



**GLADSTONE PLANNING COMMISSION AGENDA  
GLADSTONE CITY HALL, 525 PORTLAND AVENUE, GLADSTONE**

**Tuesday, November 19, 2019**

**6:30 P.M. CALL TO ORDER  
ROLL CALL  
FLAG SALUTE**

**CONSENT AGENDA**

All items listed below are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items unless a commission member or person in the audience requests specific items be removed from the Consent Agenda for discussion prior to the time the commission votes on the motion to adopt the Consent Agenda.

1. Approval of October 15, 2019 Meeting Minutes

**BUSINES FROM THE PUBLIC** - Visitors: This is an opportunity for members of the audience to bring to the Commission's attention any item not otherwise listed on the Agenda. Comments will be limited to three (3) minutes per person. Speakers may not yield their time to others and must fill out a speaker card available in the back of the room prior to making a comment.

**REGULAR AGENDA**

2. Monthly Planning Reports – October 2019
3. **Public Hearing:** File Z0425-19-D. Construction of a new 2,124 sq. ft. building on a vacant lot adjacent to an existing residence located at 420 W Arlington. Property owners are utilizing space on the adjacent non-conforming residential lot for parking. 420 W Arlington (Tax lots 2 2E 19DD #8200 & #8300) John Platz – applicant.

**BUSINES FROM THE PUBLIC** - Visitors: This is a second opportunity for members of the audience to bring to the Commission's attention any item not otherwise listed on the Agenda. Comments will be limited to three (3) minutes per person. Speakers may not yield their time to others and must fill out a speaker card available in the back of the room prior to making a comment.

**BUSINESS FROM THE PLANNING COMMISSION**

**ADJOURN**





## **CONSENT AGENDA**



## **GLADSTONE PLANNING COMMISSION MEETING MINUTES of October 15, 2019**

Meeting was called to order at 6:30 P.M.

### **ROLL CALL:**

Chair Randy Rowlette, Commissioner Andriel Langston, Commissioner Natalie Smith, Commissioner Malachi de AElfweald, Commissioner Les Poole, Commissioner Patrick Smith

### **ABSENT:**

None

### **STAFF:**

Tami Bannick, City Recorder; Joy Fields, Senior Planner; Councilor Tom Mersereau; Officer Sean Boyle, Code Enforcement

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### **CONSENT AGENDA:**

#### **1. Approval of August 20, 2019 and September 17, 2019 Meeting Minutes**

*Commissioner Natalie Smith made a motion to approve the Consent Agenda. Motion was seconded by Commissioner Poole. Motion passed unanimously.*

### **BUSINESS FROM THE PUBLIC:**

Mayor Stempel introduced a Cub Scout pack – they were taking a tour of City Hall. Chair Rowlette explained what was going on with the meeting and the procedures.

Josh Flett asked if the City Council was present. Chair Rowlette explained that they were in the Council chambers, but this was not a Council meeting. Mr. Flett asked how the boundaries of the City were drawn. Commissioner Poole provided an explanation. Mr. Flett asked how often laws are created. Chair Rowlette explained that the City Council and/or the public pass the laws. Mr. Flett asked if they managed land values. Commissioner de AElfweald explained that that is done by the County Assessor's Office. Mr. Flett went over his background in the Scouts. He asked how often the City has major issues. Commissioner Poole said every few months.

### **REGULAR AGENDA:**

#### **2. Monthly Planning Reports – August and September 2019:**

Ms. Fields went over the planning reports. In August there were seven client contacts at the counter, fifty-six customer phone calls/emails, three building permits issued with land use review, no pre-application conferences, and one administrative decision. In September there were four customer contacts at the counter, sixty-two phone calls/emails, one building permit, and one administrative decision.

In August the Planning Commission reviewed the application for converting the existing duplex on Portland Avenue to a mixed use. Staff reviewed a water quality resource area map determination application for the placement of fill.

There was discussion regarding phone call versus email communication.

Commissioner Natalie Smith asked in regard to the September report where exactly 420 W. Arlington is located – Ms. Fields explained that it's a current residence with a very high hedge around the vacant portion. She said this property should be coming before the Planning

Commission next month for a design review. They have submitted a complete application. The residential home is a non-conforming use on a commercially zoned property.

*Commissioner de AElfweald made a motion to accept the planning reports. Motion was seconded by Commissioner Natalie Smith. Motion passed unanimously.*

**3. Public Hearing: File Z0044-19-D – Design Review for landscaping that has been changed and modified from the previously approved landscaping associated with permit Z0048-17-D. Implementation of the proposed landscaping plan aims to address a land use violation and meet the requirements of the Gladstone Municipal Code. Carz Planet, 19120 McLoughlin Boulevard. Well Done Construction – applicant:**

Chair Rowlette opened the public hearing and went over the procedures/rules for quasi-judicial land use hearings. He said that a decision may be made by the Commission at the close of the public hearing or the matter may be continued to a date/time certain. Any party may request a continuance of this hearing or may request the record remain open for seven days. If the matter is continued to a date certain this will be the only notice of that date received. He went over the criteria used in making a decision. The Commission's decision will be final unless appealed to the City Council.

He went over the appeal process.

He asked if any members of the Commission wished to disclose any ex parte contacts, bias, or conflicts of interest – none did. He asked if members had visited this site. Commissioner Langston has not visited the site. Commissioner Natalie Smith has visited the site. Commissioner de AElfweald has visited the site. Chair Rowlette has visited the site. Commissioner Poole has been by the site. Commissioner Patrick Smith has driven by the site.

Chair Rowlette asked if any member of the public wished to challenge the jurisdiction of the Planning Commission to hear this matter. None did.

Chair Rowlette asked if any member of the public wished to challenge any Planning Commission member's ability to participate in this matter. None did.

Ms. Fields went over the staff report. The property is approximately 1.5 acres in size. It is bordered by McLoughlin Boulevard, Mildred, and Glen Echo. It is zoned C-3. In this zoning district, when you have residential property across the street different requirements come into play. Public notice was sent to neighbors and different officials and agencies – no comments were received. The site is currently being used as a car dealership. It has been landscaped with approximately 3,600 square feet of landscape plantings. The proposed site plan is compliant with the 2017 design review that approved the change of use from a restaurant to a car dealership. With that amount of landscaping it exceeds the 15% requirement from the 2017 design review and brings it into compliance with that. The landscaping plan as a condition would meet the code, but there are several conditions that pertain to this application. The landscaping plan was accompanied by an email with more pertinent information regarding the specifications. They provided information on maintenance and what their plan was going forward which was provided to the Commissioners as an exhibit. They do not plan on using any additional irrigation or providing any additional bicycle/pedestrian infrastructure. The site has been developed as a car dealership and the primary reason it is being reviewed today is the landscaping because it had been modified and reduced from what had been approved in 2017. She went over the special conditions. Landscape screening between the commercial property and the residential property that is across the street to the northeast. The special conditions address specific landscaping needs that would meet the code. Specifically, along

McLoughlin Boulevard if the landscaping in the right-of-way is included as part of the landscape quantification for meeting the 15% requirement then it needs to be maintained by the applicant and it needs to meet the McLoughlin requirement. #7 - no displaying of vehicles is allowed in the right-of-way. #8 - compliance with the previous design review approval.

Ms. Fields said in the landscaping plan it has shrubs along McLoughlin that are approximately 18 feet apart – the requirements are up to five feet apart. The Gladstone Municipal Code does not include hardscaping in the definition of landscaping and therefore crushed rock and river rock that may be used in landscaping cannot be part of the calculations for the landscaping coverage. McLoughlin has special specifications in the Code for landscaping that allows applicants to use sod instead of shrubs. The landscaping plan submitted did not include the use of sod – it used plantings, however, it also used crushed rocks that would not be considered landscaping based on the code. She is not positive if they calculated the area correctly because of the right-of-way. There was discussion regarding irrigation if they choose to put in sod.

**APPLICANT TESTIMONY:**

The applicant was not present.

**PUBLIC TESTIMONY:**

None.

**DISCUSSION:**

Chair Rowlette said he would like to get history from Code Enforcement regarding some of the issues they have had and why they are resubmitting instead of complying. Officer Boyle said when he first made contact with them regarding the landscape issue the General Manager told him they were going to take care of it. He said there are multiple people involved in this project and there was a language barrier in communications with the contractor. He said they are still not in compliance because they don't have current land use approval for the landscaping that is there. There have been no citations issued.

Ms. Fields said in the special conditions they can either choose sod or add additional shrubs/trees to meet the landscaping requirements along McLoughlin. The screening requirements between the residential neighborhood and commercial is met with what is there currently and what is proposed. The clear vision requirements at the northern intersection are met. They removed the landscaping from the front of the building that had been there previously and they were parking vehicles on the right-of-way (no longer happening). They had 180 days to submit the required material to make their application complete.

Commissioner Patrick Smith said that when they vote on something they have some self-assurance that whatever they approve is going to be followed through on and that has not been the case with this. He doesn't have a good feeling of follow-through on this. He doesn't see them as having the tools to make it happen. Chair Rowlette said their job is to look at the application and if it's complete and they are in compliance, or not, to vote yes or no. He said that compliance is not their job – that's up to Code Enforcement. He is disappointed that the applicant is not at the meeting. Commissioner de AElfweald asked if they approve it what method would we have in place for staff to help them understand what the changes needed are. Ms. Fields said they could deny their application until it is met without special conditions or approve it and direct staff to reword the decision so it's clear that additional landscaping needs to be modified so that crushed rock is not the landscaping used along McLoughlin. If it's not clear on the special conditions then staff can work to get that reworded to be specifically what the Commissioners would like. Then staff could

reach out to the applicant and share that information with them. Chair Rowlette pointed out that the property owner is still responsible for the property.

Ms. Fields said she did not have the benefit of knowing what it looked like prior to the landscaping that they have done. She said it appears that the site has been landscaped based on these plans and they do not completely meet code as they are laid out right now along the McLoughlin section, however, as conditioned they could come into compliance.

*Commissioner de AElfweald made a motion to close the public hearing. Motion was seconded by Commissioner Patrick Smith. Motion passed unanimously.*

Commissioner de AElfweald said on page 3-4, special condition #2, the site landscaping, it appears that this area is going to be the part that is mostly going to be telling them what they need to do. He thinks “C” could be clarified – maybe combine “C” and “E” into one thing and maybe change the part that says “sod can be used” to “sod can be used instead of crushed rock” to make it very clear that that’s the intention there. Commissioner Poole suggested specifying that they remove the rock or address it somehow. It was agreed to change the wording to “the rock can be replaced with sod or other code compliant material such as shrubs”. There was discussion regarding maintenance/irrigation. It was agreed to add “maintenance of landscaping is required”. Commissioner de AElfweald said we need to be clear on which plants are not allowed in “F” and list the plants that they have identified in their plan that are prohibited.

*Commissioner de AElfweald made a motion to approve application Z0044-19-D with conditions as modified. Motion was seconded by Commissioner Langston. Ms. Bannick took a roll call vote: Commissioner Langston – yes. Commissioner Natalie Smith – yes. Commissioner de AElfweald – yes. Commissioner Poole – yes. Commissioner Patrick Smith – yes. Chair Rowlette – yes. Motion passed unanimously.*

### **INFORMATION ONLY:**

- Ordinance 1498 – Amending Title 17 of the Gladstone Municipal Code (GMC) pertaining to Time Limit Extensions of Land Use Approvals approved by City Council October 8, 2019: Ms. Bannick said that included in the packets is the ordinance that was approved by City Council – they wanted to make sure that the Planning Commission was aware of this.
- Possible Tree Ordinance: Michael Milch sent an email to Chair Rowlette with a link to the Salem code for trees. Chair Rowlette hasn’t read it yet but he feels that it’s important and he is happy to see that this is getting some attention. He thinks we need an educational outreach to the public about trees such as the white oaks – how old they are and how important they are to the environment. Ms. Bannick pointed out that the tree ordinance is not currently on their 2019 Planning Commission Work Plan, so they might want to include it in their 2020 work plan. She said that staff time will be involved in that process. Commissioner de AElfweald suggested noticing the local companies that deal with trees and who would be effected by this ordinance to get their input as well.

### **BUSINESS FROM THE COMMISSION:**

#### **Commissioner de AElfweald:**

He said about a year ago, whenever they sent out these packets for comments the various departments would give them feedback, even if it was to say they had no concerns. He feels it is important that we get back to doing that, especially for the public record, to show that the different departments have seen what it was.

**Commissioner Natalie Smith:**

She said there is a home at 290 Shawna Lane that is already partially demolished – she has seen violations. She asked how we get someone out there to notify them. Ms. Fields said they should have a demolition permit from the County Building Department – Commissioner Smith said she did not see one. Ms. Fields said then it is a violation that needs to go to Code Enforcement. Commissioner Smith will follow up.

**Commissioner Poole:**

He said the answer to the question earlier about City boundaries is really complex.

**Commissioner Patrick Smith:**

He said he was pleased to see in Ms. Betz’s letter to the City that she included a letter to the property owner of the zombie house on Manor Drive to take some action on that– he thinks that very positive. He asked the Mayor about Commissioner Poole’s issue with the movement of public comments from the front to the rear of City Council meetings. He said the Mayor indicated that it was a League of Oregon Cities recommendation. He hopes the Planning Commission keeps the public testimony at the beginning of their meetings. Commissioner de AElfweald feels it should be listed as another agenda item – and offer it at the beginning and the end of meetings. The other Commissioners agreed.

There was further discussion regarding the decision on the public hearing, the maps that were included, etc.

Ms. Bannick wanted to let the Commissioners know that in regard to the vacant position they currently have the City Council decided to include any applications and make an appointment at their December 10<sup>th</sup> meeting. They will include that vacancy with the two positions that are expiring at the end of this year (Chair Rowlette’s and Commissioner Natalie Smith’s). She will be sending out letters to all of the Commissioners, committee members, and board members advising them of their term expirations and that they can reapply. This information is also included in the City newsletter.

**ADJOURN:**

Meeting adjourned at approximately 7:57 P.M.

Minutes approved by the Planning Commission this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Randy Rowlette, Chair





## **REGULAR AGENDA**





# City of Gladstone Monthly Report | October 2019

## PUBLIC CONTACTS/PLANNING ACTIONS

CUSTOMER CONTACT/ Planning Actions	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sept	Oct	YEAR TOTALS
Customer Service Counter Contacts	8	4	5	10	6	17	15	7	4	4	80
Customer phone/email contacts	48	42	35	45	52	73	68	56	62	68	547
Building Permits with Land Use Review	0	1	1	1	0	4	3	3	0	10	23
Pre-application conferences	3	1	0	1	0	0	0	0	0	0	5
Administrative Decisions	0	0	1	3	4	2	0	1	1	3	15

## PLANNING COMMISSION ACTIONS/DECISIONS

- Z0044-19 – CARZ PLANET DESIGN REVIEW. APPROVED WITH CONDITIONS.

## CITY COUNCIL LAND USE ACTIONS/DECISIONS

- NONE

## PRE-APPLICATION CONFERENCES

- NONE

## ADMINISTRATIVE PERMITS

- Approval of sign permit associated with Z0401-19; Hyundai.
- Approval of Land Use Compatibility Statement associated with ZINFO0197-19; Harley Davidson.
- Approval of Land Use Compatibility Statement associated with ZINFO0240-19; JCCD Gladstone LLC.

## BUILDING PERMITS WITH LAND USE REVIEW

### OCTOBER

Date	Address	Building Permit #	Description
10/8/2019	7660 Cason Ln	B0529619	Replace Existing Deck
		B0535319	
10/10/2019	6285 Caldwell Rd	B0535219	Tenant Improvements
		B0535419	
10/11/2019	12748 SE 23 <sup>rd</sup> Ave	B0538619	New Single Family Residence
10/18/2019	200 W. Jersey St	B0552819	New Single Family Residence
10/24/2019	18905 Portland Ave	B0440319	Tenant Improvement
10/28/2019	165 E. Exeter St	B0193219	Triplex
10/29/2019	810 E Arlington	B0544019	Sign Replacement

## FUTURE ITEMS/PROPERTY UPDATES

Location	Topic	Contact
420 West Arlington.	Proposed new commercial building on current vacant lot. Public Hearing Scheduled for November.	Richard Barbis Architect



## **REGULAR AGENDA**





PC Meeting Date: 11/19/19

## **STAFF REPORT: DESIGN REVIEW**

**Application No.:** Z0425-19-D;

**Applicant:** John Platz

**Project Location:** 420 W. Arlington St; Tax Lots 22E19DD08200 and 22E19DD08300

**Project Description:** Construction of a new 2,124 sq. foot building on a vacant lot adjacent to an existing residence located at 420 W. Arlington. The property owners are utilizing space on the adjacent non-conforming residential lot for parking.

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### **SUMMARY OF STAFF RECOMMENDATION**

The planning staff are recommending **APPROVAL** of the Design Review application **Z0425-19-D** and recommend the following findings and following conditions in support of approval: (1) Lighting (2) Signage, (3) ADA Access, (4) Sanitary and Sewer (5) Public Works Approval, (6) Fire Department Approval, (7) Final Occupancy, (8) Design Review Plans and (9) Endangered Species Act.

The subject property, is comprised of one tax lot (22E19DD08200), that is approximately 0.12 acres in size that has historically been used as a garden. The adjacent property (tax lot 22E19DD08300) is involved with this project through a shared parking agreement that will allow the new commercial building to utilize additional land to provide the necessary parking. The proposed project would involve the construction of an office building with internal areas for lab work and storage.

The proposed commercial office building would be consistent with the permitted uses of the C2 commercial zoning district and would be compatible with the uses in the surrounding area. As proposed and conditioned, planning staff find the application consistent with all applicable standards from Title 17 of the Gladstone Municipal Code (GMC) and are recommending the Planning Commission approve this Design Review application. The standard of review for the proposed project is the City of Gladstone's Municipal Code Zoning and Development Title 17.

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## EXHIBITS

Exhibit 1.	Location Map
Exhibit 2.	Aerial Image
Exhibit 3.	Exterior Renderings
Exhibit 4.	Shared Parking Agreement
Exhibit 5.	Email: ICSB New Building Gladstone, OR
Exhibit 6.	Agency Comments

## APPENDIX: SUBSTANSIVE FILE DOCUMENTS

- A. Application Materials (AS1.1, A1.1, A2.0, C1.0, C2.0, C2.1, C3.0, ECP1.3, LA-1 Addendum#1)**

## **I. REQUEST FOR COMMENTS**

**Sent to:** Property owners within two hundred fifty (250) feet of the subject property, City of Gladstone, Public Works, Gladstone Fire, Gladstone PD, Engineering, WES Tri-Cities

**Responses Received:** Public Works Department. No comments received from Gladstone Fire or Police Departments, Engineering and WES Tri-Cities.

## **II. STANDARD CONDITIONS**

- 1. Expiration.** This approval shall remain valid for one year following the date of approval. If use has not commenced by that date, this approval shall expire unless the Planning Commission pursuant to Section 17.80.100 of the Gladstone Municipal Code grants an extension prior to expiration of approval.
- 2. Interpretation.** Any questions of intent or interpretation of any condition will be resolved by the Planning Director for the City of Gladstone,
- 3. Assignment.** The permit may be assigned to any qualified person, provided assignee files with the City Planning Department an affidavit accepting all terms and conditions of the permit.
- 4. Terms and Conditions Run with the Land.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.
- 5. Building Permits.** The applicant shall obtain required building permits from Clackamas County. The applicant shall comply with requirements of the permits.

## **III. SPECIAL CONDITIONS**

- 1. Lighting.** Any new on-site lighting shall comply with Subsections 17.44.020(4) and (5) of the GMC, including compliance with IES standards. “Dark sky” fixtures shall be used to the extent possible.
- 2. Parking.** The proposed parking for the new commercial use is shared parking between the new commercial site and the adjacent residential lot as allowed as pursuant to Section 17.48.030(1)(e). The applicant has recorded with the County Clerk a copy of the “Parking Spaces Sharing Agreement” (Exhibit 4). The development of parking for this project shall follow the submitted plans and the “Parking Spaces Sharing Agreement”.
- 3. Driveway.** The development shall construct a commercial driveway approach on W. Arlington Street and replace any sidewalk along the site frontage not meeting current ADA standards. Driveway and sidewalk improvements shall conform to the requirements of the Gladstone Public Works Standards.
- 4. Signage.** All signs shall meet the provisions of Subsection 17.52 of the GMC. Sign designs were not included with the submittal package and will need to be permitted separately. Therefore, a sign permit shall be filed for the two proposed on-building signs. The proposed signs cannot exceed a

combined area of 51 square feet per Section 17.52.070 (2)(b)(A) of the GMC, as calculated using the width of the building wall shown on the revised site plan sheet AS1.1.

5. **Landscaping.** A landscape contractor shall design an irrigation system appropriate for the proposed landscaping plan and shall submit to the County for approval prior to receiving the Certificate of Occupancy.
6. **ADA Access.** This approval is subject to the development complying with the provisions of the Americans with Disabilities Act (ADA), including provisions for curb ramps.
7. **Sanitary Sewer.** A new sewer lateral shall be installed by the developer from the main on W. Arlington per Gladstone Public Works Standards. The proposed development shall meet all sanitary sewer requirements pursuant to WES and the requirements of the Gladstone Public Works Design Standards.
8. **Water.** The proposed development shall meet all water system requirements pursuant to the requirements of the Gladstone Public Works Design Standards and the Oregon Health Authority.
9. **Storm Drainage.** The drainage plan shall conform to the drainage requirements of the Gladstone Public Works Design Standards. The design engineer shall submit to the City of Gladstone Public Works Department for review and approval a storm drainage analysis and report applicable to the approved development detailing how storm water quality, quantity and disposal are being addressed to meet the requirements of the Gladstone Public Works Design Standards.
10. **Erosion Control.** A sediment and Erosion Control Permit will be required from WES prior to commencing site work.
11. **Construction plans.** Plans detailing the installation of public and private utilities, site grading, and other public and private site improvements shall be submitted to the City of Gladstone Public Works Department for review and approval. The design, location, and planned installation of all roadways, natural gas, power, street lighting, telephone, cable television, storm water, water, and sanitary sewer provisions are subject to approval by the appropriate agency/utility service provider. Construction plans shall be designed and stamped by a Professional Engineer registered in the State of Oregon.
12. **Pre-construction Conference.** Once construction plans are ready to be approved by the City of Gladstone, a Pre-Construction Conference with final sign-off on the Construction Plans is required.
13. **Building Permits.** Clackamas County Building Department will provide structural, mechanical, grading, and review of Fire & Life Safety, Plumbing, and Electrical Permits for this project.
14. **Final Occupancy.** PRIOR TO ISSUANCE OF A FINAL OCCUPANCY PERMIT, all conditions of the design review approval shall be met.

15. **Design Review Plans.** Any changes in the approved design review plans shall be submitted and approved prior to execution. Any departure from the approved design review may cause revocation of building permits or denial of the final certificate of occupancy.
16. **Endangered Species Act.** The approval of the application granted by this decision concerns only the applicable criteria for this decision. The decision does not include any conclusions by the county concerning whether the activities allowed will or will not come in conflict with the provisions of the federal Endangered Species Act (ESA). This decision should not be construed to or represented to authorize any activity that will conflict with or violate the ESA. It is the applicant, in coordination if necessary with the federal agencies responsibility for the administration and enforcement of the ESA, who must ensure that the approved activities are designed, constructed, operated and maintained in a manner that complies with the ESA.

## IV. FINDINGS

The City of Gladstone Planning Staff finds:

### A. PROJECT LOCATION AND PROPOSED DEVELOPMENT

The subject property, is primarily comprised of the vacant tax lot 22E19DD08200, that is approximately 0.12 acres in size and was previously used as a garden. Adjacent to the primary lot, and under the same ownership, is tax lot 22E19DD08300 that is also approximately 0.12 acres and will be the site of parking for the proposed new 2,124 sq. foot commercial building. The subject properties are zoned Community Commercial District (C2) and have been in use as a single-family residence and garden since the time of its initial construction. The proposed project would involve maintenance of the existing non-conforming single-family dwelling as well as the addition of a new 2,124 sq. foot office building. Business, and professional offices are allowed outright in the C-2 zoning District.

The existing residence on Tax Lot 22E19DD08300 is a legally non-conforming residential use on C-2 zoned property. Gladstone Municipal Code Section 17.48.030(1)(e), which allows owners of two or more lots, or uses, to utilize the same parking and loading spaces when the peak hours of operation do not substantially overlap. To meet the parking requirements of the Gladstone Municipal Code for the new structure, the applicant has recorded with the County Clerk a “Parking Spaces Sharing Agreement” (Exhibit 4).

### B. DESIGN REVIEW CONSISTENCY FINDINGS

#### **Design Review**

*Chapter 17.80 of the Gladstone Municipal Code (GMC) establishes the requirements for design review. Pursuant to Subsection 17.80.021(1), new structures, additions to existing structures and site development is subject to design review.*

Finding: A new structure and site development is proposed and design review is required.

*Section 17.80.061 lists submittal requirements for Design Review*

Finding: The application materials as submitted on 9/18/19, 9/25/19, and 10/3/19 satisfies these submittal requirements.

*Section 17.80.100(1) provides for approved design review to remain valid for one year. If construction has not begun by that time, the approval may be renewed once by the Planning Commission for not more than one year.*

*Chapter 17.18 of the GMC establishes basic requirements for the Community Commercial Zoning District, and Section 17.18.020 identifies uses permitted in the District.*

Finding: The new building is proposed as a business office, which is a use allowed outright in the C-2 Zoning District.

### **General Siting and Design**

*GMC Section 17.18.060 requires new buildings in the C-2 zoning district to meet dimensional standards.*

Findings:

- **Setbacks:** There are no minimum setback requirements.
- **Off-Street Parking:** The proposed off-street parking meets the five foot (5') distance requirement from all property lines except as provided by the shared parking agreement between adjacent lots per Section 17.48.030(1)(e).
- **Building Height:** As proposed, the new building will have a height of twenty-three feet (23'), per revised site plan sheet A2.0. Therefore, the maximum height limitation of thirty-five feet (35') is met.
- **Equipment Setbacks:** The property behind the new commercial building is zoned residential (R-5), therefore the equipment setback from the rear property line is ten feet (10'). The equipment is more than 30 feet from the rear property line per revised site plan sheet AS1.1.
- **Density:** Not residential.
- **Hotels and Motels:** Not applicable.
- **Fences and Walls:** The only walls proposed are located around the vegetated basins that provide stormwater treatment. The proposed vegetated basin walls have a maximum height of thirty inches (30") per construction details sheet C2.1. In addition, four-foot (4') temporary construction fences may be installed.

These criteria are met.

*Chapter 17.52 of the GMC establishes sign requirements.*

Finding: Sign designs were not included with the submittal package and will have to be permitted separately.

*Chapter 17.54 of the GMC establishes clear vision requirements.*

Finding: The property being developed is not located on the corner of two intersecting streets or a street and a railroad. This criteria is met.

*Chapter 17.44 of the GMC identifies standards for building siting and design. These standards apply to all development that is subject to Design Review.*

*Section 17.44.020(1) requires buildings to optimize solar access and Section 17.44.020(2) requires buildings to have energy efficient designs.*

Finding: As stated by the applicant in an email dated October 8, 2019 (Exhibit 5), “The interior of the buildings main work area will have natural day lighting from (2) roof top skylights. Since the building is at an angle relative to the North/South direction, the two main elevations will be getting direct Southern exposure which will help to naturally heat the building in the winter months.” These criteria are met.

*Section 17.44.020(3) of the GMC requires development to be compatible with adjacent land uses and developments. Specific design and sitting techniques are encouraged.*

Finding: The proposed building is oriented towards the street with pedestrian access and includes multiple building materials and a recessed entrance on the southern elevation (Exhibit 3). Refuse areas are enclosed, mechanical equipment will be located on the roof and landscaping will be used as a screen between the commercial use and the adjoining residential property. These criteria are met.

*Section 17.44.020(4) of the GMC requires buildings be constructed using high-image exterior materials and finishes such as masonry, architecturally treated tilt-up concrete, glass, wood or stucco. Screening of roof-mounted equipment is also discussed in this section. Metal siding is only permitted to be used for buildings, or the portions of buildings, that are not visible from a road or adjacent property.*

Finding: The new building will use a combination of wood screen, veneer stone, cement plaster and windows per revised site plan sheet A2.0 and exterior renderings (Exhibit 3 and application materials). These criteria are met.

*Section 17.44.020(5) of the GMC establishes lighting standards. 17.44.020(6) establishes on-site lighting and illumination level standards. It requires all on-site lighting to be designed, located, shielded ore deflected so as not to shine into off-site structures or impair the vision of the driver of any vehicle, while providing lighting for access routes on-site.*

Finding: As shown on the revised site plan sheet A2.0, submitted on 10/8/19, the proposed lighting affixed to the building is designed to meet the lighting standards. This criteria is met.

*Section 17.44.020(7) establishes that all utility lines shall be placed underground and all roof-mounted fixtures and utility cabinets or similar equipment, which must be installed above ground, shall be visually screened from public view.*

Finding: The cooling equipment will be a standard roof top mechanical package. The building includes an upper parapet on the southern/street side elevation that will likely hide the mechanical equipment from public view. This criteria is met.

*Section 17.44.020(8) regarding trash disposal and recycling collection requires new construction to incorporate functional and adequate space for on-site storage and efficient collection of mixed solid waste and source separated recyclables prior to pick-up and removal by haulers.*

Finding: The site plans show a trash storage area that is enclosed and exceeds 30 sq. ft., which meets the requirements dictated by Section 17.44.020(8)(b). This criteria is met.

## **Landscaping**

*Chapter 17.46 of the GMC identifies landscaping standards and states that these standards are applicable to all developments subject to design review.*

*Subsection 17.46.020 (1) requires a minimum of fifteen percent (15%) of the lot area to be landscaped.*

Finding: The proposed landscape site coverage is 771 sq. ft., which equals 15% of the total 5,000 sq. ft. site area. This criteria is met.

*Subsection 17.46.020 (2)(a) requires that a parking or loading area providing ten or more spaces shall be improved with defined landscaped areas totaling no less than ten square feet per parking space.*

Finding: Less than 10 parking spaces are required *per Section 17.48.030*. This is informational only.

*Subsection 17.46.020 (2)(b) requires the parking and loading area to be separated from a lot line by a landscaped strip at least five feet in width.*

Finding: As shown on revised AS1.1, the site plan provides six feet three inches (6'3") of landscaping between the parking area and northern property boundary. The handicapped parking space and pedestrian walkway are shielded from the property to the west by a row of Wild Lilac shrubs. The parking area is being shared between adjoining parcels to the east. This criteria is met.

*Subsection 17.46.020(3) requires that provisions for irrigating planting areas be made where needed.*

Finding: There will be an irrigation system but it will be designed by a landscape contractor and submitted to the County for approval. The irrigation controller is to be located in Room 111 (Janitors Room). This criteria is met with Special Condition 5.

*Subsection 17.46.020(4) requires landscaping to be continuously maintained.*

Finding: The applicant plans for initial maintenance to be provided by skilled employees of the landscape installer. According to communication with the applicant, maintenance will begin immediately after plants are installed and continue until plantings are acceptably healthy and well established. The owner will oversee the maintenance. Maintenance will include: 1) maintain plantings by pruning, cultivating, watering, weeding, fertilizing, mulching, restoring tree mulch circles, resetting to proper grades or vertical position, and performing other operations as required to establish healthy, viable plantings; 2) spray or treat as required to keep trees and shrub areas free of insects, weeds and disease. Contractor shall be responsible for thorough removal of weeds, including roots during contract period until final acceptance for plant beds and lawns. Contractor is encouraged to use practices to minimize the use of pesticides and reduce hazards. 3) apply pesticides and other chemical products and biological control agents in accordance with authorities having jurisdiction and manufacturer's written recommendations. 4) protect plants from damage due to landscape operations and operations of other contractors and trades. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged plantings. This criteria is met as described by the applicant's landscaping specifications (Exhibit 5).

## **Parking and Access**

*Chapter 17.48 of the GMC regulates off-street parking and loading for all development permits.*

*Section 17.48.030(1) requires 1 parking space per 370 square feet of building area.*

Finding: The proposed new office building is 2,124 square feet in size. Therefore, six (6) parking spaces are required. From the applicants submitted materials and site plan it appears that the handicap accessible parking space is located on tax lot 22E19DD08200 and the shared parking agreement with the adjacent lot (tax lot 22E19DD08300) provides for the additional five (5) parking spaces required within 200 feet of the building (Exhibit 4). This criteria is met.

*Section 17.48.040(1)(a) requires parking and loading areas to be paved with asphalt and/or concrete meeting city standards, maintained adequately for all-weather use and so drained as to avoid flow of water across public sidewalks.*

Finding: Site plan sheet C-3.0 identifies the drainage and construction materials of the parking and loading areas. The Gladstone Public Works Department will be signing off on the project prior to the issuance of building permits per Special Condition 2. This criteria is met as conditioned.

*Section 17.48.040(1)(b) requires parking and loading areas to be screened from abutting residential properties.*

Finding: As shown on revised plan sheet AS1.1, the parking and loading area will be screened from the residential properties located to the north of the site by six feet three inches (6'3") of landscaping trees and shrubs. This criteria is met.

*Section 17.48.040(2)(a) states that required parking spaces must be located within two hundred feet of the building or use they are required to serve.*

Finding: Revised site plan sheet AS1.1 shows the parking spaces are between 15 and 16 feet from the building. This criteria is met.

*Section 17.48.040(2)(b) states that required parking shall be provided in the same zoning district.*

Finding: Tax Lots 22E19DD08200 and 22E19DD08300 are both located in the C-2 Zoning District. This criteria is met.

*Section 17.48.040(2)(d) requires groups of more than four parking spaces to be permanently marked and so located and served by driveways that their use will require no backing movements or other maneuvering within a street right-of-way other than an alley.*

Finding: Site plan sheet C-3.0 specifies the location and marking requirements for the parking and loading areas. This criteria is met.

*Section 17.48.040(2)(f), and (g) establish the minimum width of access aisles and the minimum dimensions of parking spaces.*

Finding: Site plan sheet AS1.1 specifies the location and width for the parking spaces and loading areas. The dimensions shown on sheet AS1.1 meets or exceeds the 9.5' and 8.5' width requirements. This criteria is met.

*Section 17.48.050 establishes requirements for bicycle parking.*

Finding: The project provides two short-term bicycle parking spaces. This criteria is met.

*Chapter 17.50.20 of the GMC establishes the requirements for vehicular and pedestrian circulation.*

*Subsection 17.50.020(1) requires that provisions be made for the least amount of impervious surface necessary to adequately service the type and intensity of proposed land uses within developments as well as providing adequate access for service vehicles.*

*Subsection 17.50.020(3) requires curbs, associated drainage and sidewalks within the right-of-way or easement for public roads and streets.*

*Subsection 17.50.020(5) requires provisions to be made for the special needs of the handicapped.*

*Subsection 17.50.020(6) pertains to pedestrian access.*

*Subsection 17.50.020(7) deals with new development requiring full site design review that, when completed, generate an average daily traffic count of 1000 trips or greater. In such case, a transit stop shall be provided.*

*Section 17.50. Vehicular and pedestrian circulation:*

**Finding:** The applicant is proposing to provide the minimum parking required by the GMC, therefore limiting the amount of impervious surface. Curbs and drainage will be provided per site plan sheet C2.0 and C2.1. Handicap accessible parking and access areas are being provided per site plan sheet C2.0 and C2.1. Based on the plans submitted by the applicant, pedestrian access and sidewalks are being provided and lighted and traffic generated by the site will not exceed 1000 trips. Site visits and google street views highlighted that transit stops are currently available at the intersection of W. Arlington and Barton Ave that is approximately 190 feet from the property. These criteria are met.

**Drainage and Stormwater**

*17.56.010 [Drainage] Applicability.*

*The development standards for surface water drainage shall apply to all new or redevelopment activities in the City of Gladstone that result in the creation or disturbance of 5,000 square feet or more impervious surface except for substantial improvement or lesser remodel or reconstruction of existing single-family or two-family dwellings.*

**Finding:** The proposed commercial building is 2,124 sq. ft., plus the driveway and parking spaces, have a cumulative site area of 5,000 sq. feet, which is the threshold cited in Section 17.56.010 of the GMC. As such, the drainage standards of the GMC, Chapter 17.56 apply to the proposed project.

*17.56.020 Standards*

*(1) Generally. All development shall be planned, designed, constructed and maintained to:*

- (a) Protect and preserve existing drainage channels to the maximum practicable extent;*
- (b) Protect development from flood hazards;*
- (c) Provide a system by which water within the development will be controlled and managed without causing damage or harm to the natural environment, or to property or persons within the drainage basin;*

- (d) Assure that waters drained from new or redevelopment sites are substantially free of pollutants, including sedimentary materials, through the use of stormwater treatment facilities as referenced herein and appropriate erosion and sediment control practices;*
- (e) Assure that runoff drained from new and redevelopment sites is managed in accordance with criteria outlined in the City of Gladstone Stormwater Treatment and Detention Standards as to not cause erosion to any greater extent than would occur in the absence of development;*
- (f) Avoid placement of surface detention or retention facilities in road rights of way.*

**Finding:** According to the application materials, the project site does not contain waterways or drainage channels. The property is in the 500 year floodplain with a 0.2% chance of being flooded annually. Therefore, there are no floodplain development regulations that pertain to the development. The applicant is proposing to provide stormwater control and treatment measures onsite without encroaching on the rights of way. This criteria is met.

*(2) Watercourses. Where culverts cannot provide sufficient capacity without significant environmental degradation, the city may require the watercourse to be bridged or spanned.*

*(3) Easements. In the event that a development or any part thereof is traversed by any watercourse, channel, stream or creek, gulch or other natural drainage channel, adequate easements for storm drainage purposes shall be provided to the city. This does not imply maintenance by the city.*

*(4) Obstructions. Channel obstructions are not allowed, except as approved for the creation of a detention or retention facility. Fences with swing gates may be utilized.*

**Finding:** No watercourses are identified on the site. This finding is provided for informational purposes only. These criteria is not applicable.

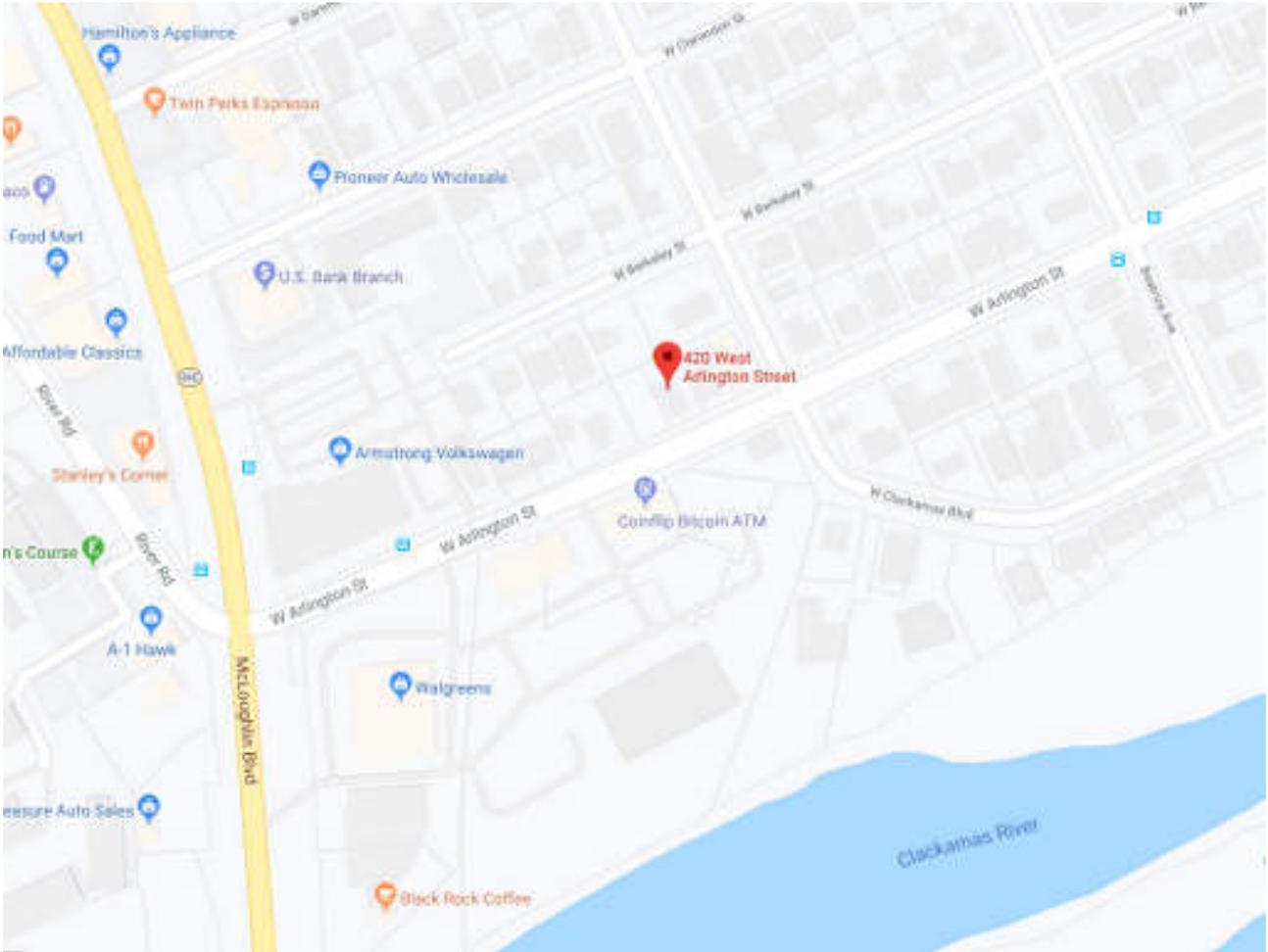
*(5) Surface Drainage and the Storm Sewer System.*

*(a) Stormwater treatment and detention facilities shall be designed and installed in accordance with criteria outlined in the Gladstone Public Works Design Standards and the Gladstone Public Works Standard Construction Specifications.*

*(b) The street cross-sections found in the Gladstone transportation system plan may be modified to accommodate alternative stormwater management methods subject to the approval of the Public Works Supervisor. The Public Works Supervisor may require modification of the typical cross section to accommodate alternative stormwater management methods when associated with development proposals. Such modifications may be applied as conditions of development approval.*

**Finding:** The applicant is proposing to address stormwater through grading that will collect the stormwater in two vegetated basins with sand filters, stormwater catch basins, and stormwater infrastructure. Approval from the Public Works Department is required through Special Condition 9. This criteria is met.

# EXHIBITS



**EXHIBIT 1**  
Location Map  
Z0425-19-D



**EXHIBIT 2**  
Aerial Image  
Z0425-19-D



**EXHIBIT 3**  
Exterior Renderings  
Z0425-19-D

*This document is being re-recorded to correct and replace that certain document recorded 9/24/19, # 2019-058585.*

### Parking Spaces Sharing Agreement

Party A: JOHN EDWARD MICHAEL PLATZ and TONG WU, owners of the property - see deed reference# 2018-65515.

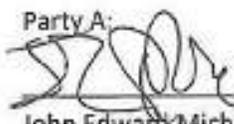
Party B: JOHN EDWARD MICHAEL PLATZ and TONG WU, owners of the property - see deed reference# 2018-65520.

Where as there are parking spaces available on Party A's property - see deed reference# 2018-65515; Where as Party B is building an office on its property - see deed reference# 2018-65520. It is required by Clackamas County to have certain number of parking spaces for the business on Party B's property described above and there are 5 parking spaces short according to the requirement;

Party A agrees to share 5 parking spaces with Party B in supporting Party B's business and both parties enter into the following Parking Spaces Sharing Agreement (hereinafter "this Agreement") which shall become effective on the date this Agreement is fully executed. This Agreement shall run with the land and shall be binding on both Party A and Party B and their heirs, successors, and assigns.

1. Party A will share 5 parking spaces on the back of the house with Party B during the business days between 8:30am to 5:00pm.
2. Party B shall be responsible for the maintenance of the parking spaces which shared with Party A.
3. This Agreement shall continue even if Party A or Party B sells its property unless it is terminated before that.
4. This Agreement will be binding with the properties unless both parties agreed to terminate it in writing, or violation of this Agreement by Party B.

This Agreement will be governed by the laws in the State of Oregon USA.

Party A:  
  
John Edward Michael Platz  
9-25-19  
Date

*Return to:  
Tong Wu*



**EXHIBIT 4**  
Shared Parking  
Agreement  
Z0425-19-D

Hi Joy,

Thank you for returning my phone call last Friday. Please see my responses to your email in **red** below.

Would you like me to submit hard copies of these revised sheets? If so how many sets would you like?

Please call with any questions.

Sincerely,

Richard



**Richard Barbis, AIA**  
Richard Barbis Architect, LLC

[RichardBarbisArchitect.com](http://RichardBarbisArchitect.com)  
(503) 970 - 0910

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From: Fields, Joy [mailto:JFields@cdackamas.us]  
Sent: Wednesday, September 25, 2019 11:06 AM  
To: Richard Barbis <richard@richardbarbisarchitect.com>  
Cc: asrivor@aol.com; 'Tong Wu' <wu\_tong@yahoo.com>  
Subject: RE: ICSB New Building Gladstone, OR

Good Morning,

Thank you for providing both hard copies and electronic copies of the ICSB building plans. I have reviewed the plans submitted and need some clarification on the following:

- o Lot lines – Neither AS1.1 nor C-1.0 label lot lines in the legend. The lot lines appear to be in the plans but without having them labeled it is hard to determine if they are in fact the lot lines. Could you please clearly label the lot lines? **Please see revised Site Plan Sheet AS1.1 for delineation of the lot lines.**
- o Lighting – Is there a plan for outside lighting? **Please see revised sheet A2.11 for proposed lighting affixed to the building to meet the Gladstone Municipal code requirement Section 17.64.020 (6) for 'parking and load area lighting' and 'pedestrian walkway lighting'. Electrical plans will be completed by a design build contractor for this req'd work.**
- o Bicycle Parking – Is required for new commercial developments per code Section 17.48.050. Is there a provision for the bicycle parking (minimum of 2 spaces)? Where will it be located? **Please see revised sheet AS1.1 for the addition of the bicycle parking.**
- o Transit stops – What is the relation of the subject property to nearby transit stops?
- o Noise Sources – Are there any potential sources of noise from this development? Where will the cooling equipment for cold storage area be located and will it be a source of noise? **There will not be any potential noise issues from this development. The cooling equipment will be a standard roof top mechanical package unit as used in the commercial development across the street but much, much smaller units will be used to accommodate our 2,000 square foot building.**
- o Climatic variables - Is there any solar potential for this new building? **The interior of the buildings main work area will have natural day lighting from (2) roof top skylights. Since the building is at an angle relative to the North/South direction, the two main elevations will be getting direct Southern exposure which will help to naturally heat the building in the winter months.**
- o Architectural details – Are there samples of the exterior building materials, or renderings of the view from the street? **See attached color renderings.**
- o Windows - On A2.0 are the #6 "aluminum storefront assembly" windows? **Yes, these are window. Please see note modification in the plans ON**

**EXHIBIT 5 page 1**  
Email: ICSB New  
Building Gladstone, OR  
Z0425-19-D

Page 16 of 17

sheet A2.D. What is the coverage area of the proposed windows? The proposed window coverage on the North side of the building is approximately 45% and the window coverage for the East side of the building is approximately 33%.

- Landscaping – What is the proposed site coverage (%) for the landscaping? The proposed landscape site coverage is 771 sq. ft., which equals 15% of the total 5,000 sq. ft. site area.
  - What are the current soil conditions? Were the plants chosen in relation to soil conditions? Our specification call for the plant beds to be excavated down to 18" and new topsoil placed in the proposed plant beds. The specified topsoil is a sandy loam that will provide the appropriate soil conditions for the selected plants.
  - Irrigation – Will there be an irrigation system for the landscaping? Where will that be located? Yes, there will be an irrigation system but it will be designed by a landscape contractor and submitted to the County for approval. The irrigation controller is to be located in Room 111 (Janitors Room). See architectural floor plans for location.
  - Is the maintenance plan for the landscaping? Below are the relevant sections that refer to maintenance requirements within our specifications. Once established the owner will oversee the maintenance.

**Part 3- General**

**1.9 MAINTENANCE SERVICE**

- A. Initial Maintenance Service for all plant materials: Provide maintenance by skilled employees of landscape installer. Maintain as required in Part 3. Begin maintenance immediately after plants are installed and continue until plantings are acceptably healthy and well established but for not less than maintenance period below.

Maintenance Period: Through approval of Final Completion.

**Part 3- Execution**

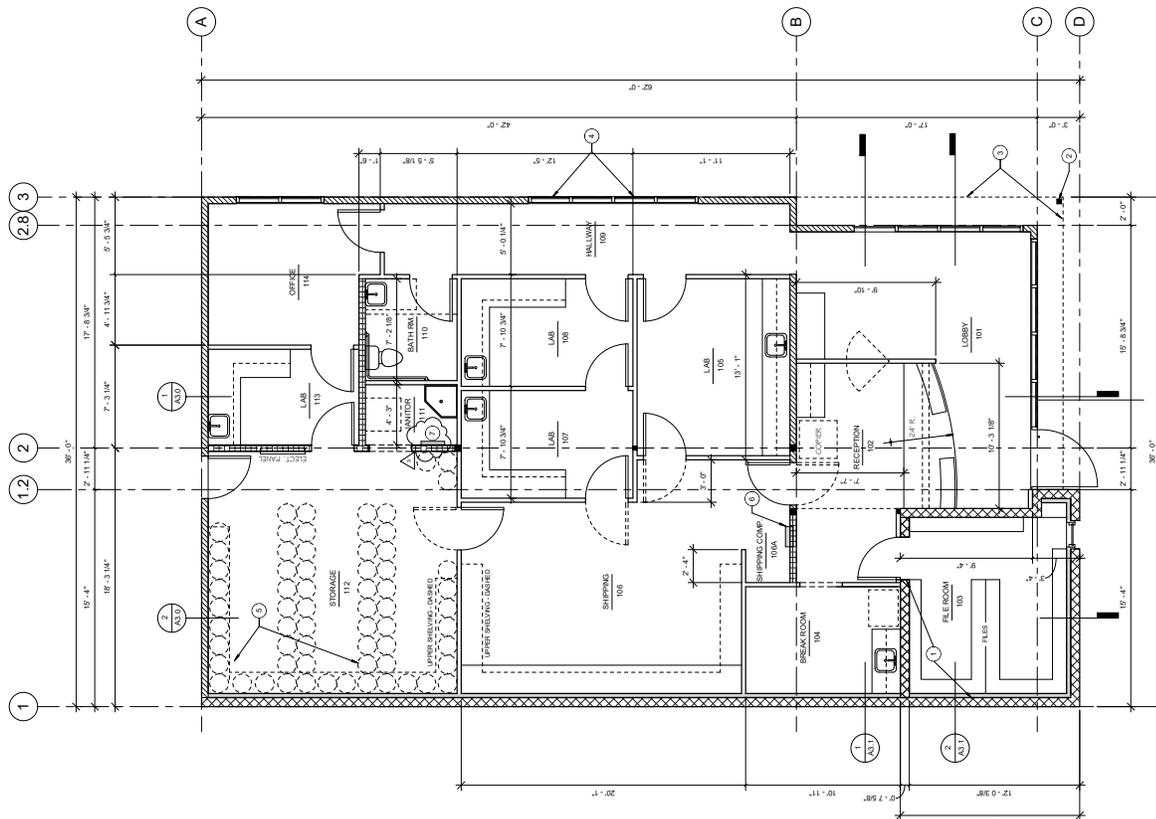
**3.10 PLANT MAINTENANCE**

- A. Maintain plantings by pruning, cultivating, watering, weeding, fertilizing, mulching, restoring tree mulch circles, resetting to proper grades or vertical position, and performing other operations as required to establish healthy, viable plantings. Spray or treat as required to keep trees and shrub areas free of insects, weeds and disease. Contractor shall be responsible for thorough removal of weeds, including roots during contract period until final acceptance for plant beds and lawns.
- B. Apply treatments as required to keep plant materials, planted areas, and soils free of pests and pathogens or disease. Use practices to minimize the use of pesticides and reduce hazards.
- C. Apply pesticides and other chemical products and biological control agents in accordance with authorities having jurisdiction and manufacturer's written recommendations. Coordinate applications with Owner's operations and others in proximity to the Work. Notify Owner before each application is performed.
- D. Protect plants from damage due to landscape operations and operations of other contractors and trades. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged plantings.
- *Prunus laurocerasus* is on the Gladstone Prohibited Plant list (beginning on page 45 of [Ordinance 1333](#)). Please replace with an allowable shrub species. - *Prunus laurocerasus* has been replaced. See (A-1, Addendum 1 for updated plant material.
- Signs – Are there any signs proposed for the site (on the building or freestanding)? See exterior elevations.

**EXHIBIT 5 page 2**  
Email: ICSB New  
Building Gladstone, OR  
Z0425-19-D



REVISIONS DATE	DELTA #
09/27/2019	1



Legend #	Description
1	2 X 6 EXTERIOR STUD WALL
2	8" ODU WALL W/ 2X4 STUD WALL ON INTERIOR SIDE
3	8" ODU WALL
4	2 X 4 STUD WALL
5	2 X 4 PRESSURE TREATED STUD WALL @ ODU WALL
6	2 X 6 INTERIOR STUD WALL

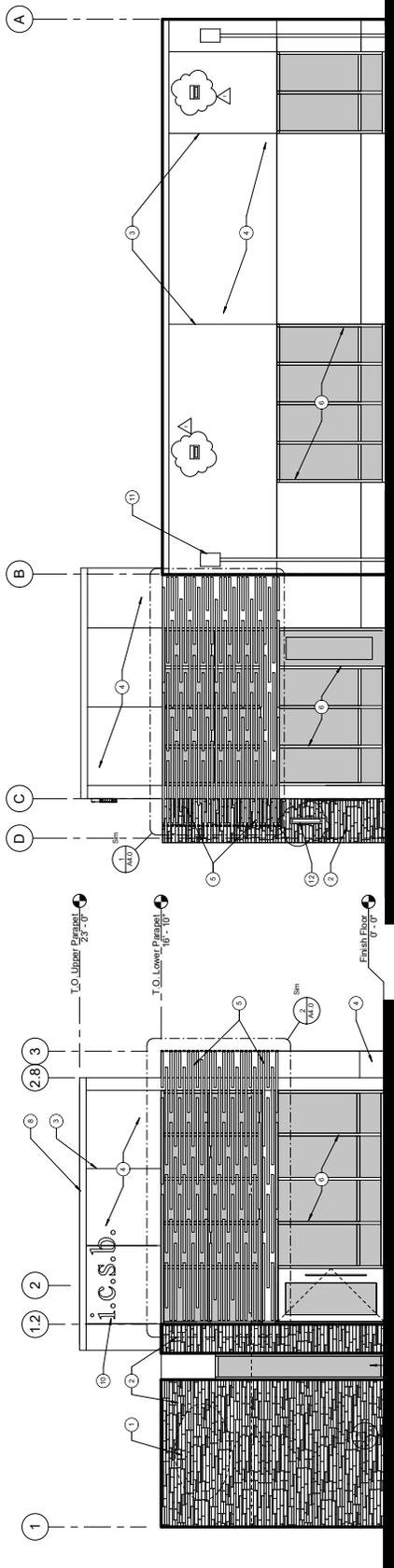
WALL LEGEND:

- 1 2 X 6 EXTERIOR STUD WALL
- 2 8" ODU WALL W/ 2X4 STUD WALL ON INTERIOR SIDE
- 3 8" ODU WALL
- 4 2 X 4 STUD WALL
- 5 2 X 4 PRESSURE TREATED STUD WALL @ ODU WALL
- 6 2 X 6 INTERIOR STUD WALL

FIRST FLOOR PLAN 1  
1/4" = 1'-0"



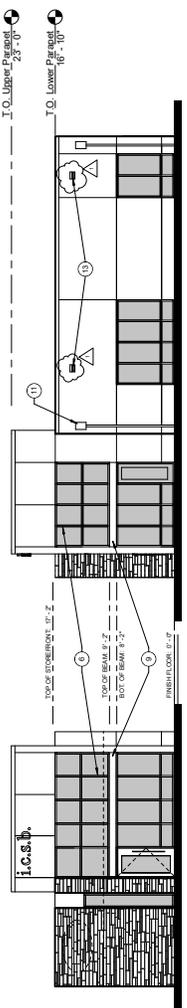
REVISIONS DATE	DELTA #
09/17/2019	Δ



SOUTH EXTERIOR ELEVATION 1  
1/4" = 1'-0"

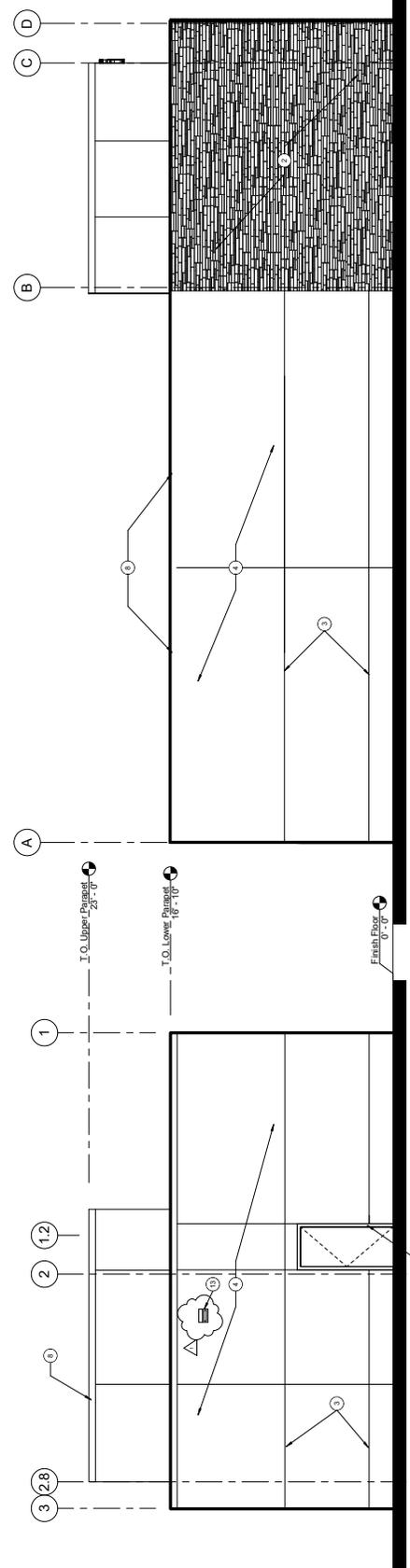
EAST EXTERIOR ELEVATION 2  
1/4" = 1'-0"

REVISION #	DESCRIPTION
1	REVISION TO WINDOW SCHEDULE FOR CORRECTION OF WINDOW SCHEDULE
2	REVISION TO WINDOW SCHEDULE FOR CORRECTION OF WINDOW SCHEDULE
3	REVISION TO WINDOW SCHEDULE FOR CORRECTION OF WINDOW SCHEDULE
4	REVISION TO WINDOW SCHEDULE FOR CORRECTION OF WINDOW SCHEDULE
5	REVISION TO WINDOW SCHEDULE FOR CORRECTION OF WINDOW SCHEDULE
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9	REVISION TO WINDOW SCHEDULE FOR CORRECTION OF WINDOW SCHEDULE
10	REVISION TO WINDOW SCHEDULE FOR CORRECTION OF WINDOW SCHEDULE
11	REVISION TO WINDOW SCHEDULE FOR CORRECTION OF WINDOW SCHEDULE
12	REVISION TO WINDOW SCHEDULE FOR CORRECTION OF WINDOW SCHEDULE
13	REVISION TO WINDOW SCHEDULE FOR CORRECTION OF WINDOW SCHEDULE



SOUTH ELEV. w/out SCREEN 5  
1/8" = 1'-0"

EAST ELEVATION w/out SCREEN 6  
1/8" = 1'-0"



NORTH EXTERIOR ELEVATION 3  
1/4" = 1'-0"

WEST EXTERIOR ELEVATION 4  
1/4" = 1'-0"



**RICHARD BAREIS ARCHITECT, LLC**  
 10700 NE WILSON AVENUE, PORTLAND, OREGON 97229  
 PHONE: 503.251.1000

**ICSB NEW BUILDING**  
 GLADSTONE, OREGON

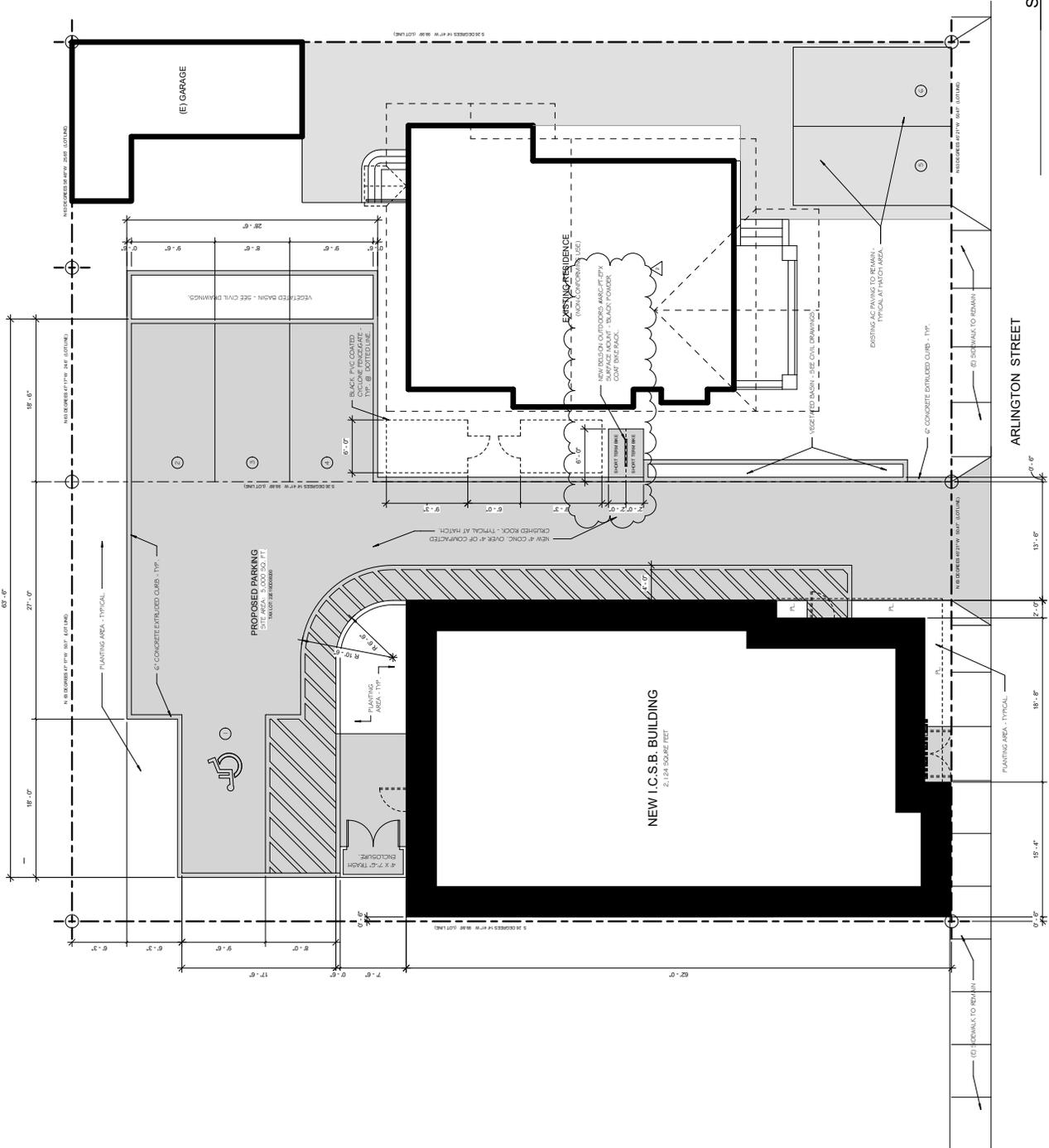


03 October 2019

REVISIONS DATE	DELTA #
09/12/2019	1

Author

**AS1.1**



Site Plan 1  
 3/16" = 1'-0"









REV.	DATE	NOTE
1	12-14-15	ISSUE FOR PERMITS
2	12-16-15	ISSUE FOR PERMITS
3	12-16-15	ISSUE FOR PERMITS
4	12-16-15	ISSUE FOR PERMITS
5	12-16-15	ISSUE FOR PERMITS
6	12-16-15	ISSUE FOR PERMITS
7	12-16-15	ISSUE FOR PERMITS
8	12-16-15	ISSUE FOR PERMITS
9	12-16-15	ISSUE FOR PERMITS
10	12-16-15	ISSUE FOR PERMITS

**IMPROVEMENT PLANS**  
FOR  
**I.C.S.B.**  
420 WEST ARLINGTON STREET, GLADSTONE, OR. 97027  
ASSESSOR'S MAP NO. 22E19BD TAX LOT No. 8200 & 8300

PROJECT NO. 4711  
DRAWN BY: FE  
CHECKED BY: MJK  
CADD DRAWING: 2711-CON-000

**POAGE ENGINEERING & SURVEYING INC.**  
P.O. BOX 2827  
BOZEMAN, OREGON 97026  
(503) 686-4585

SHEET TITLE  
**CONSTRUCTION DETAILS**

SHEET NO.  
**C-2.1**

