

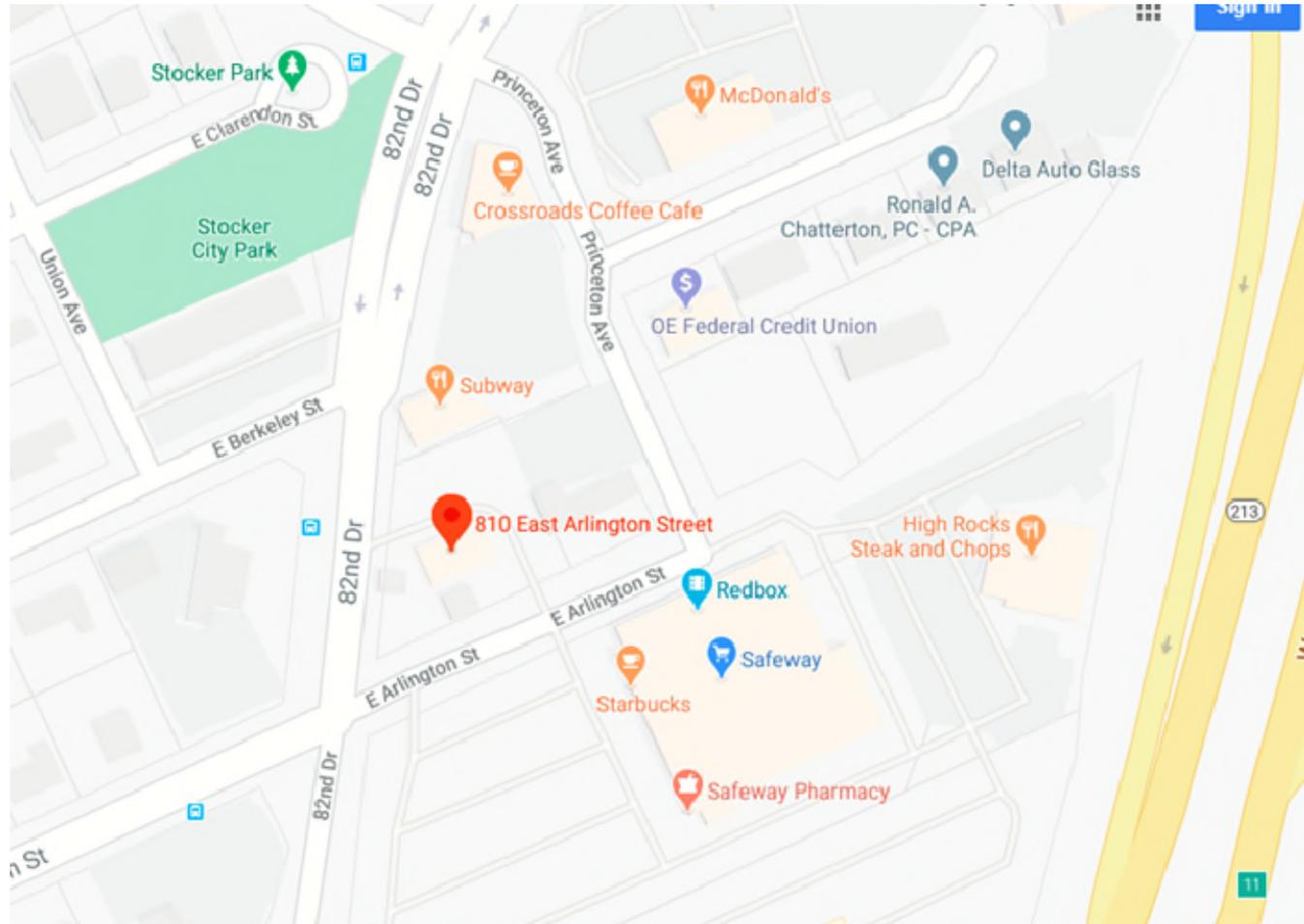


MAY 2020 PLANNING COMMISSION MEETING

Agenda Item No. 3

Design Review Application No. Z0018-20-D

Project Location: Existing gas station at 810 E. Arlington Street



Proposed Project: Remodel existing 1,838 sq. foot building to meet code, ADA requirements, and change exterior. Proposal includes site development with the addition of a trash enclosure, bottle storage room, new fuel tanks, and increased paving for vehicular circulation and parking.

Project Site

- **Zoning Designation:** C3
- **Comprehensive Plan Designation:** General Commercial District
- **Property size:** 0.51 acres



Property is not subject to any environmental overlays

Existing Fence to be removed, replaced with parking and landscaping	Existing Building to be remodeled	Existing Fuel Canopies to remain
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Public Noticing:

- Sent to the applicant, the owner of the subject property and owners of record as identified on the most recent Clackamas County property tax assessment roll of property located within two hundred fifty (250) feet of the subject property.
- City of Gladstone, Public Works, Gladstone Fire, Gladstone PD, Engineering, WES Tri-City

Comments Received:

Public Works, Fire and Wes Tri-City provided comments that were incorporated into the Special Conditions

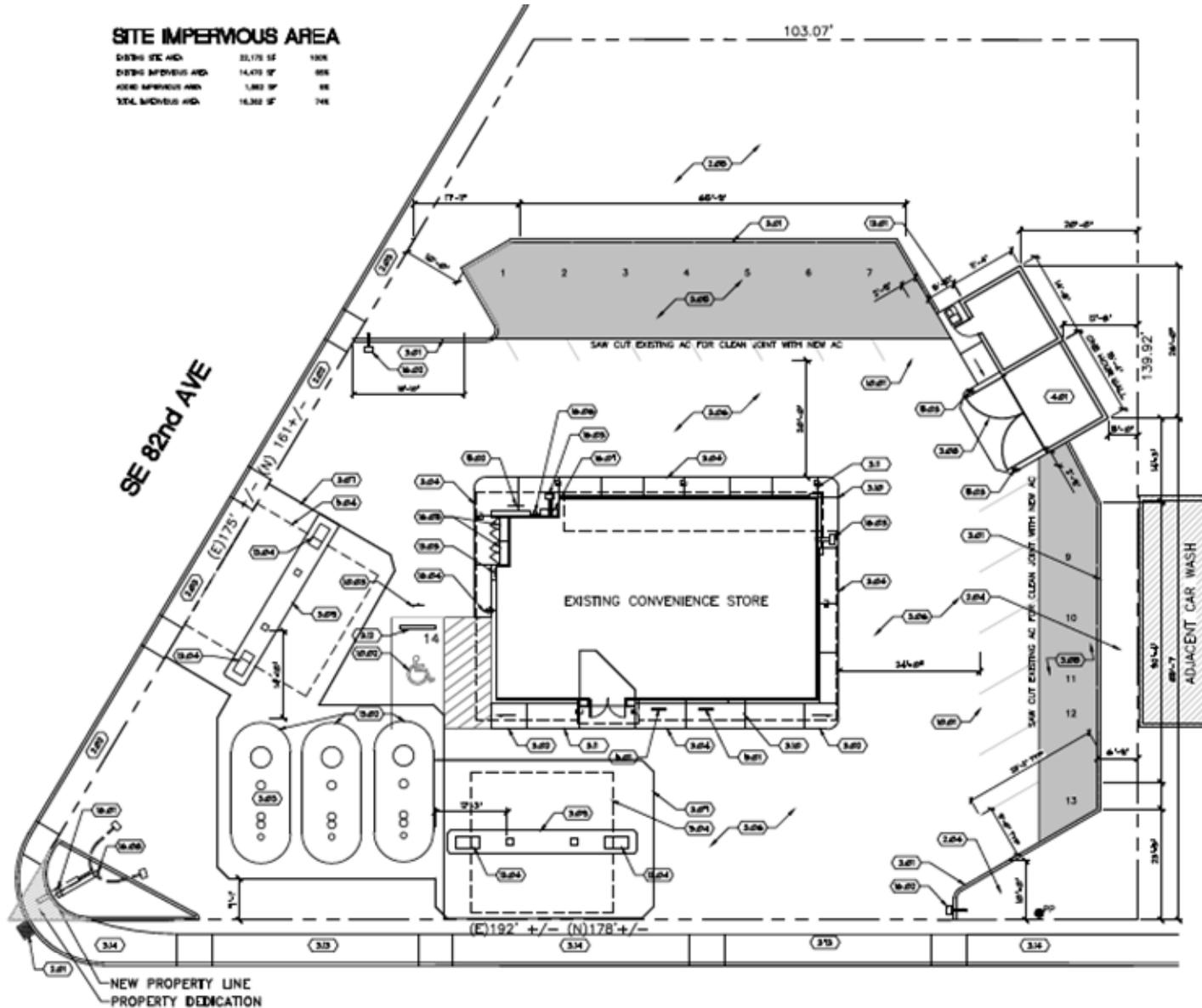
Rendering of proposed building

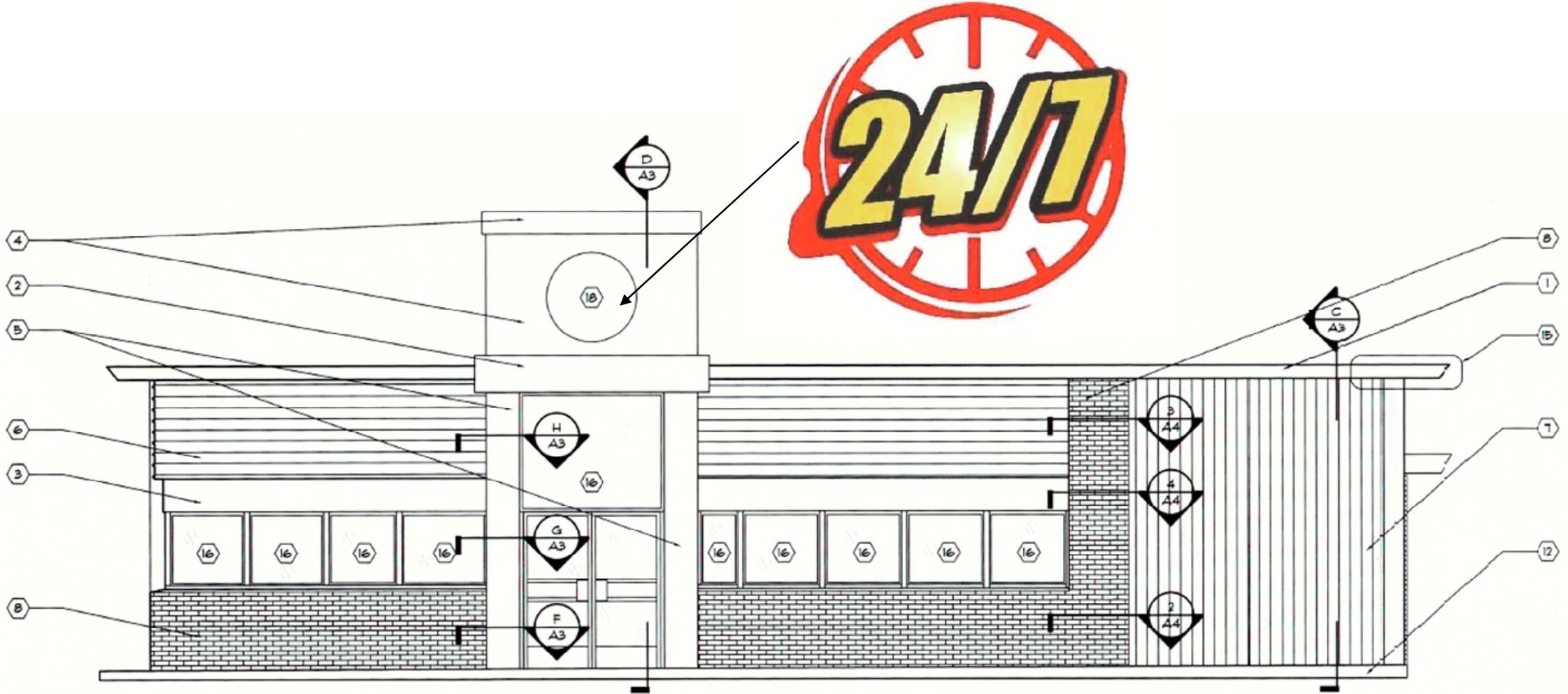
- A gas station and convenience store currently exists on the subject property. Sanitary sewer, water, and sidewalks are in place. Storm sewer needs improvements to meet state standards.
- Installation of approximately 6,810 square feet of landscape area covering 26% of the site.
- Proposed building design is compliant with the code
- Proposed building materials must be approved by the Planning Commission

Exterior building southeast perspective



Proposed Site Plan





1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

Staff Recommendation

Planning staff is recommending approval of the proposed project with five (5) standard conditions and twelve (12) special conditions of approval:

III. SPECIAL CONDITIONS.....

- 1. Lighting.....
- 2. Parking.....
- 3. Signage.....
- 4. Building Materials.....
- 5. ADA Access and Sidewalks.....
- 6. Right-of-way.....
- 7. Sanitary Sewer.....
- 8. Water.....
- 9. Final Occupancy.....
- 10. Construction Plan Approval and Pre-construction Conference.....
- 11. Design Review Plans.....
- 12. Endangered Species Act.....

IV NOTES:.....

- 1. Storm Drainage.....
- 2. Erosion Control.....
- 3. Building Permits.....

IV. FINDINGS

- A. PROJECT LOCATION AND PROPOSED DEVELOPMENT
- B. DESIGN REVIEW CONSISTENCY FINDINGS



Staff Recommendation

The staff recommends that the Commission adopt the following resolution:

Motion:

*I move that the Commission **approve** Design Review Z0018-20-D with approval of the building materials, an exception to the parking standards to allow a total of 14 parking spaces and conditions, pursuant to the staff recommendation.*

Staff recommends a **YES** vote. Passage of this motion will result in approval of the Design Review land use application as conditioned. The motion passes only by affirmative vote of a majority of the Commissioners present.

Resolution:

The Planning Commission is authorized to approve applications pursuant to Subsection 17.94.060(2)(c) of the GMC. The Commission hereby approves a Design Review land use permit for the proposed site development at 810 E. Arlington St and adopts the findings set forth below on grounds that the development, as conditioned, will be in conformity with the policies of Title 17 of the Zoning Ordinance.