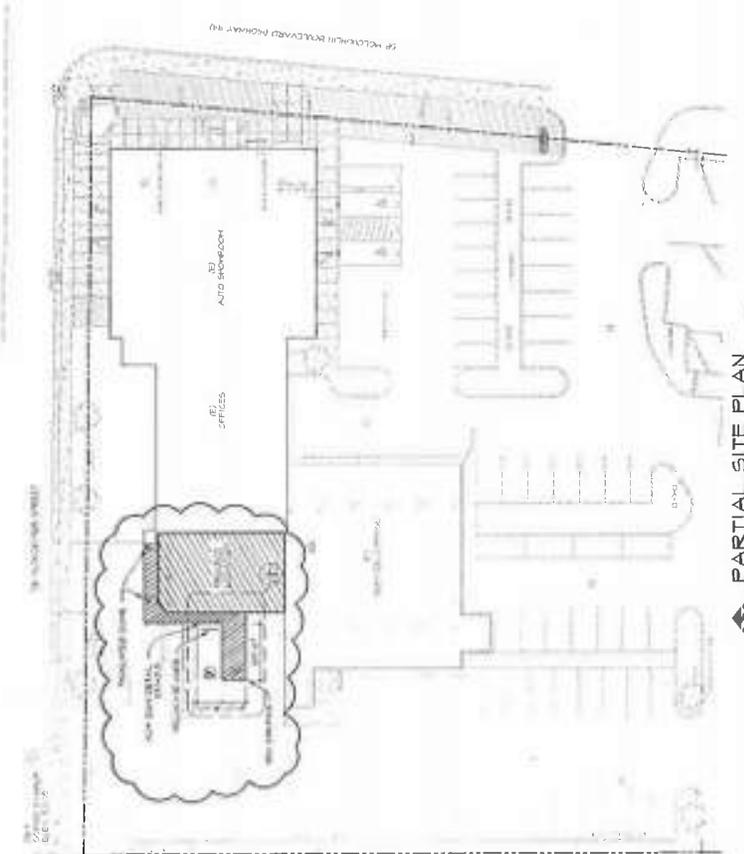
Walla Architecture™
 19505 SE McLoughlin Blvd.
 Gladstone, OR 97027
 Phone: 503.654.1111
 Fax: 503.654.1112



SERVICE ENTRY MODIFICATIONS FOR
DICK HANNAH DEALERSHIPS
NISSAN GLADSTONE
 19505 SE MCLOUGHLIN BLVD
 GLADSTONE, OR 97027



VICINITY MAP



PARTIAL SITE PLAN



PROJECT INFO

DESIGNER: WALLA ARCHITECTURE
 19505 SE MCLOUGHLIN BLVD.
 GLADSTONE, OR 97027
 PH: (503) 654-1111
 FAX: (503) 654-1112
 WWW: WALLAARCHITECTURE.COM
ARCHITECT: WALLA ARCHITECTURE SERVICES PLLC
 19505 SE MCLOUGHLIN BLVD.
 GLADSTONE, OR 97027
 PH: (503) 654-1111
 CONTRACT: DAVE WALLA
CONTRACTOR: PROCESSION CONSTRUCTION SERVICES, INC.
 1000 W. 17TH AVENUE, SUITE 305
 VANCOUVER, WA 98643
 PH: (206) 461-1111
 CONTRACT: SCOTT ALDRICK
 EMAIL: SCOTT@PROCESSION.COM
NO. OF SHEETS: 10
NO. OF SHEETS SUBMITTED: 10
NO. OF SHEETS APPROVED: 10
 PH: (503) 654-1111
 CONTRACT: MIKE DUMBERGER

DRAWING INDEX

ARCHITECTURAL
 A-01 COVER SHEET, SITE PLAN, PROJECT INFO
 A-02 FIRE LIFE SAFETY
 A-03 DEPO PLAN, REFLECTED CEILING PLAN, ELEVATIONS, SECTION
 A-04 FINISH SCHEDULES
 A-05 DETAILS
STRUCTURAL
 S-01 FOUNDATION GENERAL NOTES
 S-02 STRUCTURAL GENERAL NOTES
 S-03 FOUNDATION PLAN
 S-04 FOUNDATION DETAILS
 S-05 FRAMING PLAN
 S-06 FRAMING DETAILS
ELECTRICAL
 E-01 ELECTRICAL SCHEDULES
 E-02 LIGHTING PLAN
 E-03 POWER & SIGNAL PLAN
MECHANICAL
 M-01 MECHANICAL SCHEDULES, DETAILS

APP. PARALLELS

REVISION

DATE: 01/04/14
 DRAWN: [] DESIGNED: []
 DRAWING TITLE: []

COVER SHEET
 PROJECT DATA
 SITE PLAN &
 VICINITY MAP

DRAWING: **A0.1**
 PROJECT: 17/16

STRUCTURAL GENERAL NOTES
GENERAL REQUIREMENTS

1. All work shall be in accordance with the applicable codes and standards listed herein.
2. All materials shall be of the highest quality and shall conform to the applicable specifications and standards listed herein.
3. All work shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.
4. All work shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.
5. All work shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.

DESIGN LOADS

- DEAD LOAD (DL) - 15 psf
LIVE LOAD (LL) - 40 psf
WIND LOAD (WL) - 15 psf
SEISMIC LOAD (SL) - 0.15g

SOILS AND FOUNDATIONS

The foundation shall be designed for the ultimate bearing capacity of the soil. The foundation shall be designed for the ultimate bearing capacity of the soil. The foundation shall be designed for the ultimate bearing capacity of the soil.

CAST-IN-PLACE CONCRETE

ITEM	MINIMUM	MAXIMUM	MAXIMUM
	WATER	WATER	WATER
1. Water-cement ratio	0.45	0.55	0.65
2. Maximum water content	180	200	220
3. Minimum cement content	100	120	140
4. Maximum aggregate size	1.5"	1.5"	1.5"
5. Maximum aggregate content	75%	75%	75%
6. Minimum concrete strength	3000	3000	3000
7. Maximum concrete strength	4000	4000	4000

CONCRETE REINFORCEMENT

1. All reinforcement shall be in accordance with the applicable codes and standards listed herein.
2. All reinforcement shall be of the highest quality and shall conform to the applicable specifications and standards listed herein.
3. All reinforcement shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.
4. All reinforcement shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.
5. All reinforcement shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.

WOOD FRAMING

1. All wood framing shall be in accordance with the applicable codes and standards listed herein.
2. All wood framing shall be of the highest quality and shall conform to the applicable specifications and standards listed herein.
3. All wood framing shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.
4. All wood framing shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.
5. All wood framing shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.

MEMBER	SIZE	GRADE	SPACING	NOTES
1. Joist	2x8	SP-16	16" OC	
2. Rafter	2x10	SP-16	16" OC	
3. Ceiling	2x4	SP-16	16" OC	
4. Floor	2x10	SP-16	16" OC	
5. Wall	2x4	SP-16	16" OC	

STEEL MEMBERS AND CONNECTORS

1. All steel members shall be in accordance with the applicable codes and standards listed herein.
2. All steel members shall be of the highest quality and shall conform to the applicable specifications and standards listed herein.
3. All steel members shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.
4. All steel members shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.
5. All steel members shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.

GENERAL NOTES

1. All work shall be in accordance with the applicable codes and standards listed herein.
2. All work shall be of the highest quality and shall conform to the applicable specifications and standards listed herein.
3. All work shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.
4. All work shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.
5. All work shall be completed in a timely manner and shall be subject to inspection and approval by the appropriate authorities.

INDEX

SHEET	DESCRIPTION
SS-0-SS-1	FOUNDATION PLAN
SS-0-SS-1	FOUNDATION DETAILS
SS-0-SS-1	FRAMING PLAN
SS-0-SS-1	FRAMING DETAILS
SS-0-SS-1	GENERAL NOTES



MDR Engineering
725194

DATE	3/26/19
SCALE	AS SHOWN
ENGINEER	MJD
CHECKER	BK
APPR.	2/19/19

WALLA ARCHITECTURE
WALLA ARCHITECTURE
1950 SE GLADSTONE BLVD
GLADSTONE, OR 97027

GENERAL NOTES
GENERAL NOTES

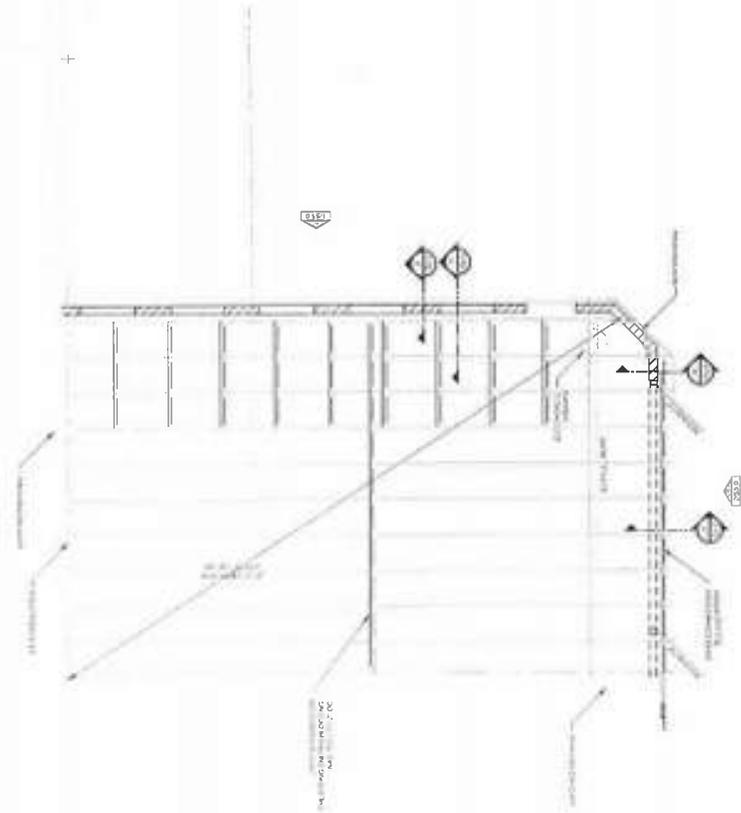
\$1.0

 MDS Engineering 111 W. 57th St. #202 Manhattan, NY 10019	DATE: 3.26.19 SCALE: AS SHOWN DRAWN BY: MJD CHECKED BY: BK JOB: 2196	DANIE WALLA WALLA ARCHITECTURE 10000 NE 7TH AVE, SUITE 305 BELLEVUE, WA 98004	SHEET TITLE: ROOF FRAMING PLAN	S2.1
	PROJECT: 1855 SE MCLURIN BLVD GLADSTONE, OR 97027	NISSAN GLADSTONE ADDITION		

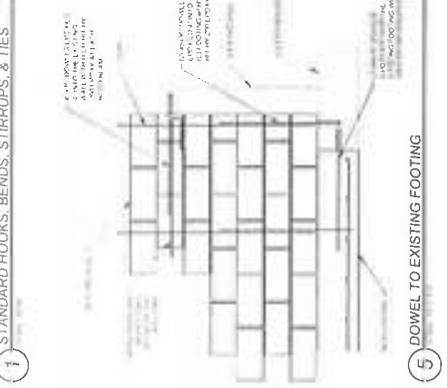
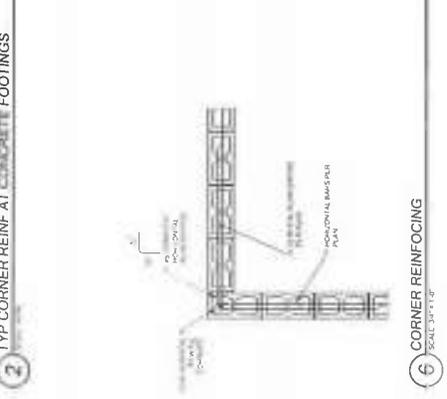
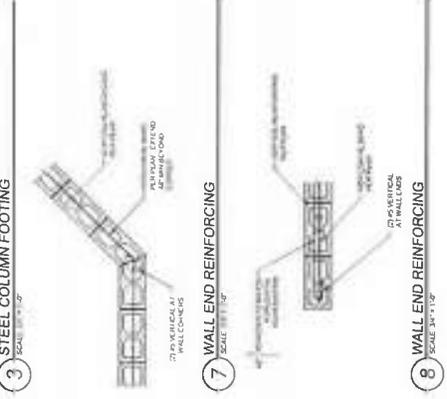
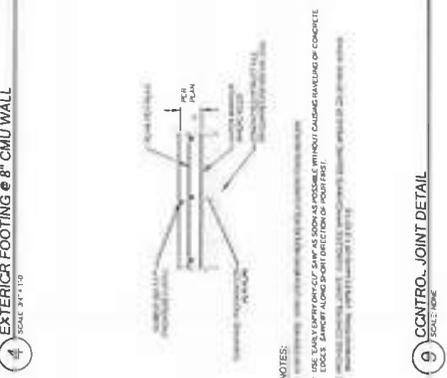
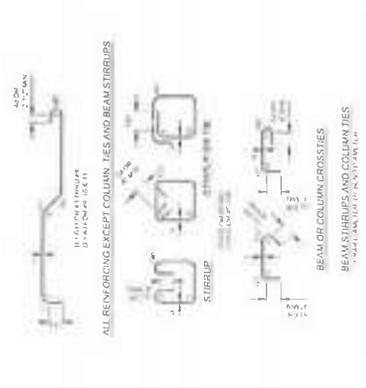
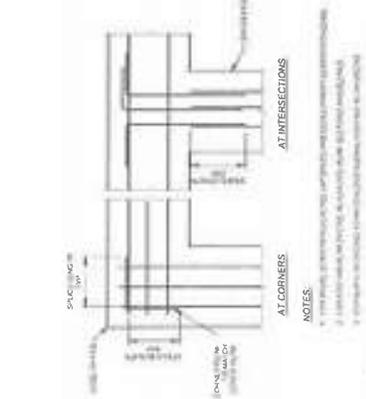
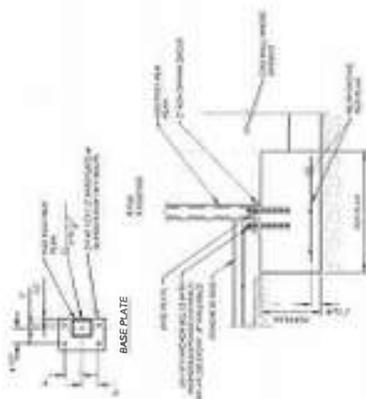
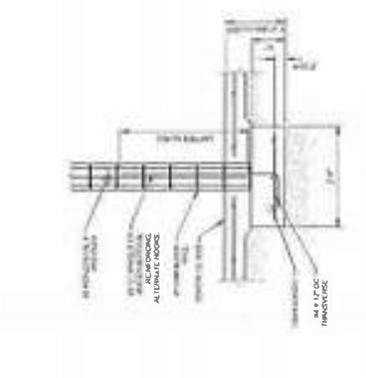
ROOF FRAMING PLAN NOTES:

- FOR STRUCTURAL GENERAL NOTES, DESIGN DETAILS, AMBIGUOUS AND LEGAL, REFERENCE S1.0 AND S1.5.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS.
- ROOF SHEATHING SHALL BE 1/2" CDX-5 RAISED GRADE SHEATHING BY A MANUFACTURER APPROVED BY THE ENGINEER. SHEATHING SHALL BE INSTALLED TO ROOF FRAMING WITH 1/8" DIA. NAILS @ 12" O.C. IN PANEL EDGES AND 6" TO 8" O.C. IN PANEL INTERIORS. SHEATHING SHALL BE INSTALLED TO ROOF FRAMING WITH 1/8" DIA. NAILS @ 12" O.C. IN PANEL EDGES AND 6" TO 8" O.C. IN PANEL INTERIORS. SPACE BETWEEN PANEL EDGES AND JOISTS SHALL BE 1/8" DIA. NAILS @ 12" O.C. IN PANEL EDGES AND 6" TO 8" O.C. IN PANEL INTERIORS. SPACE BETWEEN PANEL EDGES AND JOISTS SHALL BE 1/8" DIA. NAILS @ 12" O.C. IN PANEL EDGES AND 6" TO 8" O.C. IN PANEL INTERIORS.
- ROOF FRAMING SHALL BE 2" X 10" L2400 S4S JOISTS @ 16" O.C. UNLESS OTHERWISE NOTED. JOISTS SHALL BE FULLY BRACED AGAINST LATERAL TORSION BUCKLING. JOISTS SHALL BE FULLY BRACED AGAINST LATERAL TORSION BUCKLING. JOISTS SHALL BE FULLY BRACED AGAINST LATERAL TORSION BUCKLING.
- ROOFING ON BEAM, FULL CRYPTANITE TYPICAL AND.
- NEW ROOF SHALL BE FULLY GROUTED @ 2" X 2" OC. VERTICAL @ 8" X 8" OC. HORIZONTAL.

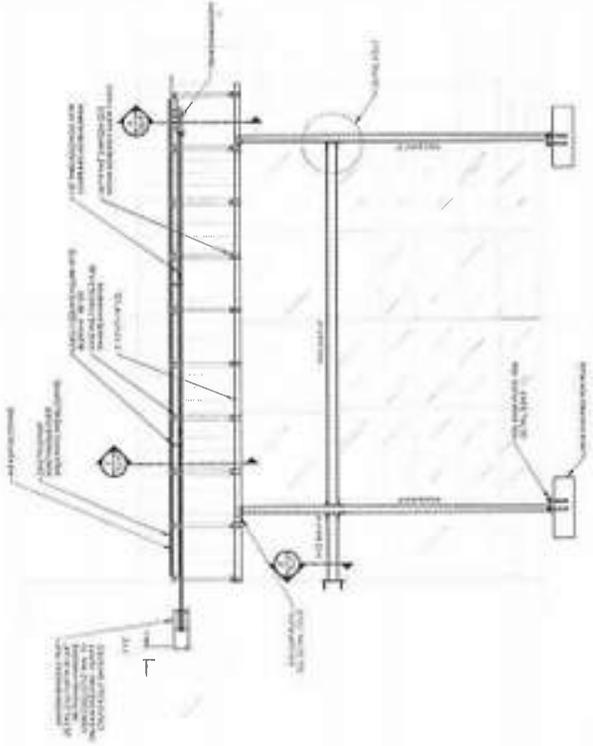
SYMBOL	DESCRIPTION
	INDICATES A NEW CHIMNEY WALL
	INDICATES A EXISTING CHIMNEY WALL
	INDICATES A NEW LEADER
	INDICATES AN EXISTING CONCRETE COLUMN



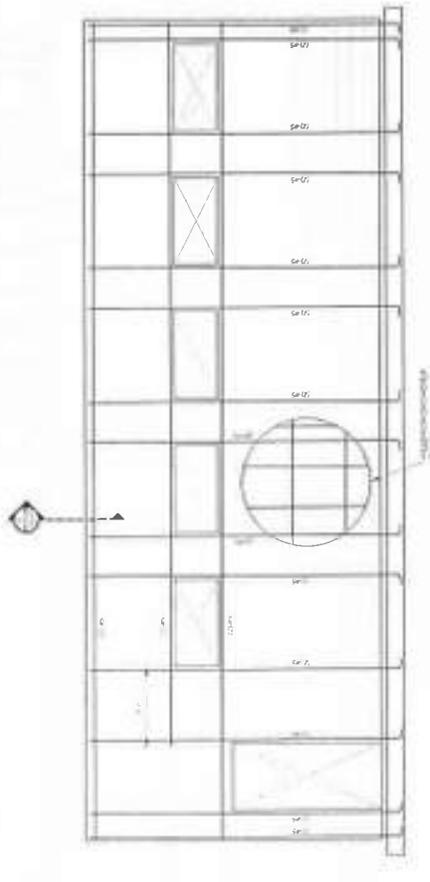
ROOF FRAMING PLAN



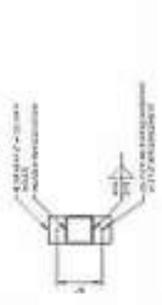
	MD Structural Engineering 1704C 26th Street Suite 200 St. Louis, MO 63103 Phone: 314-241-2000	DATE: 3/28/19 SCALE: AS SHOWN ENGINEER: MJD CHECKER: SCS JOB NO: 2196	DANE WALLA 10000 NE 7TH AVE, SUITE 335 PORTLAND, OR 97218	NISSAN GLASTONE ADDITION 1704C 26TH STREET, ST. LOUIS, MO 63103	SHEET TITLE: FRAMING DETAILS	S5.0
		PROJECT: NISSAN GLASTONE ADDITION 1704C 26TH STREET, ST. LOUIS, MO 63103				



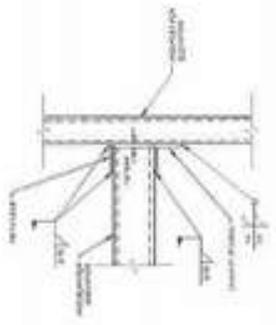
2 FRONT WALL ELEVATION
SCALE: 3/8" = 1'-0"



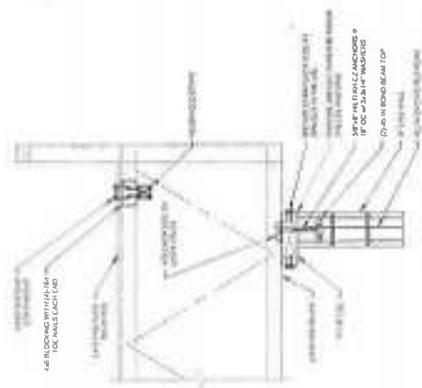
1 CMU WALL ELEVATION
SCALE: 1/4" = 1'-0"



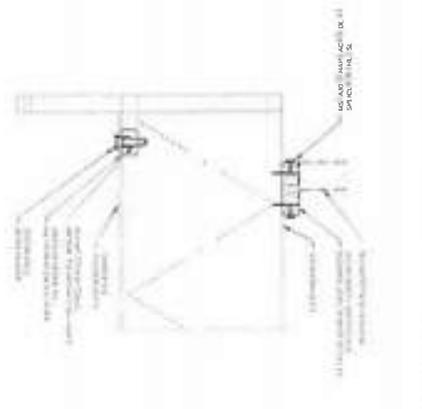
6 HEADER END PLATE
SCALE: 1/4" = 1'-0"



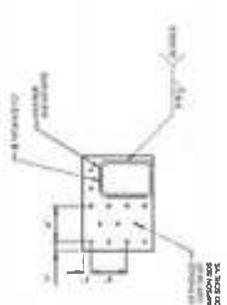
5 BEAM TO COLUMN DETAIL
SCALE: 1/2" = 1'-0"



4 FRAMING SECTION
SCALE: 1/4" = 1'-0"



3 PARTIAL SECTION
SCALE: 1/4" = 1'-0"



7 COL. CA-7 PLATE
SCALE: 1/4" = 1'-0"



1500 W. 10th Street
 Suite 100
 Portland, OR 97202
 Phone: 503.241.1111
 Fax: 503.241.1112
 Email: info@aanddesign.com



WALTER APPELBERG
 Professional Engineer
 License No. 11570
 State of Oregon

DATE: 08/20/18
 DRAWN BY: J. KAVAY
 CHECKED BY: J. KAVAY

PROJECT: SERVICE ENTRY MODIFICATIONS FOR
 DICK HANNAH DEALERSHIPS
 19505 SE MCLOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS:
 17/16

SCALE: 1/4" = 1'-0"

1 ELECTRICAL DEMOLITION PLAN

DATE: 08/20/18
 DRAWN BY: J. KAVAY
 CHECKED BY: J. KAVAY

PROJECT: SERVICE ENTRY MODIFICATIONS FOR
 DICK HANNAH DEALERSHIPS
 19505 SE MCLOUGHLIN BLVD
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REVISIONS:
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 19505 SE MCLOUGHLIN BLVD
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SCALE: 1/4" = 1'-0"

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REVISIONS:
 17/16

SCALE: 1/4" = 1'-0"

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 DICK HANNAH DEALERSHIPS
 19505 SE MCLOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS:
 17/16

SCALE: 1/4" = 1'-0"

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DATE: 08/20/18
 DRAWN BY: J. KAVAY
 CHECKED BY: J. KAVAY

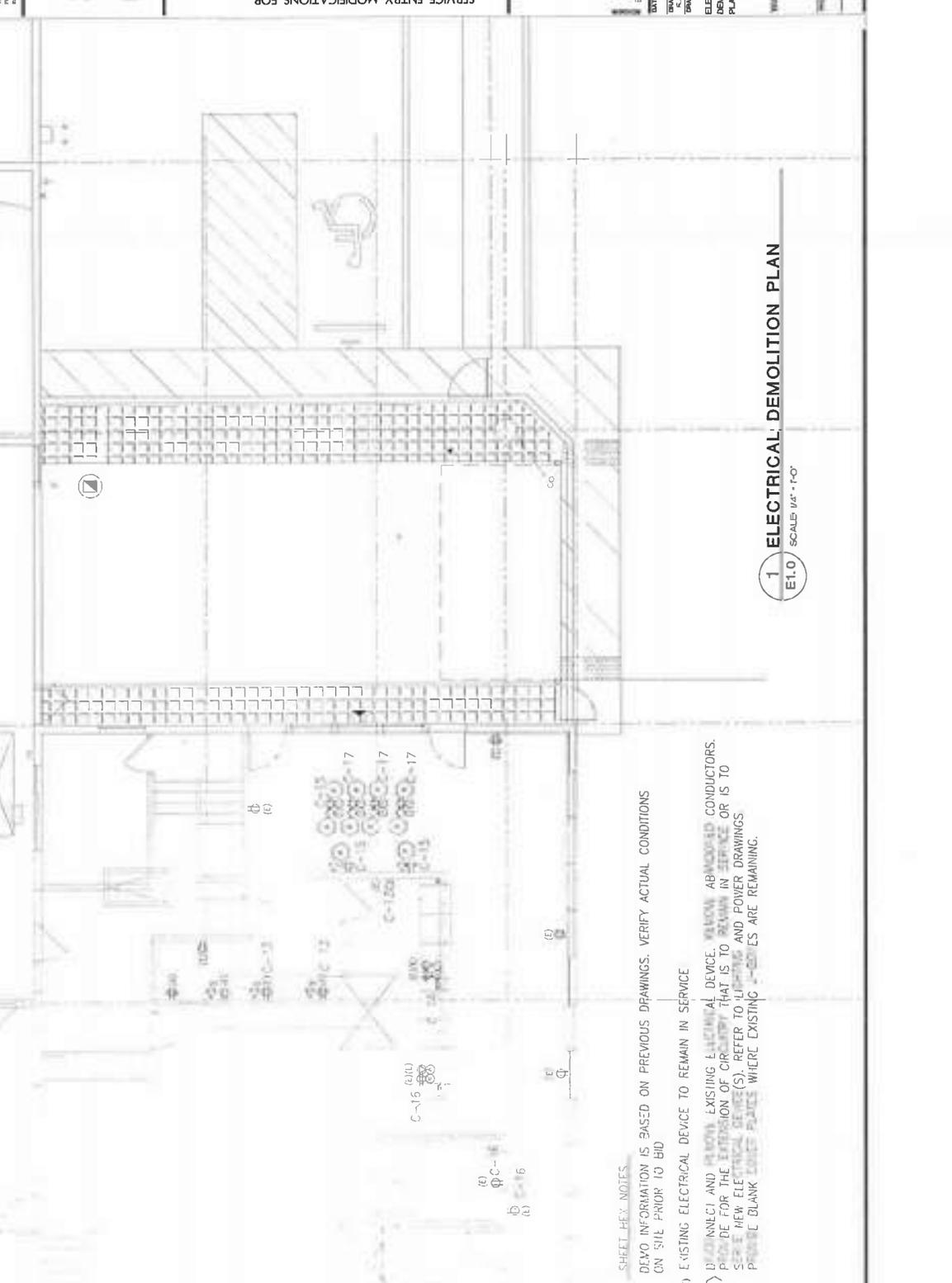
PROJECT: SERVICE ENTRY MODIFICATIONS FOR
 DICK HANNAH DEALERSHIPS
 19505 SE MCLOUGHLIN BLVD
 GLADSTONE, OR 97027

REVISIONS:
 17/16

SCALE: 1/4" = 1'-0"

1 ELECTRICAL DEMOLITION PLAN

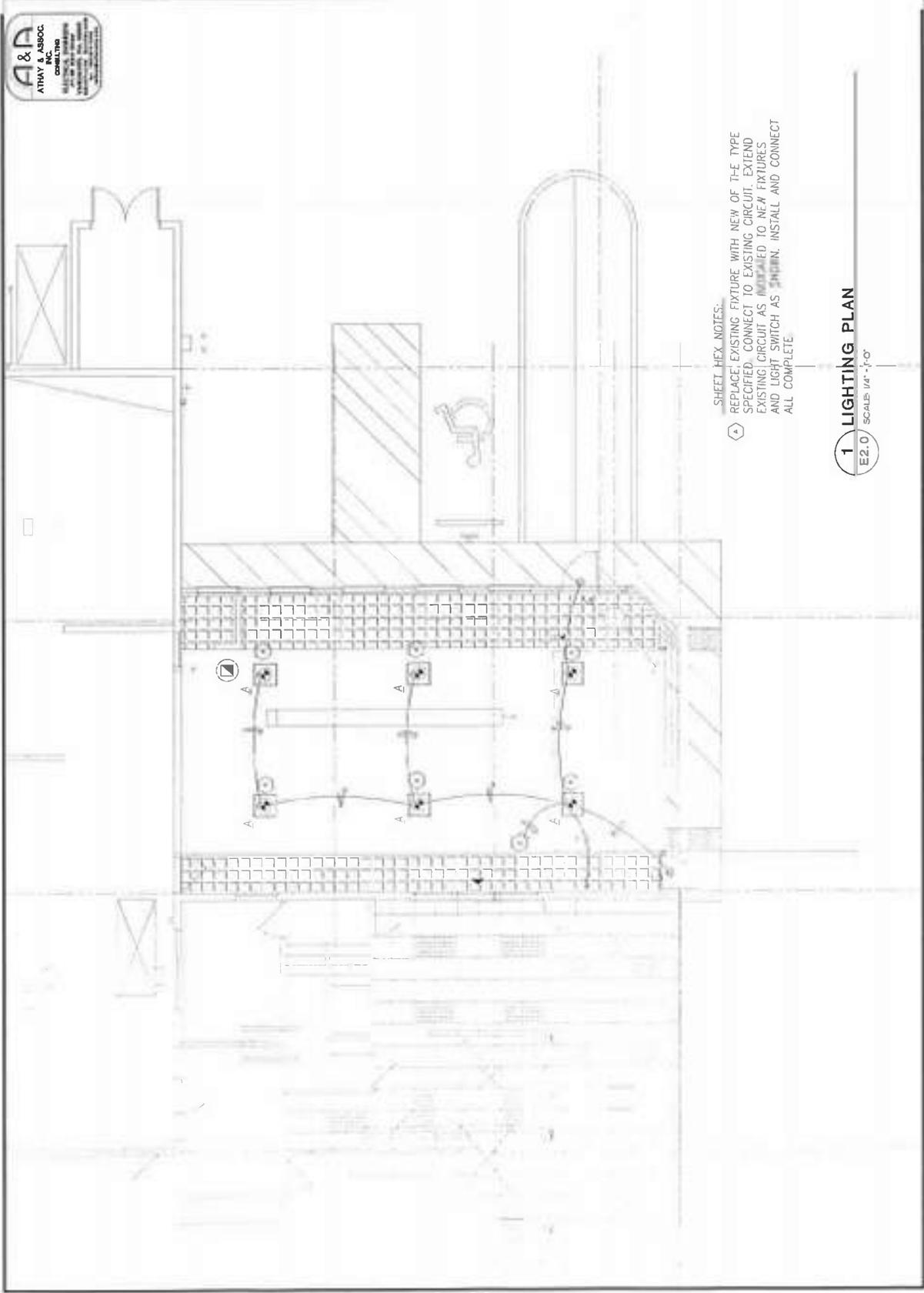
DATE: 08/20/18
 DRAWN BY: J. KAVAY
 CHECKED BY: J. KAVAY



SHEET KEY NOTES:
 DEMO INFORMATION IS BASED ON PREVIOUS DRAWINGS. VERIFY ACTUAL CONDITIONS ON SITE PRIOR TO BID
 (E) EXISTING ELECTRICAL DEVICE TO REMAIN IN SERVICE
 (R) REMOVE EXISTING ELECTRICAL DEVICE, REMOVE ABANDONED CONDUCTORS. PROVIDE FOR THE EXTENSION OF CIRCUITRY THAT IS TO REMAIN IN SERVICE OR IS TO BE NEW ELECTRICAL DEVICE (S). REFER TO LIGHTING AND POWER DRAWINGS FOR BLANK COVER PLATES WHERE EXISTING DEVICES ARE REMAINING.



SERVICE ENTRY MODIFICATIONS FOR
 DICK HANNAH DEALERSHIPS
 NISSAN GLADSTONE
 19505 SE MCGLOUHLIN BLVD
 GLADSTONE, OR 97027



SHEET HEX NOTES:
 (A) REPLACE EXISTING FIXTURE WITH NEW OF THE TYPE SPECIFIED. CONNECT TO EXISTING CIRCUIT. EXTEND EXISTING CIRCUIT AS INDICATED TO NEW FIXTURES AND LIGHT SWITCH AS SHOWN. INSTALL AND CONNECT ALL COMPLETE.

1 LIGHTING PLAN
 SCALE: 1/4" = 1'-0"

E2.0

1706



10000 NE 7th Ave, Suite 101
Portland, OR 97218
Phone: 503.241.1101
Fax: 503.241.1102
www.wavearchitecture.com



DATE: 12/11/13

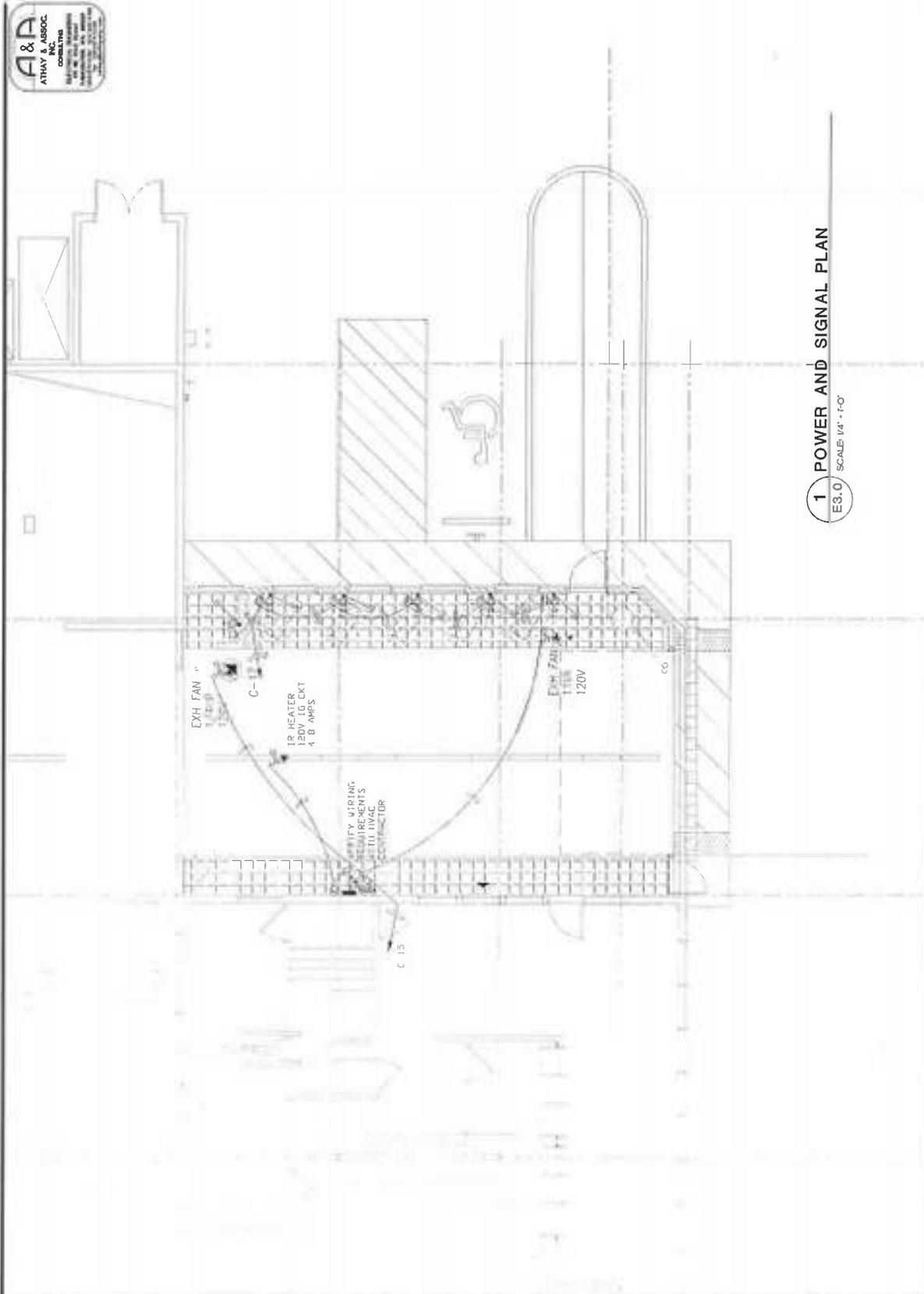
SERVICE ENTRY MODIFICATIONS FOR
DICK HANNAH DEALERSHIPS
NISSAN GLADSTONE
19505 SE MCLOUGHLIN BLVD
GLADSTONE, OR 97027

1 2 3 4 5 6 7 8 9 10 11 12

DATE: 12/11/13
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT: [Name]
SHEET: [Name]

E3.0

17/16



1 POWER AND SIGNAL PLAN
E3.0 SCALE: 1/4" = 1'-0"



Gladstone planning services are provided by Clackamas County. Submit all land use applications and correspondence to: Clackamas County Planning Division, 150 Beaver Creek Road, Oregon City, OR 97045
Phone: 503-742-4519 Fax: 503-742-4550 E-Mail: Mahrens@co.clackamas.or.us

NOTICE OF PUBLIC HEARING GLADSTONE PLANNING COMMISSION

DATE & TIME: **May 21, 2019.** This item will not begin earlier than **6:30 p.m.** However, it may begin later depending on the length of preceding items.

PLACE: Council Chambers of Gladstone City Hall, 525 Portland Ave., Gladstone, OR 97027

FILE NO: Z0161-19-D

PURPOSE/PROPOSAL: Enclosure of an existing 1,239 sq. ft. service drive area at Dick Hannah Nissan to accommodate five (5) employees and customer service areas. No landscaping or parking modifications are proposed.

SUBJECT PROPERTY: T2S, R2E, Section 19DD Tax Lot 2600

CURRENT ZONING: C-3, General Commercial

APPLICANT: Scott Aldinger

PROPERTY OWNER: Jason Hannah, JJHO LLC

REVIEW STANDARDS: 17.20, 17.80, 17.94 and the Development Standards of Title 17 of the Gladstone Municipal Code

You may attend, offer testimony or seek information at the hearing. Any correspondence received in advance of the meeting will be forwarded to the Planning Commission.

The staff report relating to this application will be available for inspection seven (7) days prior to the hearing at the Clackamas County Planning Division, 150 Beaver Creek Road, Oregon City, OR 97045. Copies will be available for a reasonable cost. For further information, contact Melissa Ahrens at 503-742-4519.

Those eligible to appeal this matter to the City Council are the owner, applicant, a representative of petitioners and persons who submitted oral or written testimony. Appeals must be filed within 15 days of the decision filing date on forms available from the Clackamas County Planning Division. Failure to raise an issue in person or by letter at the hearing with sufficient specificity to afford the decision-maker an opportunity to respond will preclude the ability to appeal. Furthermore, failure at the time of the hearing to specify, in person or by letter, to what land use standard(s) your comments or objections are directed, will preclude the ability to raise those issues on appeal.



DESIGN REVIEW LAND USE APPLICATION

Gladstone planning services are provided by Clackamas County.
Submit all land use applications and correspondence to:
Clackamas County Planning Division, 150 Beaver Creek Road, Oregon City, OR 97045
Phone: 503-742-4519 E-Mail: mahrens@clackamas.us

A completed application includes the APPLICATION FOR A DESIGN REVIEW LAND USE APPLICATION and the items identified in the ATTACHMENT CHECKLIST below.

- ✓ Please answer all questions. If a question is not applicable to your project, indicate "N.A."
- ✓ Incomplete applications will not be accepted for filing.
- ✓ All exhibits must be legible.

• FOR STAFF USE ONLY •

File No: 20161-19-D Other Related Permit Applications: _____
 Pre-app: Staff _____ Date _____ Staff Member: M Ahrens
 Date Received: 4/3/19 Fee: #1625 * Zone: C3 * PER Bldg. permit improvements value = \$168,000
 Hearing Date: _____ Comp. Plan: _____

• APPLICANT INFORMATION •

PLEASE TYPE OR PRINT IN BLACK INK ONLY

SECTION I. APPLICANT/ PROPERTY OWNER

NAME OF APPLICANT LAST Aldinger FIRST Scott
 MAILING ADDRESS 2012 C St. CITY Vancouver ST WA ZIP 98663
 APPLICANT IS: LEGAL OWNER CONTRACT BUYER OPTION BUYER AGENT
 NAME OF CONTACT PERON (if other than applicant) TJ Boatright
 MAILING ADDRESS OF CONTACT 2012 C St. Vancouver WA, 98663
 PHONE NUMBERS OF: APPLICANT: WK 503-939-6451 HM _____ CONTACT PERSON: WK: 360-936-0188 HM _____
 EMAIL OF APPLICANT: tibpcsi@gmail.com
 SITE ADDRESS: 19805 McLaughlin Blvd. Gladstone OR, 97027 TOTAL LAND AREA: _____
 LEGAL DESCRIPTION: T 2S R 2E SECTION 1900 TAX LOT(S) 2600
 ADJACENT PROPERTIES UNDER SAME OWNERSHIP: T _____ R _____ SECTION _____ TAX LOT(S) _____

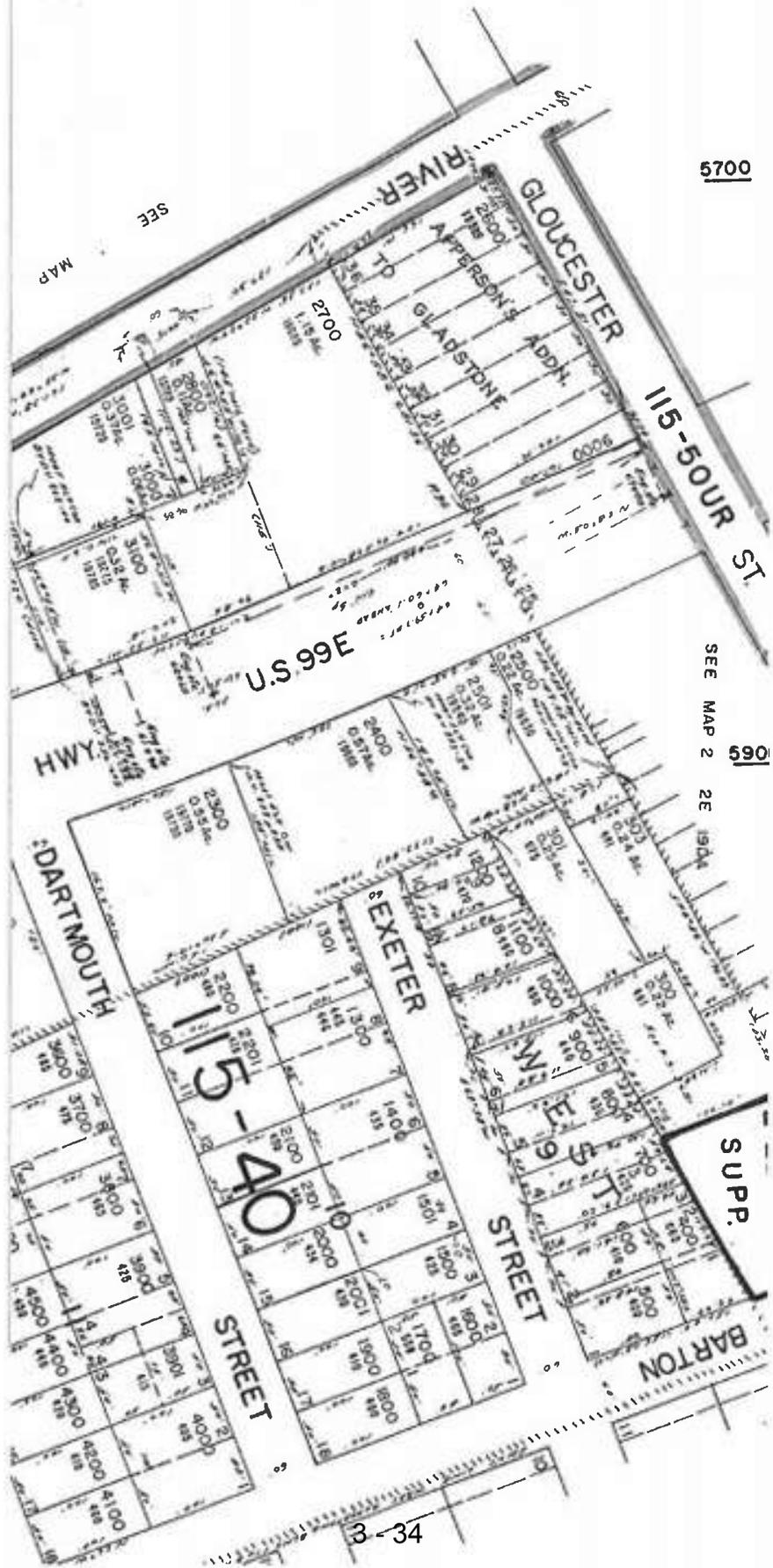
OTHER PERSONS (IF ANY) TO BE MAILED NOTICES REGARDING THIS APPLICATION:

NAME	ADDRESS	ZIP	RELATIONSHIP
NAME	ADDRESS	ZIP	RELATIONSHIP

I hereby certify the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge.

OWNER'S SIGNATURE [Signature]
 OWNER'S NAME (Print) Jasen Hannah

APPLICANT'S SIGNATURE [Signature]
 APPLICANT'S NAME (Print) Scott Aldinger



5700

SEE MAP 2 2E 590

SUPP.

SECTION II. PROPOSED DEVELOPMENT

1. Describe your proposed development. Include secondary improvements such as grading, septic tanks, water wells, roads, driveways, outbuildings, fences, etc. (Attach additional sheets as necessary.) Identify the number of people associated with the use (employees, students, congregation members, clients, etc.); days and hours of operation; building materials, including type and color, unless no new buildings or modifications of existing buildings are proposed; and buildings, vehicles, equipment and materials associated with the use:

2. Identify where in the GMC the use is listed as a conditional use in the underlying zoning district or explain why the use may be authorized pursuant to GMC Chapter 17.74 (authorization of similar uses).

3. Explain why the use is suitable for the proposed site, considering size, shape, location, topography, existence of improvements and natural features.

4. Explain why the use is timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use.

5. Explain why the use will not alter the character of the surrounding area in a manner that substantially limits, impairs or precludes the use of surrounding properties for the primary uses listed in the underlying zoning district.

(Use additional sheets to answer questions if necessary)

SECTION III. DIMENSIONAL SPECIFICS

- 6. Project height: Maximum height of structure (ft.) 25' - 8"
- 7. Gross floor area excluding parking (sq.ft.) 1239 sq. ft.
- 8. Gross floor area including covered parking and accessory buildings (sq.ft.) N/A
- 9. Lot area (sq.ft. or acre) 0.93 acres

Lot Coverage	Existing (sq. ft.)	New Proposed (sq. ft.)	Total (sq. ft.)
Building	13,837	0	13,837
Paved Area	15,828	0	15,828
Landscaped Area	10,785	0	10,785
Unimproved Area			
TOTAL (should equal total lot area)			40,450 sq. ft.

10. Is any grading proposed?..... Yes No

If yes, complete the following:	
a. Amount of cut	Cu.yds.
b. Amount of fill	Cu.yds.

11. Parking:

Is any existing parking being removed? Yes No
If yes, how many spaces? _____

12. Does project include removal of trees or other vegetation? Yes No

If yes, indicate **number, type, and size** of trees _____

Or other **type and area** of vegetation _____

13. Present Use of Property

a. Are there existing structures on property..... Yes No

b. If yes, describe Dick Hannah Nissan Dealership

c. Will any structures be demolished or removed? Yes No

d. If yes, describe _____

SECTION IV. ATTACHMENT CHECKLIST

Please also include the items in the following **ATTACHMENT CHECKLIST**, which is provided for the convenience of applicants in gathering necessary application materials and is based on the requirements of **Municipal Code section 17.80.061**; (Please note additional filing requirements may be required depending on the proposed project.)

- Vicinity Map
- Site Plan Grading Plan
- Architectural Drawings
- Landscape Plan
- Sign Plan, if signs are proposed
- Application Filing fee
- Systems Development Charges with the City

Dick Hannah Nissan of Gladstone

Enclosure of the existing service drive at the Dick Hannah Nissan of Gladstone car dealership.

The west wall will be constructed from CMU blocks and include 5 windows and one man door.

The North drive entrance will be a glass storefront including one man door and an 18' glass overhead door. The new walls will be painted to best match the existing structures at Dick Hannah Nissan. And the glass store front will help give an updated look that matches the sales floor entrance.

The new enclosed area will be used by 5 employees that are being moved from another location on site. There will be 5 service desks used to check in customers who are arriving for service. The addition will provide a conditioned space for both the employees and customers, making the entire service process protected from any weather conditions.

We will be able to build the new west wall underneath the existing roof without any demolition of current sidewalks outside of the existing service drive. The surrounding landscape will not be affected. The existing handicap parking for this side of the building will remain in its current position. The enclosed area will be 1,239 sq. ft. of new conditioned area. However, there will be no change to the existing footprint to the building.

The project will be done in a timely matter and will have no affect on the surrounding road ways, or transit routes.



Building Permit Application

150 Beaver Creek Road, Oregon City, OR 97045
 Phone: (503) 742-4240 Fax: (503) 742-4741
 Inspection request: 503-742-4720
 Internet address: www.clackamas.us

TYPE OF WORK	
<input type="checkbox"/> New construction	<input type="checkbox"/> Demolition
<input checked="" type="checkbox"/> Addition/alteration/replacement	<input type="checkbox"/> Other:
CATEGORY OF CONSTRUCTION	
<input type="checkbox"/> 1- and 2-family dwelling	<input checked="" type="checkbox"/> Commercial/industrial
<input type="checkbox"/> Accessory building	<input type="checkbox"/> Multi-family
<input type="checkbox"/> Master builder	<input type="checkbox"/> Other:
JOB SITE INFORMATION AND LOCATION	
Job site address: 19505 McLaughlin Blvd	
City/State/ZIP: Gladstone, OR, 97027	
Suite/bldg./apt. no.:	Project name: Sales Entry Mod.
Cross street/directions to job site:	
Subdivision:	
Lot no.: 22E190002600	
Tax map/parcel no.: 00529100	
DESCRIPTION OF WORK	
Modify Existing Service drive of Dick Hannah Nissan	
<input checked="" type="checkbox"/> PROPERTY OWNER	<input type="checkbox"/> TENANT
Name: JJHW LLC	
Address: PO Box 1679	
City/State/ZIP: Vancouver WA, 98668	
Phone: (360) 256-8000	Fax: ()
E-mail:	
<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> CONTACT PERSON
Business name: Precision Construction Services Inc	
Contact name: Scott Aldinger	
Address: 2012 C St	
City/State/ZIP: Vancouver WA, 98663	
Phone: (503) 939-6431	Fax: ()
E-mail: Scottpcsi@gmail.com	
CONTRACTOR	
Business name: Precision Construction Services Inc	
Address: 2012 C St	
City/State/ZIP: Vancouver WA, 98663	
Phone: (503) 939-6431	Fax: ()
E-mail: Scottpcsi@gmail.com	
CCB lic.: 199301	
Authorized signature:	
Print name:	Date: 2-7-19

Date R:	Bldg #:
By:	Plmb #:
Simple/Complex:	Elec #:
Land Use Appr:	Prj #:

REQUIRED DATA: 1- AND 2-FAMILY DWELLING

Permit fees* are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.

Valuation

Number of bedrooms:

Number of bathrooms:

Total number of floors:

New dwelling area: square feet

Garage/carport area: square feet

Covered porch area: square feet

Deck area: square feet

Other structure area: square feet

REQUIRED DATA: COMMERCIAL-USE CHECKLIST

Permit fees* are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.

Valuation \$68,000

Existing building area: square feet

New building area: 1312 square feet

Number of stories: 1

Type of construction:

Occupancy groups:

Existing:

New:

NOTICE

All contractors and subcontractors are required to be licensed with the Oregon Construction Contractors Board under ORS 701 and may be required to be licensed in the jurisdiction in which work is being performed. If the applicant is exempt from licensing, the following reasons apply:

BUILDING PERMIT FEES*

Please refer to fee schedule

Fees due upon application	
Amount received	
Date received:	

This permit application expires if a permit is not obtained within 180 days after it has been accepted as complete.

* Fee methodology set by Tri-County Building Industry Service Board 440-4613T (11/02/COM/WEB) CCP-PW12 (Rev. 3/15)

HANNAH NISSAN GLADSTONE ADDITION		
WALLA ARCHITECTURE		
ENTRY BAY ADDITION ENGINEERING		
MJD	3/26/19	JOB # 2196

19505 SE MCLOUGHLIN BLVD.
GLADSTONE, OR 97027



RENEWAL DATE: 12-31-2019

CONTENTS:
2196 #1-10



113 W 7th ST. SUITE 205
 VANCOUVER, WA. 98660
 PHONE: 360-433-9093
 EMAIL: MIKE@MDSTRUCTURAL.COM

MD Structural
Engineering

Email: mike@mdstructural.com phone: 360.433.9093
113 W. 7th Street, Ste 205, Vancouver, WA 98660

Site Address: 19505 SE McLoughlin Blvd.
Gladstone, OR 97027

Design Code: 2015 IBC

Design Loads:

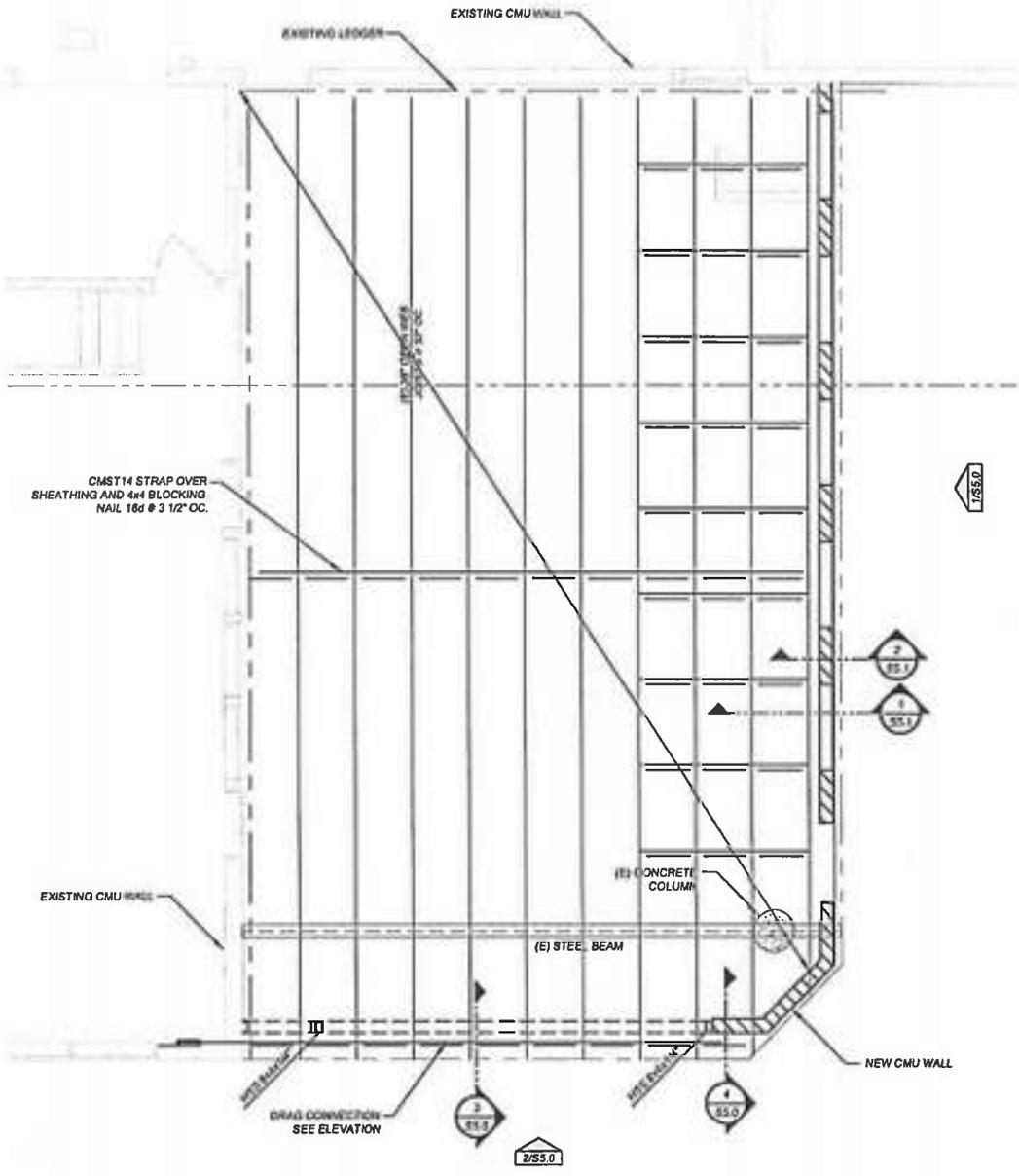
Wind: 120 mph (Strength Level)
Exposure B
Risk Category II
 $K_{zt} = 1.0$
Analysis Procedure Used: Simplified Procedure

Seismic: Seismic Design Category D
Site Class D
 $S_{ds} = 0.707$
 $R_p = 2$ (Ordinary reinforced masonry shear walls)
 $I_E = 1.0$
Analysis Procedure Used: Equivalent Lateral Force Procedure

Gravity: Roof Snow Load = 25 psf

Structural Narrative:

The proposed project is an enclosure to an existing canopy at the Nissan Gladstone dealership. The enclosed space will be one level 31'x44' in plan. The enclosure consists of an existing roof canopy that will be walled in with new cmu walls. Along the front, new steel framing will be provided and infilled with storefront framing.



Roof Framing Plan
1/8" = 1'-0"



LATERAL LOADS

IN BOTH DIRECTIONS, LATERAL LOADS WILL BE RESISTED BY REFERRING TO EXISTING REINFORCED CMU BUILDINGS.

THERE IS ESSENTIALLY NO CHANGE TO EXISTING WIND LOADS.

SEISMIC LOADS HAVE INCREASED BY THE ADDITION OF THE MASS OF THE CANOPY AND THE CMU WALL.

NO CANOPY 3/21/19

USE $S_{DS} = 0.75$ (CONSERVATIVELY) 0.707 BASED ON SITE
 $R = 2.0$ ORIGINAL CODE VALUES.

1. ON LINE 1

TRIBUTARY MASS OF EXISTING SLAB AT LEVEL 2
2 STORIES $46' \times 68' \times 2'$

WALLS $70 \times (12 - 13/2) \times (68 + 23 + 73) = 147600$

ROOF $12 \times 68 \times 46/2 = 18700$

FLOOR $12 \times 68 \times 46/2 = 18700$

135000

TRIBUTARY MASS OF EXISTING CANOPY

$12 \times 28 \times 4/2 = 7560$

CONC. COLUMNS $470 \times 14/2 = 3290$

TOTAL EXISTING 195850 lb

TRIBUTARY FROM NEW CONSTRUCTION

CANOPY

$12 \times 20 \times 40/2 = 4800$

CMU $80 \times 14/2 \times (10 + 44) = 16800$

COLUMN IS SELF SUPPORTING

21600



CHANGE ON WALL $\frac{21600}{195850} = 0.11 \quad 11\%$

NEW TOTAL MASS TILL = 217450 lb

SEISMIC H = $0.7 \times \frac{1.75}{2} \times 217450 \times 1.3 = 74200 \text{ lb}$

ON (4' x 6) = 24 in

$f_v = \frac{74200}{7675 \times 24 \times 12} = 33.8 \text{ psi}$

FOR $m/N_d = 1.0$

$F_v = 2\sqrt{11000 \times 1.0} = 58 \text{ psi} > 33.8$

DIAG CONNECTION FROM WALL TO EXISTING:

$T = 0.7 \times 0.4(0.75) 21600(1.3) = 5897 \#$

HUB CAP: 7800 #

(6) 4L171/2 - EZ ANCHORS $\Rightarrow 6(2432)(1 - 0.38(\frac{4}{6}))$
w/ 3/4 LUMBER
 $= 10895 \#$

CRACK WALL IS SUPPORTED AS TOP AT THE EXISTING DIAPHRAGM.

LOAD/FT = $W_w = 20 \times 16.67/2 = 147 \text{ lb}$

$W_e = 17 \times \frac{1.75}{2} [80 \times \frac{16.67}{2} + 17 \times 20] = 243 \text{ PLF}$

TILL $\geq 0.1 \Rightarrow 490 \text{ lb. eq.}$

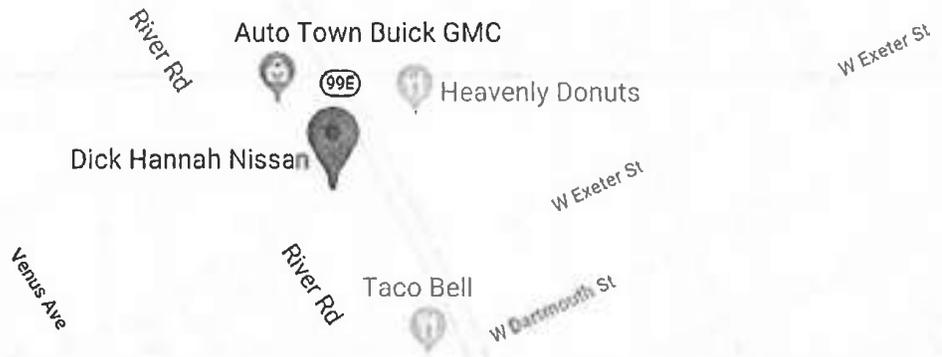
A35 @ 24" OC CAP = 670 PLF.



OSHPD

19505 McLoughlin Blvd, Gladstone, OR 97027, USA

Latitude, Longitude: 45.3788461, -122.604105



Google

Map data ©2018 Google

Date	12/27/2018, 7:54:26 PM
Design Code Reference Document	ASCE7-10
Risk Category	II
Site Class	D - Stiff Soil

Type	Value	Description
S _s	0.946	MCE _R ground motion. (for 0.2 second period)
S ₁	0.407	MCE _R ground motion. (for 1.0s period)
S _{MS}	1.061	Site-modified spectral acceleration value
S _{M1}	0.648	Site-modified spectral acceleration value
S _{DS}	0.707	Numeric seismic design value at 0.2 second SA
S _{D1}	0.432	Numeric seismic design value at 1.0 second SA

Type	Value	Description
SDC	D	Seismic design category
F _a	1.122	Site amplification factor at 0.2 second
F _v	1.593	Site amplification factor at 1.0 second
PGA	0.409	MCE _G peak ground acceleration
F _{PGA}	1.091	Site amplification factor at PGA
PGA _M	0.446	Site modified peak ground acceleration
T _L	16	Long-period transition period in seconds
S _{sRT}	0.946	Probabilistic risk-targeted ground motion. (0.2 second)
S _{sUH}	1.045	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration
S _{sD}	3.099	Factored deterministic acceleration value. (0.2 second)
S _{1RT}	0.407	Probabilistic risk-targeted ground motion. (1.0 second)
S _{1UH}	0.465	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration.
S _{1D}	1.131	Factored deterministic acceleration value. (1.0 second)
PGA _d	1.198	Factored deterministic acceleration value. (Peak Ground Acceleration)



Now 8' CW window

Use WIND LOAD 20 PSF
SOLAR

$$0.4 \times 0.75 \times 80 = 24.0 \text{ PSF (WIND)}$$

$$= 16.8 \text{ PSF (SOLAR)}$$

CHECK FOR 20 PSF

$$M = 20 \times (14.6)^2 \times \frac{1}{8} \times 12 = 6456 \text{ in-lb}$$

#5 @ 24" O.C. CONTINUED $d = 3.8'$

$$\rho = \frac{0.31}{24 \times 3.8} = 0.0034$$

$$n = 25.7 \quad n\rho = 0.0874$$

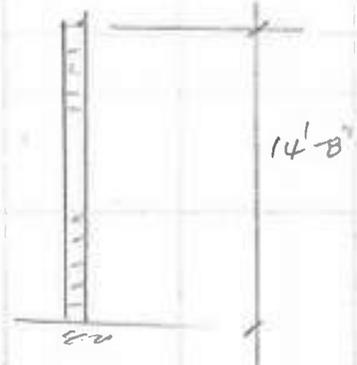
$$k = 0.340 \quad j = 0.89$$

$$f_2 = \frac{2 \times 6456}{12 \times (3.8)^2 \times 0.89 \times 0.34} = 290 \text{ psi}$$

$$F_2 = 0.33 \times 1500 = 495 \text{ psi} > 290 \text{ psi}$$

REINFORCE AT 4' WINDOW JAMB = $(2 \times 4) \times \frac{1}{4} = 3 \text{ #}$

USE (2) - #5 AT EACH WINDOW JAMB.



3/21/19

ATTACHMENT OF CMU WALL TO EXISTG. ROOF

2x6 BRACE @ 48" O.C.

ATTACHMENT LOADS:

$$H_{WIND} = 20 \text{ psf} \times 14.67/2 \times 4 = 587 \text{ lb.}$$

$$H_{SOCS} = 0.77 \times \frac{1.75}{2} \times \left[80 \times \frac{14.67}{2} \right] \times 4 = 616 \text{ lb.}$$

MINIMUM $200 \text{ lb} \times 4 = 800 \text{ lb.}$ ←

FORCE IN DIAGONAL BRACE

$$T=C = 800\sqrt{2} = 1130 \text{ lb.}$$

$$d/d = 4/1.5 = 2.67 \quad F_t = 470 \text{ lb}$$

$$C_{MU} = 470 \times 1.5 \times 2.67 = 3800 \text{ lb} > 1130.$$

SCREWS

$$(4) \frac{1}{4} \times \frac{1}{2} \text{ SCS} \quad 4 \times 350 \times 1.6 = 2240 \text{ lb} > 1130$$

4x6 CONNECTIONS

$$V = 800/2 = 400 \text{ lb.}$$

$$(2) - A35 \Rightarrow 2 \times 590 = 1180 > 400$$

$$(1) - H2TA \Rightarrow 560 > 400.$$

WALL TOP

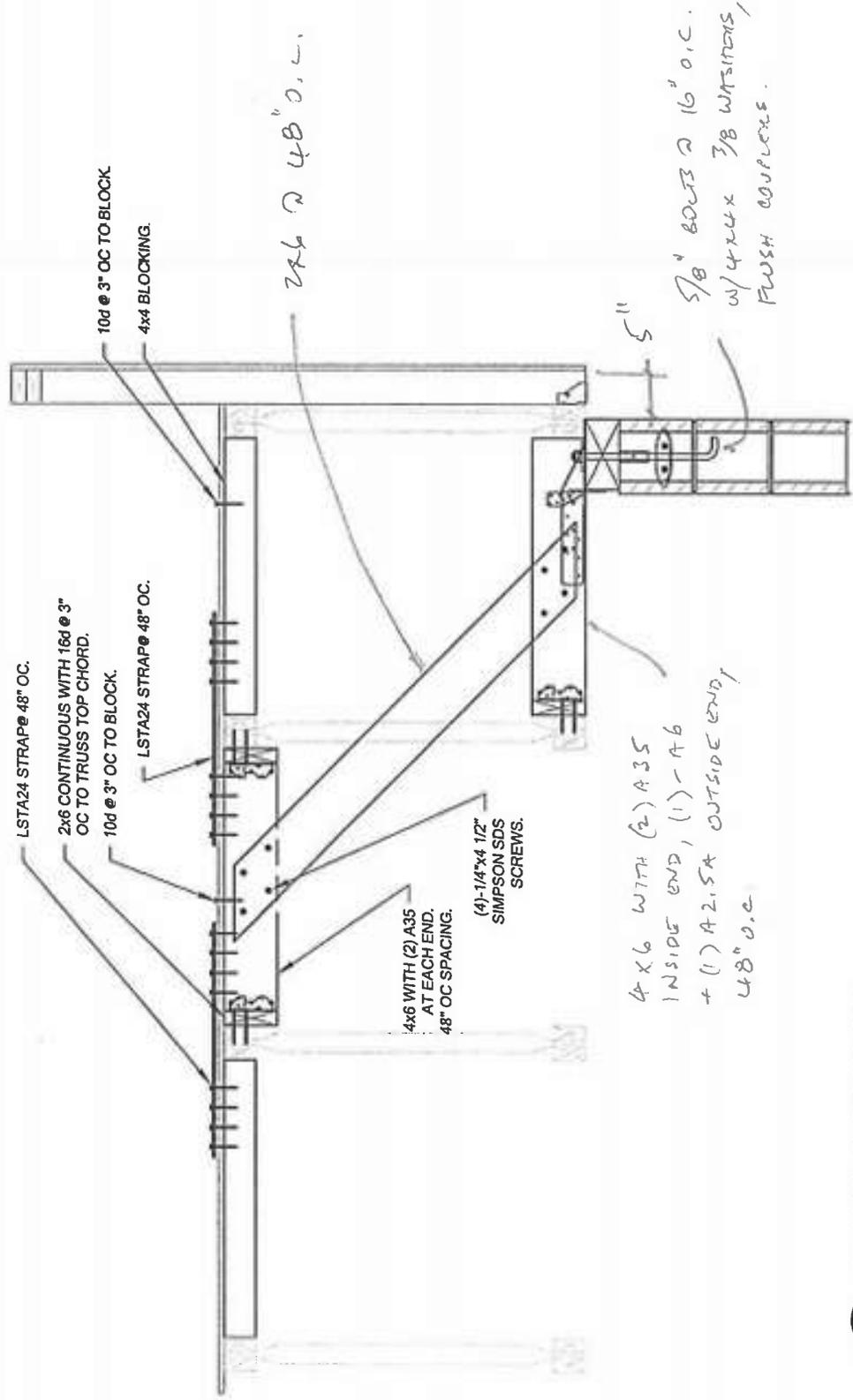
$$H_b \Rightarrow 1230 \text{ lb} > 800.$$

10 BOLTS @ 16" IN 4x PLATE

$$\text{BOLT IN CMU} \quad 305 \times 3 = 915 > 800$$

$$\text{BOLT IN 4x} \quad 643 \times 3 = 1929 > 800.$$

3/21/19



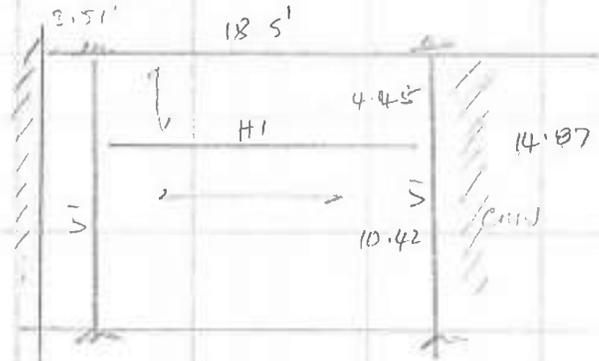
1 FRAMING SECTION

SCALE: 1"=1'-0"



Now roll-up down frame

WIND LOAD 73 PSF
GLASS 12 PSF



HORIZONTAL HT

1135 6x6x1/4

WIND LOAD
GL

$$12 \times 6.05 = 53$$

$$\frac{20}{73}$$

PSF

WIND LOAD 120 PSF

$$20 \times 4.45 / 2 = 45 \text{ PSF}$$

$$M_V = 73 \times (18.5)^2 / 8 \times 12 = 37480 \text{ lb-ft}$$

$$M_H = 45 = 23100 \text{ lb-ft}$$

$$f_c = (37480 + 23100) / 4.66 = 13.0 \text{ K}$$

$$< 0.6 \times 46 = 27.6$$

$$\Delta_V = \frac{\sum}{380} \times \frac{73 \times (18.5)^4 \times 12^2}{29 \times 10^3 \times 28.6} = 0.23'' \text{ 4/965}$$

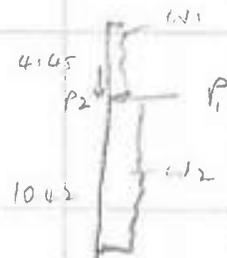
$$\Delta_H = \frac{\sum}{380} \times \frac{45 \times (18.5)^4 \times 12^2}{29 \times 10^3 \times 28.6} = 0.15'' \text{ 4/180}$$

VERTICAL V1

1135 6x4x1/4

$$W_1 = 20 \times 3.5 / 2 = 35 \text{ PSF}$$

$$W_2 = 20 \times (13.5 + 3.5) / 2 = 220 \text{ PSF}$$





$$P_1 = 45 \times 18.5/2 = 416 \text{ lb. (175/12)}$$

$$P_2 = 73 \times 18.5/2 = 675 \text{ lb.}$$

$$R_T = 291 + 803 + 132 = 1226 \text{ lb. (12) - SPD sensors}$$

$$R_B = 1638 \text{ lb.}$$

$$M_{max} = [1638 \times 7.45 - (1226) \times (7.45)^2/2] \times 12 = 73170 \text{ lb-in}$$

$$f_c = \frac{73170}{7.38} = 9.9 \text{ k.}$$

$$f_c = \frac{675}{4159} = 0.2 \text{ k.}$$

$$\frac{10.1 \text{ k.}}{0.2}$$



REGULAR AGENDA

EXCERPT FROM CURRENT GLADSTONE MUNICIPAL CODE (GMC) DESIGN REVIEW CHAPTER 17.80 REGARDING TIME LIMITS:

17.80.100 Compliance.

(1) Approval of design review shall expire if construction has not begun within one (1) year of the date of the final decision. Upon request, the one (1) year period may be renewed once by the Planning Commission for not more than one (1) year.

(2) Prior to issuance of a final certificate of occupancy, the development site shall be checked by the City Administrator or designee to insure compliance with the approved design review plans. Approval of a final certificate of occupancy shall not be granted until all conditions of design review approval are met.

(3) Any departure from the approved design review plans may be cause for revocation of the building permit or denial of a final certificate of occupancy. Any changes in the approved design review plans shall be submitted to the City Administrator or designee for review and approval prior to execution. Changes to the substance of an approval or the substance of conditions of approval shall require the submittal of a new design review application.

Statutory Reference: ORS Ch. 197 and 227

History: Ord. [1254](#) §2, 1998; Ord. [1323](#) §1, 2002.

DISCUSSION OF POSSIBLE CHANGES REGARDING TIME LIMITS TO CHAPTER 17.80 (DESIGN REVIEW):

17.80.100 Compliance.

(1) Approval of design review shall expire if construction has not begun within ~~one (1)~~ **two (2)** years of the date of the final decision. Upon request **and prior to expiration of final decision date**, the ~~one (1)~~ **two (2)** year period may be renewed once by the ~~Planning Commission~~ **City Administrator or designee** for not more than one (1) year **if no changes are requested to original approved decision**.

(2) Prior to issuance of a final certificate of occupancy, the development site shall be checked by the City Administrator or designee to insure compliance with the approved design review plans. Approval of a final certificate of occupancy shall not be granted until all conditions of design review approval are met.

(3) Any departure from the approved design review plans may be cause for revocation of the building permit or denial of a final certificate of occupancy. Any changes in the approved design review plans shall be submitted to the City Administrator or designee for review and approval prior to execution. Changes to the substance of an approval or the substance of conditions of approval shall require the submittal of a new design review application.

After the online search for terms of “one year” within the Zoning Code of the Gladstone Municipal Code additional sections including time limits of one year are as follows:

Chapter 17.32.030 – Final Plat (Subdivision)

17.32.030 Final plat.

(1) Expiration of Approval. Approval of a tentative plan shall expire if a final plat consistent with the tentative plan is not submitted to the City Administrator or designee within **one year** of the date of the final decision. Upon request, the **one-year** period may be renewed once by the Planning Commission for not more than **one year**.

Chapter 17.70.040 – Time Limit on Permit (Conditional Use)

17.70.040 Time limit on permit.

(1) Approval of a conditional use shall expire if substantial construction has not occurred within **one (1) year**—or such lesser time as may be specified as a condition of approval—of the date of the final decision.

(2) Upon request, the **one year** period may be renewed once by the Planning Commission for not more than **one year**.

Statutory Reference: ORS Ch. [197](#) and [227](#)

History: Ord. [1131](#) §2, 1990; Ord. [1323](#) §1, 2002.

Chapter 17.72.040 – Time Limit (Variances)

17.72.040 Time limit.

(1) Approval of a variance shall expire if substantial construction has not occurred within **one (1) year** of the date of the final decision.

(2) Upon request, the **one (1) year** period may be renewed once by the Planning Commission for not more than **one (1) year**.

Statutory Reference: ORS Ch. [197](#) and [227](#)

History: Ord. [1131](#) §2, 1990; Ord. [1160](#) §1, 1992; Ord. [1323](#) §1, 2002.

Chapter 17.73.040 – Time Limit (Adjustments)

17.73.040 Time limit.

(1) Approval of an adjustment shall expire if substantial construction has not occurred within **one (1) year** of the date of the final decision.

(2) Upon request, prior to its expiration, the **one (1) year** period may be renewed once by the City Administrator or his designee for not more than **(1) year**.

Statutory Reference:

History: Ord. [1374](#) §1, 2006.