



**GLADSTONE PLANNING COMMISSION REGULAR AGENDA
GLADSTONE CIVIC CENTER, 18505 PORTLAND AVENUE
Tuesday, December 20, 2022 – 6:30 p.m.**

The City of Gladstone is abiding by guidelines set forth in House Bill 2560, which requires the governing body of the public body, to extent reasonably possible, to make all meetings accessible remotely through technological means and provide opportunity for members of general public to remotely submit oral and written testimony during meetings to extent in-person oral and written testimony is allowed. Therefore, this meeting will be open to the public both in person and virtually using the Zoom platform.

Please click the link below to join the webinar:

<https://us06web.zoom.us/j/81264443698?pwd=UGYzSVhLbjU2VHhtWVc4U0JLR2tNZz09>

Passcode: 557911

Or One tap mobile :

US: +13462487799,,81264443698#,,,,*557911# or +16694449171,,81264443698#,,,,*557911#

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US: +1 346 248 7799 or +1 669 444 9171 or +1 719 359 4580 or +1 720 707 2699 or +1 253 205 0468 or +1 253 215 8782 or +1 309 205 3325 or +1 312 626 6799 or +1 360 209 5623 or +1 386 347 5053 or +1 507 473 4847 or +1 564 217 2000 or +1 646 558 8656 or +1 646 931 3860 or +1 689 278 1000 or +1 301 715 8592 or +1 305 224 1968

Webinar ID: 812 6444 3698

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If members of the public would like to comment on an agenda item (either virtually or in person) please email your comments to bannick@ci.gladstone.or.us prior to 12:00 p.m. (noon) on December 20, 2022.

The Planning Commission will also have *Business from the Audience* at the end of the meeting. To speak during this time, (either virtually or in person) please email bannick@ci.gladstone.or.us prior to 12:00 p.m. (noon) on December 20, 2022 with your name, topic of discussion and city of residence.

(Zoom participant speaking instructions will be emailed to persons who request to speak and posted on the city's website)

6:30 P.M. CALL TO ORDER

ROLL CALL

FLAG SALUTE

CONSENT AGENDA

All items listed below are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items unless a commission member or person in the audience requests specific items be

removed from the Consent Agenda for discussion prior to the time the commission votes on the motion to adopt the Consent Agenda.

1. Approval of November 15, 2022 Meeting Minutes

REGULAR AGENDA

2. Monthly Planning Report – November 2022
3. **PUBLIC HEARING:** File Z0466-22-D, Proposed Expansion of Floor Area to Include a Previously Open Area Under the Same Roof and Change of Use, 19900 McLoughlin Blvd, Edward Radulescu/EPR Design LLC
4. **PUBLIC HEARING:** File Z0500-22-C, Proposed Upgrade to Existing Resource Recovery Pump Station with New Equipment and Some Extremal Improvements, 397 W Clackamas Blvd, Jessica Rinner, Clackamas Water Environment Services (WES)

BUSINESS FROM THE PUBLIC - Visitors: This is an opportunity for members of the audience to bring to the Commission's attention any item not otherwise listed on the Agenda. Comments will be limited to three (3) minutes per person. Speakers may not yield their time to others and must fill out a speaker card available in the back of the room prior to making a comment.

BUSINESS FROM THE PLANNING COMMISSION

ADJOURN

MEETING ACCESSIBILITY SERVICES AND AMERICANS WITH DISABILITIES ACT (ADA) NOTICE

The Civic Center is ADA accessible. Hearing devices may be requested from the City Recorder at least 48 hours prior to the meeting. Individuals requiring other assistance must make their request know 48 hours preceding the meeting by contacting the City Recorder at bannick@ci.gladstone.or.us. Staff will do their best to respond in a timely manner and to accommodate requests.

December

CONSENT AGENDA

GLADSTONE PLANNING COMMISSION MEETING MINUTES OF NOVEMBER 15, 2022

Meeting was called to order at 6:30 P.M. (In Person and via Zoom)

ROLL CALL:

Chair Natalie Smith, Commissioner Pat Smith, Commissioner Michael Milch, Commissioner Andrew Labonte, Commissioner Thomas Mersereau, Commissioner Andriel Langston, Commissioner Jennifer Volbeda

ABSENT:

None

STAFF:

Jacque Betz, City Administrator; Heather Austin, Senior Planner; John Pheanis, Project Manager with MIG; Keegan Gulick, Consultant from MIG; John Southgate, Consultant; Tami Bannick, City Recorder

Ms. Betz introduced the new Senior Planner, Heather Austin. She will officially become the primary planner for Gladstone in January. Ms. Betz gave some history/background on Ms. Austin. She has over twenty years of experience in land use planning and community development.

CONSENT AGENDA:

1. APPROVAL OF OCTOBER 18, 2022 MEETING MINUTES

Commissioner Langston made a motion to approve the Consent Agenda. Motion was seconded by Commissioner Pat Smith. Ms. Bannick took a roll call vote: Commissioner Langston – yes. Commissioner Milch – yes. Commissioner Labonte - yes. Commissioner Pat Smith – yes. Commissioner Mersereau – yes. Commissioner Volbeda – yes. Chair Smith – yes. Motion passed with a unanimous vote.

REGULAR AGENDA:

2. MONTHLY PLANNING REPORT – OCTOBER, 2022:

In October they had three members of the public come to the customer service counter, responded to approximately 45 phone calls/emails, reviewed two building permits with land use reviews, and one pre-application conference.

3. CONTINUED PUBLIC HEARING: FILE TXT-2022-2, PROPOSED AMENDMENTS TO THE C-2 ZONING DISTRICT AND NEW DOWNTOWN OVERLAY PLAN:

Chair Smith re-opened the public hearing at approximately 6:36.

Mr. Pheanis of MIG introduced himself – he is with the consulting team helping the City with this piece of the Municipal Code. He recapped what they went over at the July meeting. The changes they have made are reflected in the packet. He introduced another MIG consultant, Keegan Gulick. They gave a presentation regarding the background/changes. A lot of the changes came from recommendations made in the Downtown Revitalization Plan that was adopted in 2017. The other purpose was to create more opportunities for housing – the City recently updated its zoning code to allow for middle housing. They went over the process that was involved (studies, open house, etc.). They went through the proposed changes/amendments (building height, parking, setbacks, etc.) (included in the packet).

PUBLIC TESTIMONY:

Duane Cady said that John Southgate has been very helpful in answering all of his questions. He recently took possession of a building at 291 Portland Avenue. The building is in compliance with the codes that were in existence in the 1970's, but he has read that the City intends to bring out the sidewalks up to 19

feet. He asked if that includes both sides of the street, or just one side. The other concern he has is in regard to 17.18.050, subsection 1 – currently drive-through is permitted in parking lots but the new code would prohibit that. He is seeking some assurance in writing that if the City does bring out the curb/sidewalks or tear up the sidewalks those curb cuts will be reinstalled so that they will have access to the parking lot.

Mr. Southgate said this would be more of a Public Works question than a zoning question. He feels that the City would work with the property owners on curb cuts if/when the Portland Avenue project is undertaken. Ms. Betz agreed, but she will need to consult with Public Works. Mr. Cady asked when he could expect an answer – Ms. Betz said this will be going before City Council on December 13th, so it would be prior to that time.

Bob Everett had requested to speak but was not in attendance. (He arrived later but declined to speak).

Ray Fletcher, 140 W. Arlington, said he is all for the proposed changes. He would like to put in food carts. He asked if they would be grandfathered in on the setbacks. They would like to get started on the demo of the current building. Mr. Southgate suggested they have a Zoom meeting with himself and Ms. Fields to go over the proposed project and the codes that would effect it. Ms. Betz agreed with that idea and said if the City Council approves this it will take 30 days for it to go into effect – so that would be mid-January.

Terry Marsh said his family owns the property on the corner of Arlington/Portland Avenue. He said the Planning Commission is on the right track. He said going through the process and experiencing the circumstances under the old code was very problematic. He said they were considering a multi-level building with retail space on the bottom floor, office space on the second floor, and residential space on the third floor. The cost benefit analysis on it came to a halt when they discovered that approximately half of the property had to be used up with either landscaping or off-street parking. He thanked them for the changes they are considering now because this makes a project like that much more “photographic”. He and his family completely support what they are doing here.

Mr. Southgate said they have received inquiries from people who own property outside of the proposed boundary. The boundary has been expanded/widened, but it still terminates at Exeter. He suggested that those property owners be patient. He said the boundary can change in the future. Mr. Pheanis said they have discussed the potential of expanding the overlay district boundary further – the Downtown Revitalization Plan was specific on keeping the boundary very compact. He went over the process that would be involved.

Chair Smith asked if any of the Commissioners wanted to declare any conflicts of interest – none did.

Commissioner Pat Smith had a question regarding page 3-8, bottom section, pertaining to reducing off-street parking. He brought up a recent scenario where an existing property had to extend parking because of people sharing an apartment and both had cars – the decision was made on a parking utilization study from 2008 and anecdotal evidence. He asked how they were weighted in making that decision. Mr. Pheanis said the impetus comes from the Downtown Plan and that the study was part of what they used for that information. He referred to the information contained in the memo and rules they have to follow. He said cities like Gladstone have to eliminate minimum parking standards for any areas of the City that are within a half-mile of a frequent transit line (this includes McLoughlin Boulevard/Tri-Met route 33). They are proposing to meet the new State rules by updating the zoning codes.

Commissioner Milch said the new rules will apply to virtually all of the C-2 zone. They will allow any developer to have as much parking as the code would currently allow in excess of the minimum.

Commissioner Labonte said something that isn't included in the pictures are the power lines, which are unsightly. He is concerned about kids riding bikes when there is less parking. He believes that a lower building height is good. He feels that this type of zone is best served on a better transportation route closer to the highways. He would be more in favor of the original plan (40-foot maximum building height) because they can always change that in the future. They have done their due diligence. Mr. Southgate shared the concern regarding power lines. If individual developments were required to install underground utilities that would probably be cost prohibitive. He thinks the logical time to tackle that issue is if/when Portland Avenue is redone. They could possibly have PGE share the costs.

Commissioner Pat Smith made a motion to close the public hearing. Motion was seconded by Commissioner Langston. Ms. Bannick took a roll call vote: Commissioner Milch – yes. Commissioner Labonte – yes. Commissioner Pat Smith – yes. Commissioner Mersereau – yes. Commissioner Volbeda – yes. Commissioner Langston – yes. Chair Smith – yes. Motion passed with a unanimous vote.

The public hearing was closed.

DISCUSSION:

Commissioner Mersereau said he feels that parking reduction is a good goal. He said that increasing the height of buildings increases the need for parking. He said parking needs to be considered and they need to have options to decide how to deal with it. Mr. Southgate said his understanding is that the State law says that within this area (within ½ mile of McLoughlin Boulevard) cities cannot require parking under the new climate-friendly rules. The City cannot impose parking minimums. He said in cities that eliminated their parking requirements the impacts were not as dramatic as one might fear. There was further discussion regarding other areas that have done this. Commissioner Milch talked about the “unbundling” strategy – separating the cost of parking and the cost of rent.

Commissioner Pat Smith asked Ms. Betz to speak about the City putting in a public parking lot in the Downtown area (Page 3-9). She said this was from the previous strategies. She said that once the new library is built the old library site is City-owned and the Council will need to make decisions on what they want to do with that property. There have been conversations about making that a public parking lot.

Commissioner Volbeda said she is in favor of the 50-foot building height. With three stories, the first floor having to be retail and two floors of residential, it is very difficult to do. She feels that the 50-foot height/four stories allows more opportunity to liven up the downtown corridor and also bringing more housing to the City.

Commissioner Mersereau said if we want Gladstone business opportunity to grow we need to consider how parking can effect that. He suggested having options for parking no matter what the rules are. If they don't do this is the beginning it will bite them in the tail in the end and cost considerably more money.

Commissioner Labonte asked what the other Commissioners thought about the extension of the overlay. Commissioner Mersereau said the plan is good and gives them the option to expand north and/or sideways. Commissioner Labonte asked why they are so eager to have bigger buildings and make drastic changes. He is afraid they are getting ahead of themselves. He said they need to think what would happen if the County decides to have Portland Avenue connect to Jennings Avenue in the future if there is more traffic. Commissioner Pat Smith is generally in favor of the proposal. Whatever they do today isn't going to be implemented tomorrow. They need to have something in place that's workable for the administration of the City for years to come. Chair Smith likes the way Milwaukie has handled their downtown area – it still feels like a small town. Commissioner Volbeda is in favor. She feels this is a great step forward. Commissioner Milch is in favor of extending the boundaries east and west in the downtown area. Gladstone has the ability to set its own rules and make possible the kinds of development they hope could happen to expand the tax base, make it more walkable, and make downtown more vibrant. A community that doesn't build and grow will not thrive. One of his goals is to see economic development throughout

the region. They need to look at more creative ways to deal with the parking situation (shuttle buses, paid parking lots, etc.). Commission Langston is in favor of expanding the overlay.

Commissioner Milch made a motion that the Planning Commission recommend to the City Council adoption of the proposed amendments to the C-2 Zoning Ordinance that are contained in Appendix B of tonight's agenda, File TXT-2022-2. Motion was seconded by Commissioner Langston. Ms. Bannick took a roll call vote: Commissioner Volbeda – yes. Commissioner Mersereau – yes. Commissioner Pat Smith – yes. Commissioner Labonte – no. Commissioner Milch – yes. Commissioner Langston – yes. Chair Smith – yes. Motion passed (6-1).

BUSINESS FROM THE PUBLIC:

None.

BUSINESS FROM THE PLANNING COMMISSION:

Commissioner Milch:

He said he will be leaving the Planning Commission at the end of December to pursue a new leadership opportunity in the City. He thanked everyone who supported his campaign. He is excited about the opportunity and grateful for the exchanges they've had in this setting over the years. This is where the City looks ahead and thinks about what it can be and what it can become. He looks forward to working with the Planning Commission in the future.

Commissioner Labonte:

He knows they have a plan for an emergency water tank in Gladstone in the Nature Park and that is the only planned location. He would like to have a discussion about the possibility of a Plan B and other options for where that tank could go.

Chair Smith:

She appreciates Commissioner Milch's leadership as Chair for two years and congratulated him on his election. She is hoping that Commissioner Langston will lead the December meeting.

ADJOURN:

Commissioner Pat Smith made a motion to adjourn the meeting. Motion was seconded by Commissioner Langston. Ms. Bannick took a roll call vote: Commissioner Langston – yes. Commissioner Milch – yes. Commissioner Labonte – yes. Commissioner Pat Smith – yes. Commissioner Mersereau – yes. Commissioner Volbeda – yes. Chair Smith – yes. Motion passed with a unanimous vote.

Meeting was adjourned at approximately 8:08 P.M.

Minutes approved by the Planning Commission this _____ day of _____, 2022.

Natalie Smith, Chair

December

REGULAR AGENDA



City of Gladstone Monthly Planning Report November 2022

PUBLIC CONTACTS/PLANNING ACTIONS

CUSTOMER CONTACT/ Planning Actions	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Oct	Nov	Dec	YEAR TOTALS
Customer Service Counter Contacts	1	2	1	1	0	3	2	1	1	3	4		19
Customer phone/email Contacts	47	67	52	68	64	70	38	75	39	45	66		631
Building Permits with Land Use Review	4	4	6	11	1	4	6	2	2	2	3		42
Pre-application Conferences	1	0	0	0	0	0	0	1	1	1	0		4
Administrative Decisions	0	1	1	1	0	1	0	1	1	0	0		6

PLANNING COMMISSION ACTIONS/DECISIONS

- Recommended City Council consider and approve the Downtown Overlay and C-2 amendments in TXT-2022-02

CITY COUNCIL LAND USE ACTIONS/DECISIONS

- None

PRE-APPLICATION CONFERENCES

- None

ADMINISTRATIVE PERMITS

- None

BUILDING PERMITS WITH LAND USE REVIEW

NOVEMBER			
Date	Address	Building Permit #	Description
11/01/22	430 E FAIRFIELD ST	B0655022	Patio Cover Replacement
11/01/22	7170 MONTE VERDE DR	B0660222	Fire Damage Repair
11/18/22	17380 LUNDGREN WAY	B0694622	Interior Remodel

FUTURE ITEMS/PROPERTY UPDATES

Date	Topic
TBD	Two lot partition with a flag lot

December

REGULAR AGENDA



December 2022 Planning Commission Meeting

Agenda Item No. 3

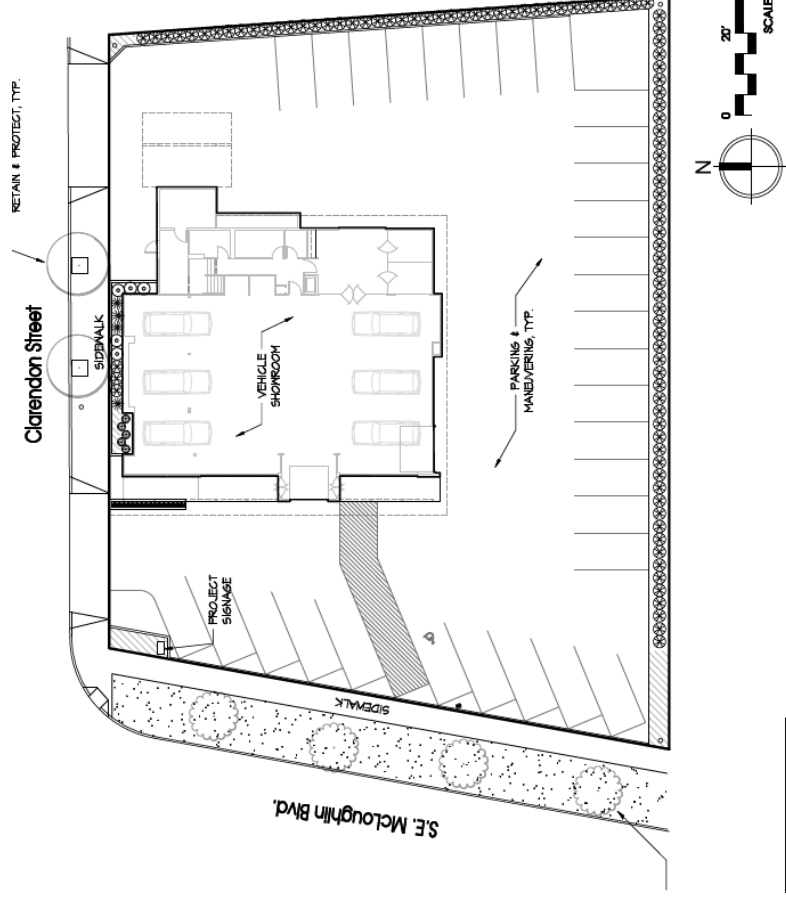
Design Review- 19900 McLoughlin Blvd

Public Hearing

Slide 2

- Project overview
- Design Review
 - Key Findings for change of use and 92 square foot addition
- Next steps

3 - 2



Project Location: 19900 McLoughlin Blvd.

Proposed Project:

Construction of 92 square feet of showroom and site development. As proposed, the use of the building will change from a bank to a motor vehicle showroom and sales office with an addition of 92 square feet under the existing roof.



Project Site

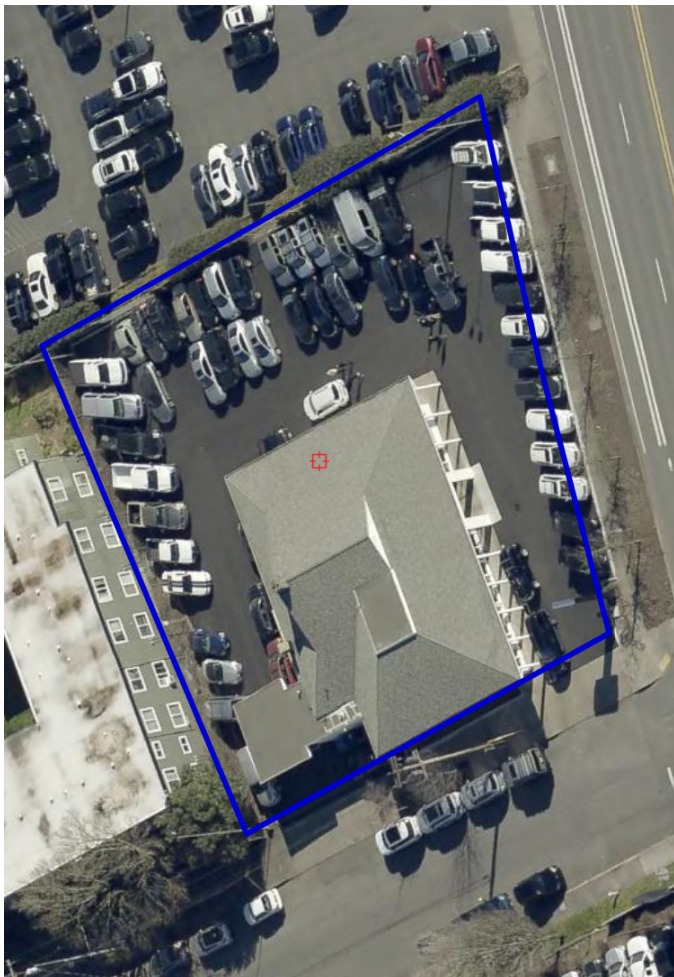
- **Zoning Designation:** C-3 General Commercial
- **Comprehensive Plan Designation:** Commercial
- **Property size:** 0.52 acres



The site is not subject to any environmental overlays.

Proposed Plan:

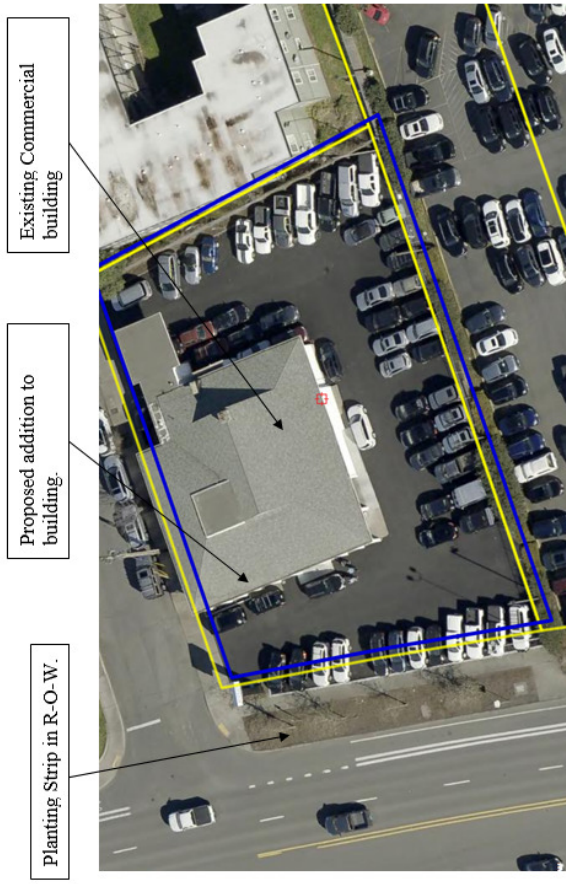
- Change of use from bank to automobile sales and office
- Design review for addition to showroom



Public Noticing:

- Sent to the applicant, the owner of the subject property and owners of record as identified on the most recent Clackamas County property tax assessment roll of property located within two hundred fifty (250) feet of the subject property.
- City of Gladstone, Public Works, Gladstone Fire, Gladstone PD, Engineering, WES

3 - 5



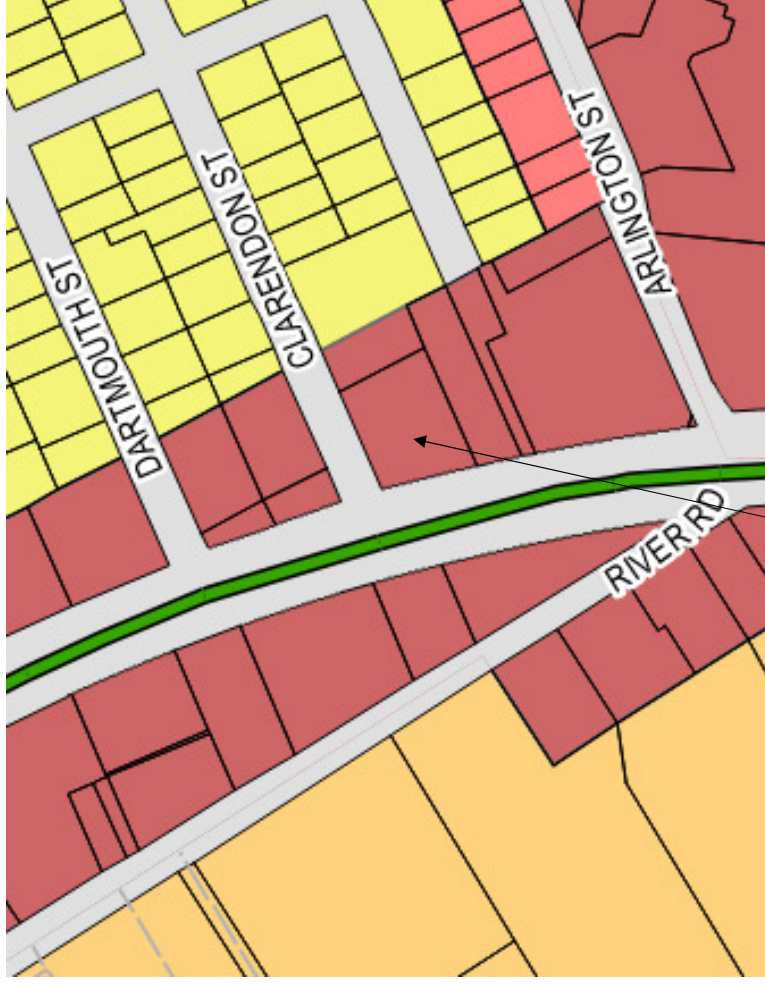
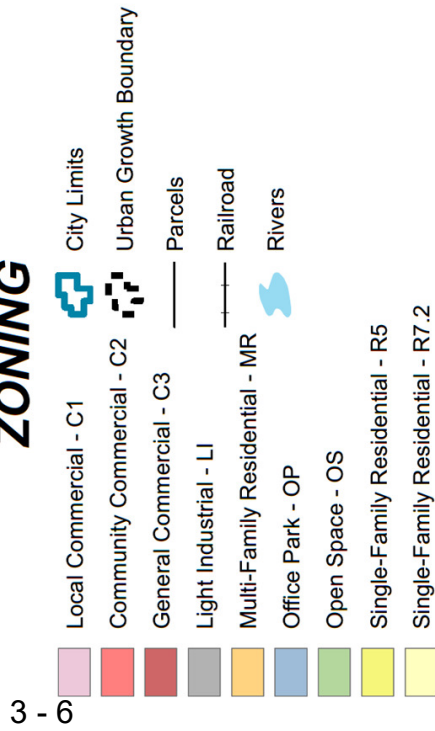
No Public Comments Received

December 20, 2022

Z0466-22-D

Current Zoning Map- Excerpt showing C-3 Zoning District along SE McLoughlin Blvd

CITY OF GLADSTONE ZONING



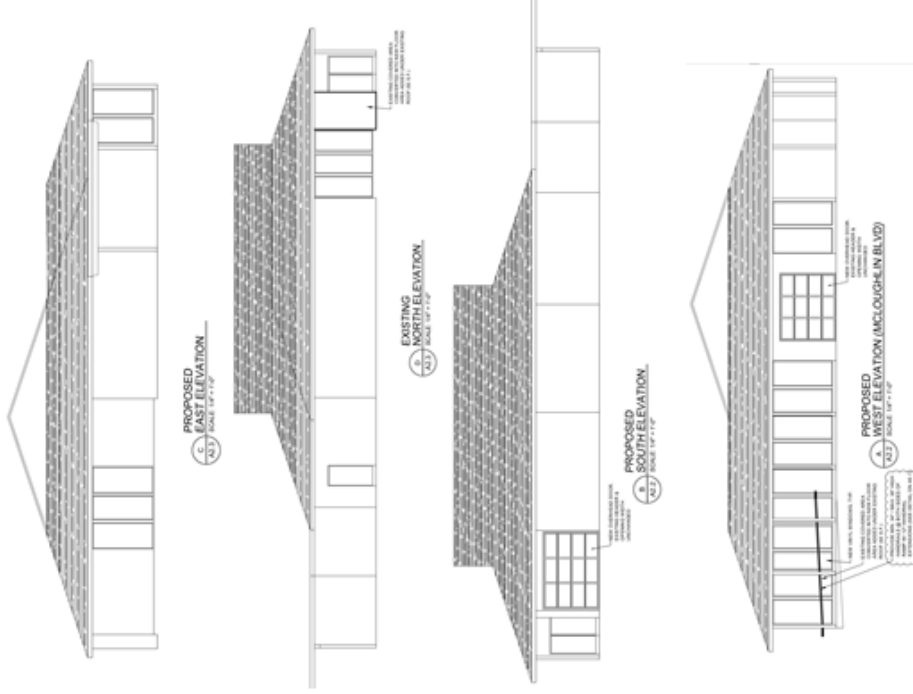
Subject Property



Section 17.18.020 Uses Allowed Outright (C-3)

(1) Automobile service station, car wash or repair garage, body and fender paint shop, sales of new and used vehicles.

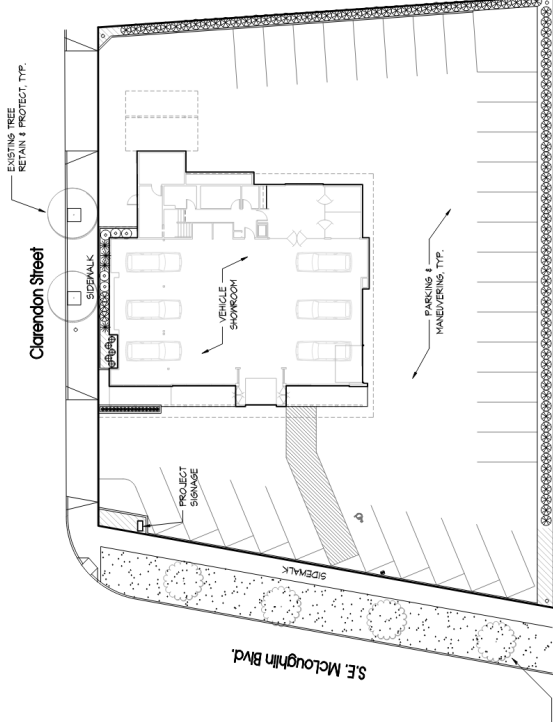
3 - 7



Section 17.80 DESIGN REVIEW

DIVISION IV. DEVELOPMENT STANDARDS

- 17.42 General Provisions
- 17.44 Building Siting and Design
- 17.46 Landscaping
- 17.48 Off-Street Parking and Loading
- 17.50 Vehicular and Pedestrian Circulation
- 17.52 Signs
- 17.53 Billboards
- 17.54 Clear Vision
- 17.56 Drainage
- 17.58 Grading and Fill
- 17.60 Utilities
- 17.61 Wireless Communications Facilities
- 17.62 Special Uses
- 17.64 Design Standards for Land Divisions and Property Line Adjustments



RECOMMENDATION

The Gladstone Planning Staff are recommending Approval of the Design Review application with the following Special Conditions of Approval:

III. SPECIAL CONDITIONS OF APPROVAL 3

- 1. Signage 3
- 2. ADA Access 3
- 3. Bicycle Parking 4
- 4. Sanitary Sewer 4
- 5. Storm Sewer 4
- 6. Construction Plans: 4
- 7. Pre-construction Conference 4
- 8. As-Built Submittals 4



RECOMMENDATION

- **The Gladstone Planning Staff are recommending Approval of the Design Review application as proposed with the 8 Special Conditions of approval.**



Agenda Item No. 3

PC Meeting Date: 12/20/22

STAFF REPORT: DESIGN REVIEW RECOMMENDATION APPROVAL

Application No.: Z0466-22-D;
Applicant: Edward Radulescu, EPR Design LLC
Project Location: 1990 McLoughlin BLVD; Tax Lot 22E19DD06100
Project Description: Construction of 92 square feet of showroom and site development. As proposed, the use of the building will change from a bank to a motor vehicle showroom and sales office with an addition of 92 square feet under existing roof.

SUMMARY OF STAFF RECOMMENDATION

The planning staff recommend approval of the Design Review application Z0466-22-D and recommend the following findings and following conditions in support of approval: (1) Signage; (2) ADA Access; (3) Bicycle Parking; (4) Sewer; (5) Storm drainage; (6) Construction Plans; (7) Pre-construction Conference, and (8) As-built Submittals.

The subject property, is comprised of one tax lot (22E19DD06100), that is approximately 0.52 acres in size. The building was built prior to the 1991 Zoning Ordinance and was modified with building permits approved by planning in the early 1980s. The site was used as a bank until it became vacant and was sold in 2021.

As proposed and conditioned, Planning Staff found the application consistent with previous land use approvals and all applicable standards from Title 17 of the Gladstone Municipal Code (GMC). Therefore, staff recommend that the Planning Commission approved this Design Review application with 8 special conditions of approval. The standard of review for the proposed project is the City of Gladstone's Municipal Code Zoning and Development Title 17.

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EXHIBITS

- Exhibit 1. Location Map
- Exhibit 2. Aerial Images
- Exhibit 3. Floor Plan
- Exhibit 4. Exterior Renderings
- Exhibit 5. Landscaping Plan

APPENDIX: SUBSTANSIVE FILE DOCUMENTS

A. Application Materials (Narrative, Site Plan)

I. REQUEST FOR COMMENTS

Sent to: Property owners within two hundred fifty (250) feet of the subject property, City of Gladstone, Public Works, Gladstone Fire, Gladstone PD, Engineering, Water Environment Services (WES), Oak Lodge, and Gladstone Disposal.

Responses Received: No comments were received directly from Gladstone Public Works and Engineering Departments, but staff coordinated with them for the conditions of approval. No comments were received from Clackamas Fire District on behalf of Gladstone fire, or from WES. No comments were received from the public.

II. STANDARD CONDITIONS

- 1. EXPIRATION.** This approval shall remain valid for two years following the date of approval per 17.80.100. If the approved use has not commenced by that date, this approval shall expire unless a time extension is granted pursuant to chapter 17.66.015(4) of the Gladstone Municipal Code.
- 2. INTERPRETATION.** Any questions of intent or interpretation of any condition will be resolved by the Planning Director for the City of Gladstone,
- 3. ASSIGNMENT.** The permit may be assigned to any qualified person, provided assignee files with the City Planning Department an affidavit accepting all terms and conditions of the permit.
- 4. TERMS AND CONDITIONS RUN WITH THE LAND.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.
- 5. BUILDING PERMITS.** The applicant shall obtain required building permits from Clackamas County. The applicant shall comply with requirements of the permits.

III. SPECIAL CONDITIONS OF APPROVAL

- 1. SIGNAGE.** All signs shall meet the provisions of Subsection 17.52 of the GMC. Sign designs were not included with the submittal package. If existing signage is to be replaced with signage in the future, a sign permit shall be filed separately at the time it is needed.
- 2. ADA ACCESS.** This approval is subject to the development complying with the provisions of the Americans with Disabilities Act (ADA) per GMC 17.50.020 (6)(f), including provisions for curb ramps, circulation within the site, and appropriate grades to the public entrances of the buildings. The applicant should access the sidewalk on the Clarendon Street frontage and replace any sidewalk or driveway approach in need of repair or that does not conform to current ADA standards.

3. **BICYCLE PARKING.** The development must provide temporary bicycle parking with a minimum of two spaces.
4. **SANITARY SEWER.** The proposed development shall meet all sanitary sewer requirements pursuant to the Gladstone Public Works Design Standards per 17.60.020 (4). The existing sanitary sewer building lateral integrity needs to be verified by television inspection submitted to the Public Works Department. The existing sewer building lateral will have to be brought up to current standards of the City of Gladstone, if determined to be necessary by City of Gladstone Public Works per 17.60.020 (4).
5. **STORM SEWER.** The proposed development shall meet all storm sewer requirements pursuant to the Gladstone Public Works Design Standards per 17.42.030. It is unclear if the existing storm sewer location and integrity meets current standards and therefore analysis of the system and upgrade, if necessary, is required to meet city standards. The existing storm sewer location and integrity needs to be verified by television inspection submitted to the Public Works Department. The existing storm sewer infrastructure will have to be brought up to current standards of the City of Gladstone, if determined to be necessary by City of Gladstone Public Works per 17.42.030..
6. **CONSTRUCTION PLANS:** Plans detailing the installation of the building construction, site grading, and other public and private improvements shall be submitted to the City of Gladstone Public Works Department for review and approval per 17.60.010 and 17.42.030. The design, location, and planned installation of all street and sidewalks, natural gas, power, street lighting, telephone, cable television, storm water, water, and sanitary sewer provisions are subject to approval by the appropriate agency/utility service provider. Construction plans shall be designed and stamped by a Professional Engineer registered in the State of Oregon. Plan submittal shall include (3) paper sets of plans, a pdf copy, an Engineer's Estimate for the public improvements, and a drainage report.
7. **PRE-CONSTRUCTION CONFERENCE.** Once grading/construction plans are ready to be approved by the City of Gladstone, a Pre-Construction Conference with final sign-off on the Construction Plans is required per 17.42.030.
8. **AS-BUILT SUBMITTALS.** Prior to the approval of the Certificate of Occupancy, the applicant shall provide the City Public Works Department of Planning offices with copies of the as-built submittals per 17.60.020 (7).

IV. NOTES:

1. **SYSTEM DEVELOPMENT CHARGES (SDC'S).** SDC's may be required due to the change of use of the property. The project shall provide all relevant information needed to calculate the SDC's to the Public Works Director. SDC calculation methodology is located on the Public Works page of the City of Gladstone website.

2. **BUILDING PERMITS.** Clackamas County Building Department will provide structural, mechanical, grading, and review of Fire & Life Safety, Plumbing, and Electrical Permits for this project.
3. **RIGHT OF WAY PERMITS.** Prior to initiating work within the right of way, the applicant will need a permit from the Gladstone Public Works Department and ODOT as applicable.

V. FINDINGS

The City of Gladstone Planning Commission finds:

A. PROJECT LOCATION AND PROPOSED DEVELOPMENT

The subject property is comprised of tax lot 22E19DD06100, that is approximately 0.52 acres in size located at 19900 McLoughlin Blvd. The site is on the east side of McLoughlin Blvd on the southeast corner of the intersection with W Clarendon St. The subject property is zoned C3 - General Commercial District. The proposed project would involve obtaining the appropriate land use permits and building permits for a new addition to the showroom and a change of use. Auto sales are an allowed use in the zoning district.

B. C3 - GENERAL COMMERCIAL DISTRICT

17.20.020 Uses allowed outright.

In a C-3 zoning district, the following uses and their accessory uses are allowed outright. Outside or open storage shall be an allowed accessory use.

(1) Automobile service station, car wash or repair garage, body and fender paint shop, sales of new and used vehicles.

Finding: The primary use of the land for automobile sales as proposed in Z0466-22 is allowed outright in the C3 Zone. The proposed development includes 29-31 existing parking spaces and thus they must meet the setback standards found in 17.48.040 and 17.46.020. This land use application was submitted to meet the Design Review requirements for new construction, and site development per 17.80.021. This criterion is met.

17.20.045 Screening.

The following screening standards shall apply:

(1) Off-street parking and loading areas and business activities, such as service, repair, processing, storage and merchandise display, that are conducted outside of a wholly enclosed building, shall be screened from abutting properties where such properties are in a residential zoning district and from abutting unimproved public street rights-of-way where property on the opposite side of the unimproved right-of-way is in a residential zoning district.

(2) Business activities, such as service, repair, processing, storage and merchandise display, that are conducted outside of a wholly enclosed building, shall be screened from abutting properties

where such properties are in a C-1 or C-2 zoning district and from abutting unimproved public street rights-of-way where property on the opposite side of the unimproved right-of-way is in a C-1 or C-2 zoning district.

(3) Storage, with the exception of merchandise display, outside of a wholly enclosed building shall be screened from abutting improved public street rights-of-way. Off-street parking and loading areas for customer vehicles, employee vehicles and vehicles for sale are not required to be screened from improved public street rights-of-way. However, off-street parking and loading areas for other types of vehicle storage (e.g. towed vehicles, recreational vehicles being stored as a service) shall be screened from abutting improved public street rights-of-way.

Finding: The change of use, building expansion, and site development for an automobile sales location in the C3 Zone does include outside display of goods or merchandise other than vehicles for sale. The project site is located in an area where other commercial land surrounds the property. Across McLoughlin Blvd the property is also zoned C-3. Thus screening is not required. This criterion is met.

17.20.050 Dimensional standards.

Except as provided in GMC Chapters 17.38 (planned unit development), Chapter 17.72 (variances) and Chapter 17.76 (exceptions), the following dimensional standards shall apply in a C-3 zoning district:

(1) *Front Setbacks.* There shall be no minimum front setback requirement except when a front lot line abuts a residential zoning district or abuts a street where property on the opposite side of the street is in a residential zoning district, in which cases the minimum front setback shall be twenty feet (20').

(2) *Street Side Setbacks.* There shall be no minimum street side setback requirement except when a street side lot line abuts a residential zoning district or abuts a street where property on the opposite side of the street is in a residential zoning district, in which cases the minimum street side setback shall be twenty feet (20').

(3) *Side and Rear Setbacks.* There shall be no minimum side or rear setback requirements.

(4) *Off-Street Parking.* The boundary of any area developed or intended for off-street parking shall be located a minimum of five feet (5') from all property lines.

(5) *Architectural Features.* Architectural features such as cornices, eaves, gutters, chimneys and flues may project a maximum of two feet (2') into a required setback area.

(6) *Building Height.* The maximum building height shall be thirty-five feet (35')...

(7) *Equipment Setbacks.* There shall be no minimum setback requirements for central air conditioners, heat pumps and similar equipment except when a lot line abuts a residential zoning district, in which case the minimum setback requirement from the lot line abutting the residential zoning district shall be ten feet (10').

(8) *Hotels and Motels:* N/A

(9) *Portable Storage Container Setbacks.* When a lot line abuts a residential district, a setback does not apply to Portable Storage Containers as defined in Chapter 5.22. N/A

Finding: As proposed, the automobile dealership development is on a property that is approximately 0.52 acres in size with existing commercial development and associated parking. There is no applicable minimum lot size or setbacks due to the surrounding parcels being zoned commercial. The 29-31 parking spots will need to be set back from property lines and separated from adjacent neighbors to the south by 5 feet of landscaping (per aerial images see exhibits and submitted landscaping plan). The landscaping in the McLoughlin Blvd right-of-way is to be used as the separation of the parking lot to the street, and the owner has documented that they will replace the landscaping if the roadwork impacts that landscape strip. The equipment serving the building is setback from all lot lines by more than 10 feet. The building height is less than 35 feet. These criterion are met.

C. DESIGN REVIEW FINDINGS PER CHAPTER 17.80

17.80.010 Objectives.

The following objectives of the regulations in this chapter are as follows:

- (1) To preserve the natural environment and protect and enhance the visual character of the city, and to ensure compliance with the goals, objectives and policies of the Gladstone Comprehensive Plan, zoning and subdivision ordinances.*
- (2) To encourage orderly development and to assure that structures, signs and other improvements are appropriately related to their site, and to surrounding sites and structures. Due regard shall be given to the aesthetic qualities of the terrain and landscaping, and proper attention given to exterior appearance of structures, signs, energy conservation and other improvements.*
- (3) To ensure significant site development will be compatible with land use on adjacent properties.*
- (4) To protect neighboring owners and users by assuring that reasonable provisions have been made for such matters as surface water drainage, the preservation of views, light, air and solar access and those effects on neighboring land uses.*

Finding: The site location has historically been a commercial bank building. The exterior aesthetic qualities, and lighting are reviewed further in the findings below. As conditioned these criterion are met.

17.80.021 Applicability.

(1) This chapter shall apply to new structures; additions to existing structures; site development, such as grading, parking lot construction or commercial/industrial use of an undeveloped property; change of use; and major remodeling

Finding: The proposal is to enclose an additional 92 square feet under the existing roof and change the use of the existing building. This criterion is met.

17.80.061 Submittal requirements.

(1) An application for design review shall include a minimum of twelve (12) copies of the following plans drawn to scale. A project summary shall accompany the application when necessary to describe special circumstances such as a request for a minor exception pursuant to GMC Section 17.80.090 (minor exceptions).

Finding: The applicant provided the application materials, including the narrative, site plan, landscaping plan, lighting plan, and elevations. Copies needed to thoroughly assess the criteria used for evaluation were also provided. This criterion is met.

17.80.090 Minor Exceptions.

(1) Authority. In conjunction with the design review plan approval, the Planning Commission may grant minor exceptions from the following requirements:

- (a) Dimensional standards for yards required in the primary district;*
- (b) Dimensional standards for off-street parking as required in GMC Chapter 17.48 (Off-Street Parking and Loading);*
- (c) Minimum and maximum number of off-street parking spaces required in GMC Chapter 17.48 (Off-Street Parking and Loading).*

(2) Limitations. No minor exceptions shall be greater than twenty-five percent (25%) of the requirement from which the exception is requested. Requests greater than twenty-five percent (25%) shall be subject to variance procedures.

Finding: The applicant is not requesting an exception. This is informational only. This criterion is not applicable as proposed.

17.80.100 Compliance.

(1) Approval of design review shall expire if construction has not begun within two years of the date of the final decision. Upon request and in accordance with GMC Section 17.66.015(4)(a), the two-year period may be renewed once by the City Administrator or designee for not more than one year.

(2) Prior to issuance of a final certificate of occupancy, the development site shall be checked by the City Administrator or designee to insure compliance with the approved design review plans. Approval of a final certificate of occupancy shall not be granted until all conditions of design review approval are met.

(3) Any departure from the approved design review plans may be cause for revocation of the building permit or denial of a final certificate of occupancy. Any changes in the approved design review plans shall be submitted to the City Administrator or designee for review and approval prior to execution. Changes to the substance of an approval or the substance of conditions of approval shall require the submittal of a new design review application.

Finding: This is informational only. The applicant has two years to meet this criterion.

D. DIVISION IV. DEVELOPMENT STANDARDS

CHAPTER 17.42 GENERAL PROVISIONS

17.42.020 Use of public right-of-way. *Use of public right-of-way for the sale, display or storage of goods and off-street parking is prohibited on interior side of curbs, however, this requirement may be waived upon City Council approval.*

17.42.030 Improvements. *Improvements installed by a developer, either as a requirement or at his or her option, shall conform to the standards of this title, GMC Chapter 12.02 (street excavation requirements) and to any supplemental design and construction specifications adopted by the city for such improvements. Improvements shall be installed in accordance with the following procedure:*

(1) Improvement work shall not begin until plans have been checked for adequacy and approved by the city.

(a) To the extent necessary for evaluation of the proposal, the plans may be required before land use approval is issued.

(b) Plans shall be prepared in accordance with the requirements of the city.

(2) Improvement work shall not begin until the city has been notified, and if work has been discontinued for any reason, it shall not be resumed until the city has been notified.

(3) Improvements shall be constructed under the inspection and to the satisfaction of the city.

(a) The city may require changes in typical sections and details in the public interest if unusual conditions arise during construction to warrant the change.

Finding: The application received no official comments from the Public Works and Engineering Departments. The special conditions of approval identify specific areas where the City has to review the construction plans, improvements, and as-built plans to ensure these criteria are addressed through the entire process of this development. These criterion are met as conditioned.

CHAPTER 17.44 BUILDING SITING AND DESIGN

17.44.020 General standards. *Building siting and design standards are as follows:*

(1) Siting. *Where there are no conflicts with other design standards or requirements in this Title, site buildings to maximize solar access where practical, using such techniques as:*

(a) Maximizing east-west street length so that principal building façades will face south;

(b) Orienting buildings within twenty degrees of true south as well as maximizing their south-facing dimension;

(c) Placing higher buildings on the north portion of the site, while protecting solar access for adjacent sites;

(d) Placing major yard spaces on south side of buildings.

(2) Energy Efficient Design. *Where there are no conflicts with other design standards or requirements in this Title, design buildings that are conducive to energy efficiency and conservation, using techniques including, but not limited to, those listed below which are most appropriate to the development:*

- (a) Concentrate window areas on the south side (within twenty degrees of true south) of buildings where there is good southern exposure, and provide overhangs, balconies, or other shading devices to prevent excessive summer heat gains;
- (b) Use architectural features, shapes or buildings, fences, natural landforms, berms and vegetation to catch and direct summer breezes for natural cooling and minimize effects of winter winds;
- (c) Provide skylights or clerestory windows to provide natural lighting and/or solar heating of interior spaces.

(3) Compatibility. Arrange structures and use areas to be compatible with adjacent developments and surrounding land uses, considering the following design and siting techniques:

- (a) Locate and design structures to protect scenic views or vistas from adjacent properties and public thoroughfares. Setbacks, building height and bulk should be considered;
- (b) Design structures to provide visual order and avoid monotony in layout and design;
- (c) Orient major service activity areas (e.g., loading and delivery areas) of the proposed project away from existing residences;
- (d) Provide opaque enclosures and gates for all refuse storage areas;
- (e) Screen mechanical equipment, except solar collection apparatus, from view or place such equipment in locations where it will not be viewed by the public. Screening shall be accomplished by the use of a sight-obscuring fence or hedge, a landscaped earth berm, building placement or other design techniques;
- (f) Buffering and/or screening shall be used to mitigate adverse visual impacts, dust, noise and pollution, and to provide for compatibility between dissimilar adjoining uses. Special consideration will be given to the buffering, screening and siting of commercial and industrial uses to ensure that noise and odors are not detectable to normal sensory perception on adjacent residential properties. All development shall comply with GMC Chapter 8.12 (noise control).

Finding: The proposed addition to the existing commercial building does not reduce the amount of windows, change the orientation, or alter the compatibility of the development with the neighbors. Therefore, energy efficiency and solar access are not primary considerations for the use of the structures as an automobile dealership in an existing building. The compatibility of the vehicle display and parking lot with the surrounding commercial buildings is primarily dependent on the separation of the parking lot from the adjacent neighbors as required by 17.46.020(4) and 17.46.020(2). Screening of the mechanical equipment is not proposed, but could be provided through landscaping choices. There is no dissimilar adjoining uses that would be impacted by the visual impact of the change of use and minor modification of the existing building. These criterion related to Siting, Energy Efficient Design, and Compatibility are met.

(4) Building Materials. Buildings shall be constructed using high-image exterior materials and finishes such as masonry, architecturally treated tilt-up concrete, glass, wood or stucco. Buildings shall not be constructed with metal siding material, except as approved by the design review committee for specific high-image materials, except for:

- (a) Canopies, awnings, screening for roof-mounted fixtures, or other architectural features;
- (b) Utility equipment cabinets;

- (c) Structures no greater than two hundred (200) square feet in floor area and ten (10) feet in height: and,
- (d) Buildings, the portions of buildings, that are not visible from a road or adjacent property.

(5) **Lighting.** Adequate exterior lighting shall be provided to protect public safety and shall be deflected so as not to shine on a lot in a residential district.

(6) **On-site Lighting.** All on-site lighting shall be designed, located, shielded, or deflected so as not to shine into off-site structures or impair the vision of the driver of any vehicle. When required, engineered site lighting plans shall be developed consistent with Illuminating Engineering Standards (IES) including, but not limited to, average maintained illumination and maximum to minimum ratios. A master plan for on-site lighting shall include the design, height, and location of all proposed exterior lights, including:

- (a) Parking and loading area lighting;
- (b) Pedestrian walkway lighting;
- (c) Internal access road lighting;
- (d) Lighting of public entrances into buildings;
- (e) Flood lights illuminating buildings or significant natural features.

(7) **Equipment and Facilities.** All utility lines shall be placed underground. All roof-mounted fixtures and utility cabinets or similar equipment which must be installed above ground shall be visually screened from public view.

Finding: The existing structure is being added onto with 92 square feet. Therefore, there is limited change to the existing equipment and building. A lighting plan was provided with the application that shows there is adequate lighting of public entrances into the buildings and minimal lighting is produced off-site. The off-site lighting is primarily to the south and east and does not appear to reach far enough to impact adjacent commercial structures. The existing utilities are not being modified unless needed to address a deficiency. These criterion are met as conditioned.

(8) **Trash Disposal and Recycling Collection.** In addition to the preceding standards, new construction requiring full site plan review shall incorporate functional and adequate space for on-site storage and efficient collection of mixed solid waste and source separated recyclables prior to pick-up and removal by haulers.

(a) Minimum storage area for trash and recyclables shall be established by one of the following methods: minimum standards method or franchise hauler review method.

(A) Franchise Hauler Review Method. The applicant shall submit plans for storage and collection of solid waste and recyclables that are acceptable to the city's franchise solid waste hauler; acceptance may be indicated on the site plan and/or by separate attachment; or

Finding: The applicant is not proposing to increase the number of parking units for employees and customers, or offices in the development. The use of the site for an automobile dealership is not

anticipated to increase the waste generated by the existing commercial uses. This criterion is not applicable.

CHAPTER 17.46 LANDSCAPING

Chapter 17.46 of the GMC regulates landscaping standards applicable to all development that is subject to design review.

17.46.020 Standards. *Landscaping requirements shall be as follows:*

(1) Minimum Requirement. *A minimum of 15 percent of the lot area shall be landscaped, except when a greater percentage is required elsewhere in this title.*

(2) Parking and Loading Areas. *The following landscape requirements shall apply to off-street parking and loading areas:*

(a) An off-street parking and loading area providing 10 or more parking spaces shall be improved with defined landscaped areas totaling no less than ten square feet per parking space;

(b) A parking or loading area shall be separated from any lot line adjacent to a street by a landscaped strip at least 10 feet in width, and any other lot line by a landscaped strip at least five feet in width;

(c) A landscaped strip separating a parking or loading area from a street shall contain:

(A) Street trees spaced as appropriate to the species, not to exceed 25 feet apart, on the average,

(B) Low shrubs not to reach a height greater than three feet spaced no more than five feet apart, on the average, and

(C) Vegetative ground cover;

(d) If a fence or wall is required or proposed, it shall be located behind required landscaped strips where such strips are adjacent to a street;

(e) In parking areas three acres and larger intended for use by the general public, pedestrian walkways shall be raised or separated from parking, parking aisles, and travel lanes by a raised curb, concrete bumpers, bollards, landscaping, or other physical barrier. If a raised pathway is used, curb ramps shall be provided in accordance with the Americans with Disabilities Act Accessibility Guidelines.

(3) Irrigation. *Provision shall be made for watering planting areas where such care is required.*

(4) Maintenance Required. *Landscaping shall be continuously maintained.*

(5) Plant Species. *The general characteristics of tree species shall be considered when planting under overhead utility lines or near sidewalks or curbs to assure that damage will not result when maturity is reached.*

(6) Grading. *The natural form of the site shall be preserved insofar as practicable unless berming or contouring of land is required.*

(7) Public Rights-of-Way. *Land within the public road right-of-way, not developed as sidewalks or driveways, shall be landscaped and maintained by the abutting property owners. Landscaping will be of the variety that would not create a road hazard or impair sight distance.*

(8) Street Trees. Street tree planting may be required of any development and, if planted, shall be according to city requirements and of a species compatible with the width of the planting strip, and nearby street tree species.

Finding: The landscaping plan provided by the applicant identifies that the landscaping requirements are met with the landscaping in the right of way along McLoughlin providing the 10 foot landscape separation per 17.46.020(9). The property owner has agreed to relocate the existing 10-foot landscaping strip whenever the right-of-way is improved. There is a sidewalk along the western edge of the property between the landscaping and the property boundary adjacent to McLoughlin Blvd. The landscaping plan also identifies five feet of landscaping along the eastern and southern property boundaries where separation of the parking area is needed from adjacent property owners. These criterion are met as shown in the landscaping plan submitted on 11/15/22.

CHAPTER 17.48 OFF-STREET PARKING AND LOADING

Chapter 17.48 of the GMC regulates off-street parking and loading for all development permits.

17.48.030 Standards for developments subject to design review.

At the time of construction, enlargement, or change of use of any structure or development subject to GMC Chapter 17.80 (Design Review), except as provided in the C-2 district, off-street parking spaces shall be provided as follows unless greater requirements are otherwise established under this title:

Finding: The subject property is zoned General Commercial and is subject to a Design Review application per Chapter 17.80. However, the minimum number of parking spaces required to serve the existing development appears to be met with the 31 spaces included in the landscaping plan and the 29 parking spaces included in the site plan submitted for Z0466-22. 17.48.030 Table 1 identifies the required parking for automobile sales as: 1 space per 600 square feet. The existing commercial building is approximately 6,167 total square feet. Therefore, 10 parking spaces were needed for the employees and customers of the dealership and 19-21 parking spaces are available for merchandise display of the vehicles for sale. This criterion is met.

17.48.040 Design requirements for permanent off-street parking and loading.

1) Parking and Loading:

(a) Parking and loading areas shall be paved with asphalt and/or concrete meeting city standards, maintained adequately for all weather use and so drained as to avoid flow of water across public sidewalks;

(b) Off-street parking and loading areas shall be screened from abutting properties located in a residential zoning district unless such abutting properties are developed with nonresidential uses. Required screening shall be accomplished by building placement, a landscaped earth berm or a sight-obscuring fence or hedge. Required screening shall be a minimum of six feet high and shall not conflict with GMC Chapter 17.54 (clear vision).

(c) *Areas for standing and maneuvering vehicles, other than for the off-street parking and storage of truck tractors and/or semitrailers, shall be paved with an asphalt and/or concrete surface meeting city standards. The parking of truck tractors and/or semitrailers in off-street parking areas used exclusively for the parking and/or storage of said vehicles may be allowed utilizing a durable and dustless surface other than an asphalt and/or concrete surface. Such surface must be graded, compacted and surfaced in such a manner that it will adequately support these vehicles, including trailer standing gear, will not produce dust, will not produce tracking of mud or other materials onto adjoining streets or properties, and otherwise complies with other applicable provisions of this code.*

Finding: The subject property is currently developed with commercial building and parking. The proposal does not include any additional parking development. However, any change to the existing parking spaces required to facilitate the landscape plantings will need to meet the above requirements. This criterion is met.

(2) Parking:

(a) *Required parking spaces shall be located not further than 200 feet from the building or use they are required to serve, measured in a straight line from the building;*

(b) *Required parking shall be provided in the same zoning district or a different zoning district of a more intensive use;*

(c) *In no case shall required parking for a commercial or industrial use be provided in a residential district, except for approved conditional uses;*

(d) *Groups of more than four parking spaces shall be permanently marked and so located and served by driveways that their use will require no backing movements or other maneuvering within a street right-of-way other than an alley;*

(e) *Parking spaces along the outer boundaries of a parking lot shall be contained by a curb at least four inches high and setback a minimum of five feet from the property line. A bumper rail may be substituted for a curb;*

(f) *Off-street parking and loading areas, including parking spaces and access aisles, shall meet or exceed the minimum dimensional standards identified in Tables 2 and 3 and Figure 1 (of this chapter). Access aisles shall be of sufficient width for all vehicular turning and maneuvering;*

(g) *Up to 50 percent of required parking spaces may be provided for compact cars;*

(h) *Parking areas shall be designed, to the maximum extent practicable, to avoid large, uninterrupted rows of parking spaces.*

Finding: The subject property is zoned entirely C3 and is surrounded by C-3 zoned properties. No additional parking is being proposed for development. The existing spaces on the outer boundaries of the parking lot are contained by curbs and separated from the property boundary by the proposed landscaping. The parking spaces are permanently marked and are within 200 feet of the commercial buildings. There is no proposed change to the drive aisle or parking spaces with this change in use. These criterion are met.

(3) Loading:

(a) A driveway designed for continuous forward flow of passenger vehicles for the purpose of loading and unloading passengers shall be located on the site of any school having a capacity greater than 25 students;

(b) Buildings or structures to be built or substantially altered which receive and distribute material or merchandise by truck shall provide and maintain off-street loading berths in sufficient numbers and size to adequately handle the needs of the particular use. If loading space has been provided in connection with an existing use or is added to an existing use, the loading space shall not be eliminated if elimination would result in less space than is required to adequately handle the needs of the particular use;

(c) Off-street parking areas used to fulfill the requirements of this section shall not be used for loading and unloading operations except during periods of the day when not required to take care of parking needs;

(d) Loading facilities shall be located at least 20 feet from residential property. Loading spaces shall be located on the site and directly accessible to the main structure.

(e) Exceptions and Adjustments. Loading areas within a street right-of-way in areas zoned mixed-use commercial in the C-2 zoning district may be approved when all of the following conditions are met: N/A –C-3 Zoning District

Finding: The subject site is located in the C-3 Zoning District and the proposed use is not a school. The automobile dealership is not anticipated to receive and distribute material or merchandise by truck, other than an occasional delivery of vehicles that can be delivered in the drive aisle and quickly parked in the display parking areas, so loading and unloading are not a primary use of these parking spaces that will serve the existing commercial units. These criterion are met.

17.48.050 Bicycle parking standards.

(1) General Provisions.

(a) Applicability. Standards for bicycle parking apply to full-site design review of new construction for multi-family residential (four units and larger) and new commercial/industrial developments. The Planning Commission may grant exemptions to bicycle parking requirements in connection with temporary uses or uses that are not likely to generate the need for bicycle parking.

(b) Types of Spaces. Bicycle parking facilities shall be provided in terms of short-term bicycle parking and long-term bicycle parking. Short-term bicycle parking is intended to encourage customers and other visitors to use bicycles by providing a convenient and readily accessible place to park bicycles. Long-term bicycle parking provides a weather-protected place to park bicycles for employees, students, residents, commuters, and others who generally stay at a site for at least several hours.

(c) Minimum Number of Spaces. All developments required to comply with this section shall provide a minimum five percent bicycle parking spaces based on the city's required minimum number of automobile parking spaces. In addition, the following applies:

(A) All development shall have a minimum two short-term bicycle parking spaces; and

(B) If more than seven bicycle parking spaces are required, at least 50 percent of the spaces shall be provided as long-term bicycle parking.

(C) Notwithstanding subsection (1)(a)(A) of this section, 100 percent of all bicycle parking spaces for multi-family development of four units and more shall be provided as long-term bicycle parking.

(2) Location and Design.

(a) Short-Term Bicycle Parking. Short-term bicycle parking facilities are lockers or racks that meet the standards of this section and that are located inside a building, or located outside within 30 feet of the main entrance to the building or at least as close as the nearest vehicle parking space, whichever is closer;

(b) Long-Term Bicycle Parking. Long-term bicycle parking includes:

(A) Racks, storage rooms, or lockers in areas that are secure or monitored (e.g., visible to employees or customers or monitored by security).

(B) Covered outside bicycle parking spaces that meet the requirements of subsection (2)(g) of this section and are located within 100 feet of an entrance to the building;

(c) Signs. If the bicycle parking is not visible from the street or main building entrance, then a sign conforming to the city's standards for on-site traffic control, GMC Section 17.52.060(1), shall be posted indicating the location of the parking facilities;

(d) Rack Type and Dimensions.

(A) Bicycle racks must hold bicycles securely by the frame and be securely anchored;

(B) Bicycle racks must accommodate:

(i) Locking the frame and one wheel to the rack with a high-security U-shaped shackle lock, or approved substitute; or

(ii) Locking the frame and both wheels to the rack with a chain or cable not longer than six feet;

(C) The Planning Commission may approve alternate bicycle racks provided they are convenient and secure;

(e) Bicycle parking spaces must be at least six feet long and two feet wide. An aisle five feet wide for bicycle maneuvering must be provided;

(f) Areas set aside for required bicycle parking must be clearly marked and reserved for bicycle parking only;

Finding: The applicant is not required to provide additional off-street parking since the existing commercial building the required minimum amount of parking required for the size of the building and the use. Therefore, the bicycle parking requirement is limited to temporary bicycle parking with a minimum of two spaces. The bike parking could be placed in an existing car parking space as long as it is visible from the drive aisle and the entrances to the commercial buildings. These criterion are met as conditioned.

CHAPTER 17.50 VEHICULAR AND PEDESTRIAN CIRCULATION

17.50.010 Applicability. Vehicular and pedestrian circulation standards shall apply to all land divisions and to all development that is subject to design review.

17.50.020 Vehicular and pedestrian circulation generally.

Vehicular and pedestrian circulation facilities, including walkways, provisions for the handicapped, interior drives and parking as provided under GMC Chapter 17.48 (off-street parking and loading), shall be designated as follows:

*(1) **Impervious Surface.** Provide for least amount of impervious surface necessary to adequately serve the type and intensity of proposed land uses within developments as well as providing adequate access for service vehicles.*

*(2) **Traffic Separation.** Provide when feasible, a separation of motor vehicular, bicycle and pedestrian traffic.*

*(3) **Curbs and Sidewalks.** Provide curbs, associated drainage, and sidewalks within the right-of-way or easement for public roads and streets.*

*(4) **Traffic Volume Expansion.** Provision shall be made to accommodate any increased volume of traffic resulting from the development consistent with GMC Section 17.50.050. If streets adjacent to or serving the site are inadequate, widening, dedication of property for future widening, or other street improvements may be required. The development shall be designed to minimize traffic volume increases on minor streets and underdeveloped streets.*

*(5) **Handicapped Needs.** Provide for the special needs of the handicapped such as wheelchair ramps and Braille signs.*

*(6) **Pedestrian Circulation Standards.** An on-site pedestrian circulation system shall be provided for new nonresidential and multi-family developments and for new buildings added to existing nonresidential and multi-family developments. The system may include sidewalks as part of the public rights-of-way, walkways, and multi-use paths. (Walkways only provide for pedestrian circulation; multi-use pathways accommodate pedestrians and bicycles.) The system shall comply with the following standards:*

(a) The system shall connect all adjacent streets to the main entrances of nonresidential buildings and to unit and/or building entrances of multi-family developments;

(b) The system shall connect all buildings and other areas of the site, such as parking areas, bicycle parking, recreational areas, common outdoor areas and any pedestrian amenities;

(c) The system shall be hard-surfaced and constructed in accordance with the public works standards. For nonresidential development, the walkways shall be a minimum of six feet wide. For multi-family residential development, walkways shall be a minimum of five feet wide;

(d) The system and off-street parking and loading areas shall be designed to avoid, to the maximum extent possible, the system's crossing off-street parking and loading areas. Where the system crosses driveways or off-street parking and loading areas, the system shall be clearly

identifiable through the use of elevation changes, speed bumps, a different paving material or other similar method. Striping shall not fulfill this requirement;

(e) Where the system is parallel and adjacent to an auto travel lane, the system shall be a raised path or be separated from the auto travel lane by a raised curb, bollards, landscaping or other physical barrier. If a raised path is used, the ends of the raised portions shall be equipped with curb ramps;

(f) The system shall comply with the Americans with Disabilities Act (ADA);

(g) Walkways or multi-use paths shall be provided at or near midblock where the block length exceeds the length required by GMC Section 17.64.020. Multi-use paths shall also be provided where cul-de-sacs or dead-end streets are planned, to connect the ends of the streets together, to other streets, and/or to other developments, as applicable. Multi-use paths used to comply with these standards shall conform to all of the following criteria:

(A) Multi-use paths are required to be no less than 10 feet wide and located within a 20-foot-wide right-of-way or easement that allows access for emergency vehicles.

(B) The city may require landscaping within the pathway easement/right-of-way for screening and the privacy of adjoining properties.

(C) The Planning Commission may determine, based upon facts in the record, that a walkway or multi-use pathway is impracticable due to: physical or topographic conditions (e.g., freeways, railroads, extremely steep slopes, sensitive lands, and similar physical constraints); buildings or other existing development on adjacent properties that physically prevent a connection now or in the future, considering the potential for redevelopment; and sites where the provisions of recorded leases, easements, covenants, restrictions, or other agreements recorded as of the effective date of this code prohibit the pathway connection.

Finding: The applicant showed the existing sidewalks adjacent to the roads, and the handicap walkway from the handicap parking space to the buildings. The pedestrian access appears to meet the criteria above. These criterion are met as conditioned.

(7) Proposed new industrial, institutional, multi-family retail and office developments requiring full site design review that are adjacent to or incorporate transit streets shall provide transit improvements at any existing or planned transit stop located along the site's frontage consistent with the transit operator's adopted long-range plan.

Finding: The proposed use is related to a commercial development that is retail in nature. There is an existing transit stop on McLoughlin Blvd, approximately 125 feet to the south of the subject property boundary. This criterion is met.

CHAPTER 17.52 SIGNS

Establishes sign requirements.

Finding: Sign designs for the replacement of the current sign, or any additional signage was not included in the application. This criterion is met with Special Condition #1.

CHAPTER 17.54 CLEAR VISION

17.54.020 Clear vision area.

*(1) **Obstruction Prohibited.** On property at any corner formed by the intersection of two streets, or a street and a railroad, it is unlawful to install, set out or maintain, or to allow the installation, setting out or maintenance of any sign, fence, hedge, shrubbery, natural growth or other obstructions to the view higher than three feet above the level of the center of the adjacent intersection with that triangular area between the property line and a diagonal line joining points on the property lines at the distance from the intersection specified in this regulation. In the case of rounded corners, the triangular areas shall be between the lot lines extended in a straight line to a point of intersection and so measured, and a third side which is a line across the center of the lot joining the nonintersecting ends of the other two sides. The following measurements shall establish clear-vision areas:*

Right-of-Way (in feet)	Measurement Each Lot Line (in feet)
80'	20'
60'	30'
50' or less	40'

(2) Exceptions. Provisions set out in Subsection (1) of this section shall not apply to:

(a) Public utility poles; trees trimmed (to the trunk) to a line at least eight feet (8') above the level of the intersection; provided, that the remaining limbs and foliage of the trees must be trimmed as to leave, at all seasons, a clear and unobstructed cross-view of the intersection; saplings, or plant species of open growth habits and not planted in the form of a hedge, which are so planted and trimmed as to leave at all seasons a clear and unobstructed cross-view of the intersection, supporting members of appurtenances to permanent buildings existing on the date when this ordinance in this Chapter becomes effective; official warning signs or signals; places where the contour of the ground is such that there can be no cross-visibility at the intersection; or to signs mounted ten or more feet above the ground and whose supports do not constitute an obstruction as described in Subsection (1) of the section.

(d) At a driveway serving a parking lot with capacity of more than eight automobiles and at corners of an intersection of a street controlled by stop signs or a traffic signal if the street intersection or driveway has an unobstructed sight distance specified in a 2001 publication titled "A Policy on Geometric Design of Highways and Streets" prepared by the American Association of State Highway and Transportation Officials (AASHTO), summarized in the table below; however, the Planning Commission may approve a driveway location with less than minimum intersection sight distance if no other suitable location is available:

Finding: The property being developed is located on the corner of two intersecting streets. The design of the site development utilizes the existing landscaping along McLoughlin and the submitted landscaping plan shows the site distance triangles are addressed in the plan. The driveways used to access the existing commercial development are proposed to serve this development. This criterion is not applicable and is for informational purposes only.

CHAPTER 17.56 DRAINAGE

17.56.020 Standards.

Adequate provisions shall be made to ensure proper drainage of surface waters, to preserve natural flow of watercourses and springs and to prevent soil erosion and flooding of neighboring properties or streets. Such provisions shall include but not be limited to the following:

- (1) Generally. All development shall be planned, designed, constructed and maintained to:
 - (a) Protect and preserve existing drainage channels to the maximum practicable extent;*
 - (b) Protect development from flood hazards;*
 - (c) Provide a system by which water within the development will be controlled and managed without causing damage or harm to the natural environment, or to property or persons within the drainage basin;*
 - (d) Assure that waters drained from new or redevelopment sites are substantially free of pollutants, including sedimentary materials, through the use of stormwater treatment facilities as referenced herein and appropriate erosion and sediment control practices;*
 - (e) Assure that runoff drained from new and redevelopment sites is managed in accordance with criteria outlined in the City of Gladstone Stormwater Treatment and Detention Standards as to not cause erosion to any greater extent than would occur in the absence of development;*
 - (f) Avoid placement of surface detention or retention facilities in road rights of way.**
- (2) Watercourses. Where culverts cannot provide sufficient capacity without significant environmental degradation, the city may require the watercourse to be bridged or spanned.*
- (3) Easements. In the event that a development or any part thereof is traversed by any watercourse, channel, stream or creek, gulch or other natural drainage channel, adequate easements for storm drainage purposes shall be provided to the city. This does not imply maintenance by the city.*
- (4) Obstructions. Channel obstructions are not allowed, except as approved for the creation of a detention or retention facility. Fences with swing gates may be utilized.*
- (5) Surface Drainage and the Storm Sewer System.
 - (a) Stormwater treatment and detention facilities shall be designed and installed in accordance with criteria outlined in the Gladstone Public Works Design Standards and the Gladstone Public Works Standard Construction Specifications.*
 - (b) The street cross-sections found in the Gladstone transportation system plan may be modified to accommodate alternative stormwater management methods subject to the approval of the Public Works Supervisor. The Public Works Supervisor may require modification of the typical cross section to accommodate alternative stormwater management methods when associated with development proposals. Such modifications may be applied as conditions of development approval.**

Finding: The subject property does not contain any known drainage ways, floodplains, or watercourses. Surface water drainage and treatment will be completed to City standards. As conditioned these criterion are met.

CHAPTER 17.58 GRADING AND FILL

17.58.020 General provisions.

(1) Grading of Building Sites. Grading and fill of building sites shall conform to Chapter 70 of the Uniform Building Code. The character of soil for fill and the characteristics of lots and parcels made usable by fill shall be suitable for the purpose intended. When deemed necessary, the building official may require geological studies to determine the suitability of the site.

(2) U.B.C. Requirements. The building official shall enforce Chapter 70 of the U.B.C. and shall require soils reports and/or engineering studies before issuing a building permit for fill, excavation, construction or related activities involving soils with restrictive features such as instability, wetness, flooding or other limitations.

Finding: The proposed use is proposing to use the existing commercial development on the site. Any applicable Building permits and grading permits are required to ensure the requirements in the Uniform Building Code, or current predecessor, will be met through the building permit review process. As conditioned this criterion is met.

CHAPTER 17.60 UTILITIES

17.60.020 Standards.

Utility services and facilities shall be appropriate to the scale and type of development and consideration shall include, but not be limited to the following standards:

*(1) **Site Disturbance.** The location, design, installation and maintenance of all utility lines and facilities shall be carried out with minimum feasible disturbances of soil and site.*

*(2) **Electricity. Gas. Communications.** All development which has a need for electricity, gas and communications services shall install them pursuant to the requirements of the district or company servicing the development. Except where otherwise prohibited by the utility district or company, all such facilities shall be underground.*

*(3) **Underground Facilities.** The developer shall make necessary arrangements with utility companies or other persons or corporations affected for the installation of underground lines and facilities. Electrical lines and other wires, including but not limited to communication, street lighting and cable television, shall be placed underground.*

Finding: The City Public Works and Engineering Departments provided comments that highlight the concern of sufficient sanitary sewer service, storm drainage, and sidewalks that meet current standards. There is no proposed change to the electrical, lighting, cable, communication and other utility connections. These criterion are met as conditioned.

*(4) **Sanitary Sewers.** All development which has a need for sanitary sewers shall install the facilities.*

*(5) **Water Services.** All development which has a need for water service shall install water facilities and grant necessary easements pursuant to the requirements of the utility district serving the development. In addition, requirements for development shall include the following:*

- (a) Water lines to serve residential developments shall be a minimum six inch (6") nominal diameter and water lines to service commercial and industrial developments shall be a minimum eight inch nominal diameter with valves and fire hydrants serving each building site in the development and connecting the development to city mains shall be installed. Prior to starting building construction, the design shall take into account provisions for extension beyond the development and to adequately grid the city system. Hydrant spacing to be based on accessible area served according to A.I.A. recommendations and as approved by the Fire Chief;*
- (b) If the city determines that a water line size greater than the required minimum in diameter is required to provide for future extension of the water system, the city will reimburse the developer the difference in cost of pipe and valves between that of the minimum diameter and the size stipulated by the city.*

(6) Coordination with Street Surfacing. *All underground utilities, sanitary sewers and storm drains installed in streets by the developer or by any utility company shall be constructed prior to the surfacing of the streets. Stubs for service connections for underground utilities and sanitary sewers shall be placed to a length minimizing the necessity for disturbing the street improvements when service connections are made.*

(7) As-Built Submittals. *A map showing all public improvements, as built, shall be filed with the city engineer upon completion of the improvements.*

(8) Conditions for Refund to Developer.

- (a) If required water mains or sewer facilities will without further construction other than individual laterals, directly serve properties outside the development, the city may enter into an agreement with the developer to require owners of the other benefiting properties to refund to the developer, a pro rata portion of the cost of the extension prior to allowing the benefiting property to connect thereto;*
- (b) Any such agreement shall contain a provision that the developer agrees to completely indemnify and hold harmless the city for any claim or injury or action arising from the city's administration of such agreement;*
- (c) The right to require such a refund shall not continue for more than 10 years after the date of installation of the extension;*
- (d) The amount to be refunded and the individual proration of the same shall be determined by the city and such determination shall be final.*

Finding: The materials provided in the application do not include plans for water, storm sewer, parking lot surfacing, or utility easements since the disturbance required for developing an additional 92 square feet of building space is minimal. However, the City Public Works and Engineering Departments provided comments that highlight the concern of sufficient sanitary sewer service, storm drainage, and sidewalks that meet current standards. These criterion are met as conditioned.

As such, the Planning Staff are recommending the Planning Commission APPROVE the Design Review Application No. Z0466-22-D.

Pursuant to Section 17.92.020 of the Gladstone Municipal Code, the decision of the Planning Commission may be appealed to the City Council within 15 days of the mailing of the Planning Commission's written decision. In order to appeal a decision of the Planning Commission, a party must have appeared orally or in writing before the Planning Commission. The filing fee for the appeal is \$250.00. If no appeal is filed within 15 days, the decision of the Planning Commission shall be final.

EXHIBITS



EXHIBIT 1
Location Map
Z0466-22-D

Page 24 of 28

Planting Strip in R-O-W.

Proposed addition to building.

Existing Commercial building



EXHIBIT 2
Aerial Images
from 02/12/22

Page 25 of 28

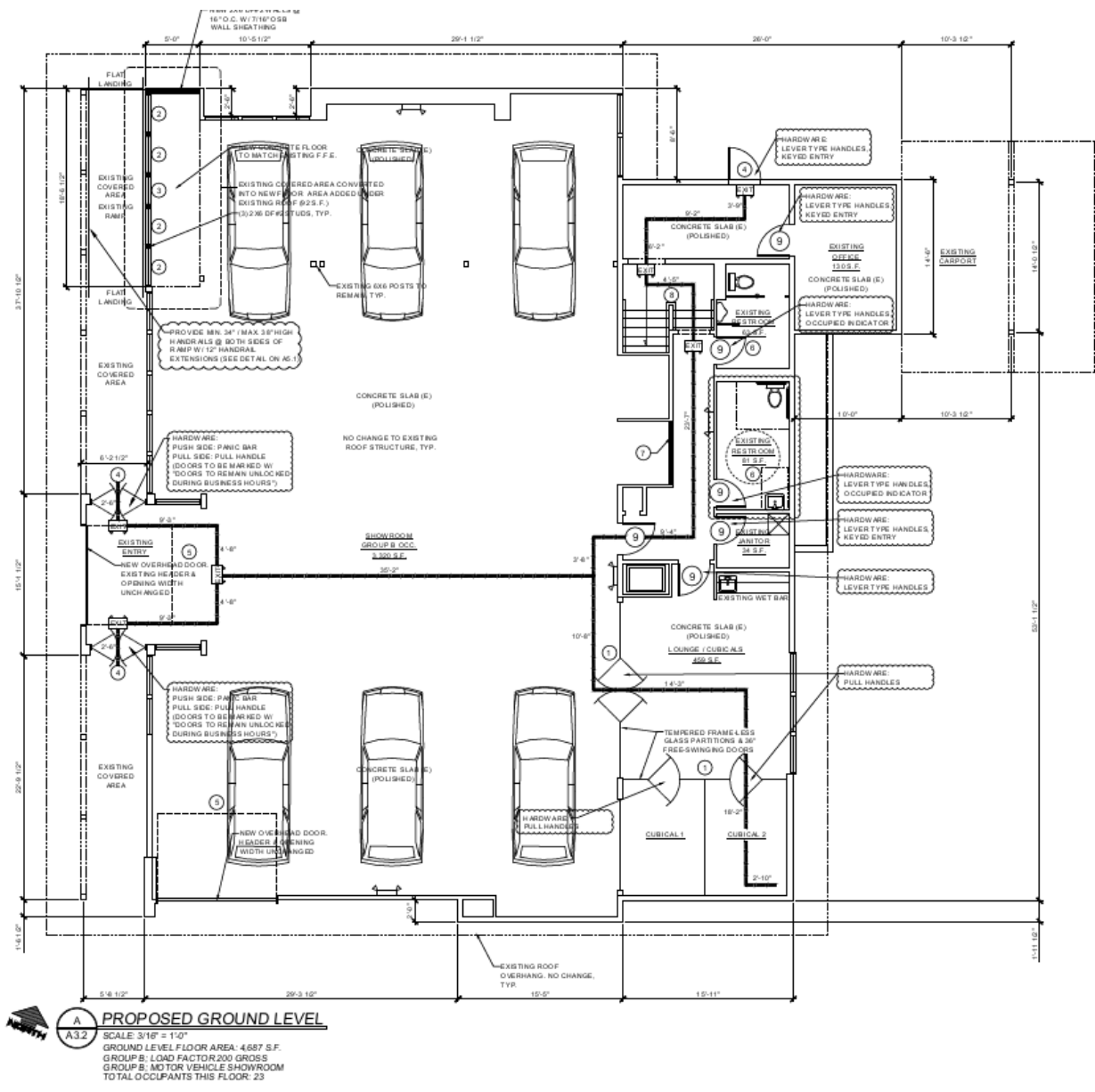
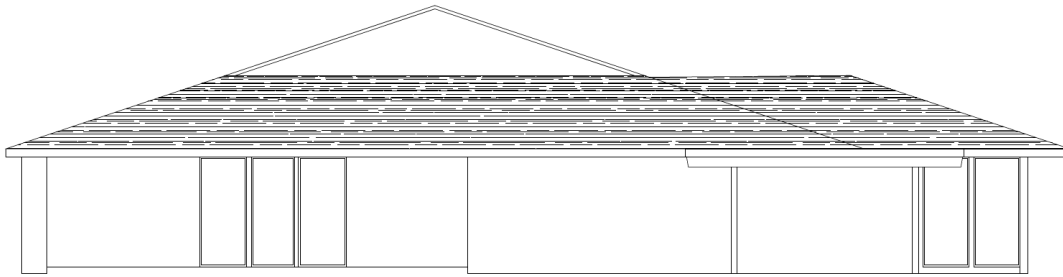
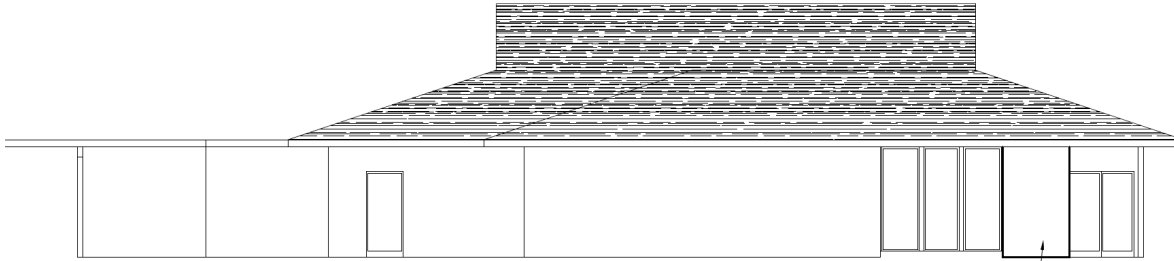


EXHIBIT 3
 Floor Plan with
 Building
 Expansion
 Z0466-22-D

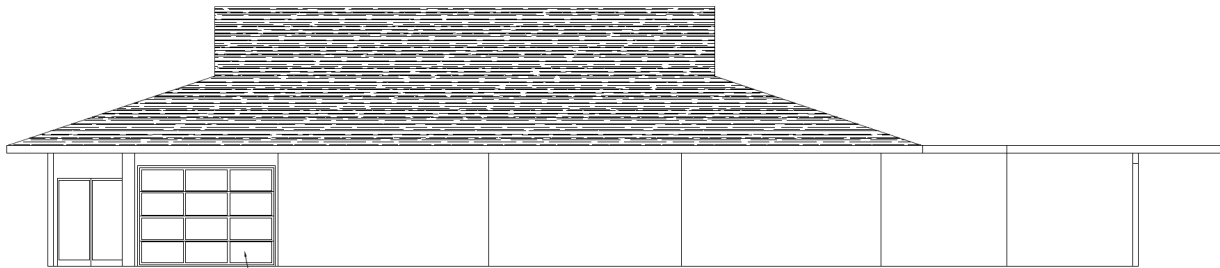


C
PROPOSED EAST ELEVATION
 A2.3 SCALE: 1/4" = 1'-0"



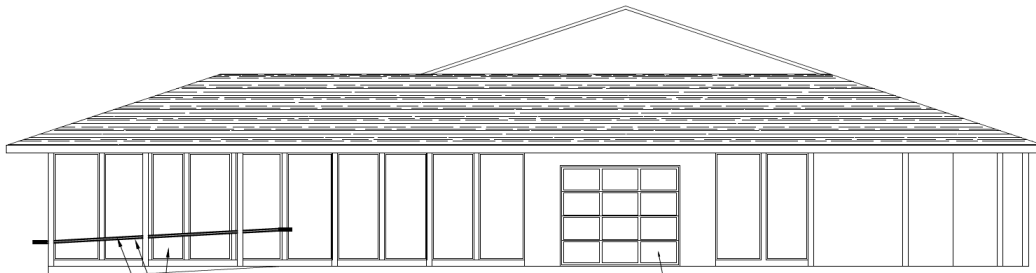
D
EXISTING NORTH ELEVATION
 A2.3 SCALE: 1/4" = 1'-0"

EXISTING COVERED AREA
 CONVERTED INTO NEW FLOOR
 AREA ADDED UNDER EXISTING
 ROOF (92 S.F.)



B
PROPOSED SOUTH ELEVATION
 A2.2 SCALE: 1/4" = 1'-0"

NEW OVERHEAD DOOR.
 EXISTING HEADER &
 OPENING WIDTH
 UNCHANGED

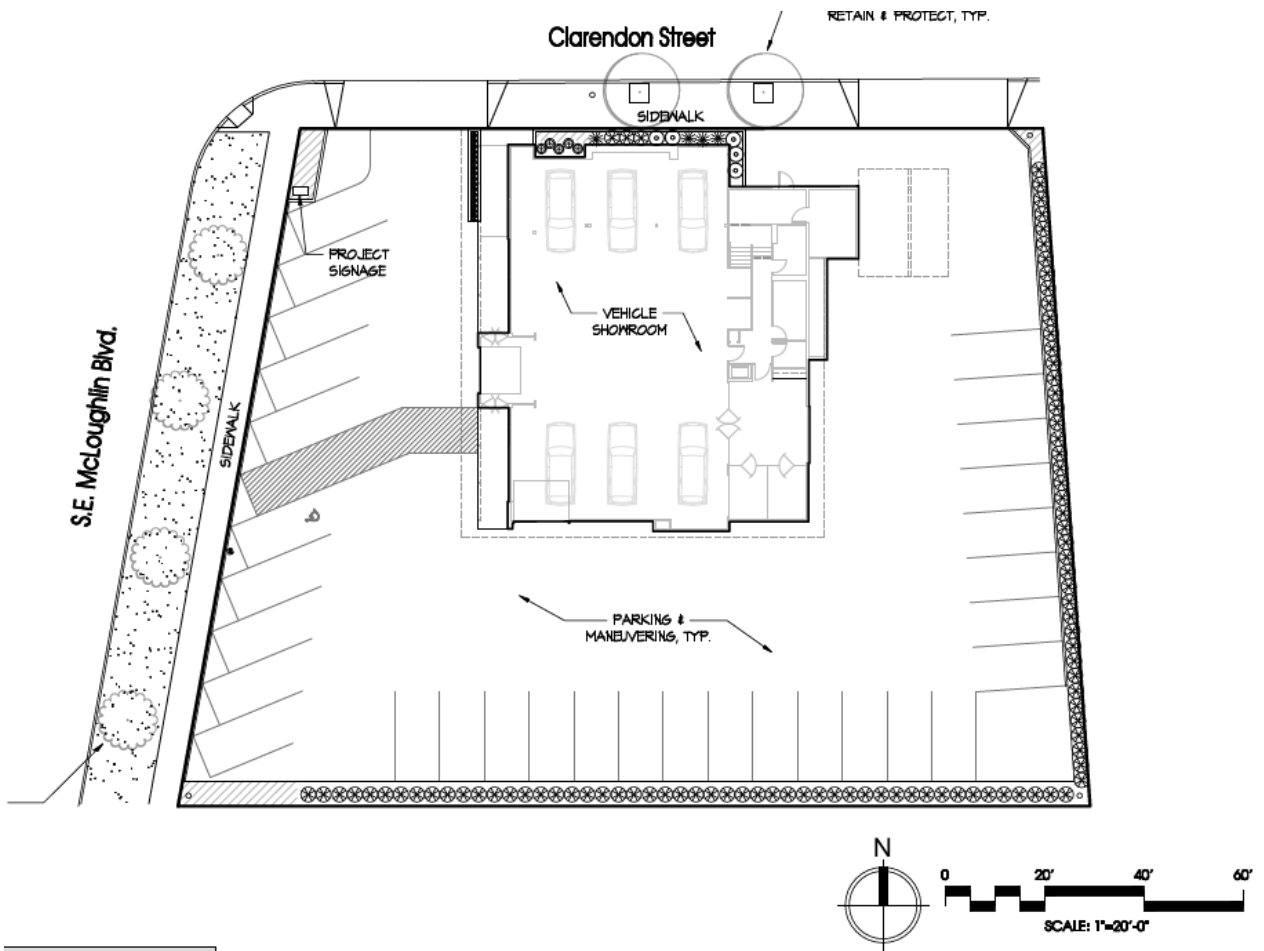


A
PROPOSED WEST ELEVATION (M'CLOUGHLIN BLVD)
 A2.2 SCALE: 1/4" = 1'-0"

NEW VINYL WINDOWS, TYP.
 EXISTING COVERED AREA
 CONVERTED INTO NEW FLOOR
 AREA ADDED UNDER EXISTING
 ROOF (92 S.F.)
 PROVIDE MIN. 34" / MAX. 38" HIGH
 HANDRAILS @ BOTH SIDES OF
 RAMP W/ 12" HANDRAIL
 EXTENSIONS (SEE DETAIL ON A5.1)

NEW OVERHEAD DOOR.
 EXISTING HEADER &
 OPENING WIDTH
 UNCHANGED

EXHIBIT 4
Exterior Renderings
Z0466-22-D



PLANT LEGEND			
SYMBOL	BOTANICAL / COMMON NAME	SIZE	QUANTITY
EXISTING TREES			
	EXISTING STREET TREE (CHERRY) RETAIN & PROTECT	12" ⁺	2
	EXISTING STREET TREE (OAK) RETAIN & PROTECT	5" ⁺	4
SHRUBS			
	ELONYMUS JAPONICA 'MICROPHYLLUS' BOXLEAF ELONYMUS	2 GAL.	5
	FESTUCA GLAUCA 'BOULDER BLUE' BOULDER BLUE FESCUE	1 GAL.	16
	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE	3 GAL.	45
	NANDINA DOMESTICA 'GULF STREAM' GULF STREAM HEAVENLY BAMBOO	3 GAL.	5
	PINUS MISO 'SLOMOUND' SLOMOUND MISO PINE	3 GAL.	4
GROUND COVER			
	ARCTOSTAPHYLOS UVA URSI 'MASS.' MASSACHUSETTS KINICKINICK	4" MIN.	30' O.G.
	TURF, SEED, OR SOD PER OWNER		

EXHIBIT 5: Landscaping Plan from 2022



**NOTICE OF PUBLIC HEARING
GLADSTONE PLANNING COMMISSION**

- DATE & TIME:** 12/20/22. This item will not begin earlier than **6:30 p.m.** However, it may begin later depending on the length of preceding items.
- PLACE:** Per the Governor’s Executive Order 20-16 and House Bill 2560, regarding compliance with Oregon’s public meetings laws, the City of Gladstone is abiding by social distancing requirements during the coronavirus pandemic. This public hearing will be conducted in person at the Gladstone City Hall located at 18505 Portland Avenue | Gladstone, OR 97027, as well as virtually using the Zoom platform. The Zoom link to the public hearing and details on how to observe and testify online or by telephone will be available after December 13th, 2022 on our website: <https://www.ci.gladstone.or.us/bc-pc/page/planning-commission-meeting-81>.
- FILE NO:** Z0466-22-D
- LOCATION** 19900 Mcloughlin Blvd. located on the eastern side of Mcloughlin BLVD at the intersection with W. Clarendon St.
- DEVELOPMENT PROPOSAL:** Applicant is proposing to expand the floor area to include a previously open area under the same roof, and change the use.
- APPLICABLE REVIEW STANDARDS:** Chapter 17.20, 17.80, along with the DIVISION IV and DIVISION VII, of Title 17 of the Gladstone Municipal Code.

All interested parties are invited to “attend” the hearing online or by telephone and will be provided with an opportunity to testify orally, if they so choose. Written testimony may be submitted by email, or regular mail. Please include the permit file number on all correspondence and address written testimony to the staff contact who is handling this matter. Any correspondence received in advance of the meeting will be forwarded to the Planning Commission.

A copy of the application, all documents and evidence submitted by or on behalf of the applicant, and applicable criteria are available for inspection at no cost. In addition, a staff report on the application will be available for inspection at no cost at least seven days prior to the hearing. Hard copies of documents will be provided at a cost of \$1 for the first page and 10 cents for each additional page or you may view or obtain these materials:

1. By emailing or calling staff, Joy Fields, at 503-742-4510 or jfields@clackamas.us; or
2. Online at <https://acela.clackamas.us/citizenaccess/>. After selecting the “Planning” tab, enter the permit file number to search. Then scroll down and select “Attachments,” where you will find the submitted application. For further information, contact Joy Fields at 503-742-4510 or jfields@clackamas.us.

Please note that failure to raise an issue in a hearing, in person, or by letter, or failure to provide statements or evidence sufficient to afford the decision maker an opportunity to respond to the issue precludes appeal to the Land Use Board of Appeals based on that issue.



Gladstone planning services are provided by Clackamas County. Submit all land use applications and correspondence to: Clackamas County Planning Division, 150 Beaver Creek Road, Oregon City, OR 97045
Phone: 503-742-4510 E-Mail: jfields@clackamas.us

ACCEPTANCE OF COMPLETE LAND USE APPLICATION

ORIGINAL DATE RECEIVED: 9/21/22

FILE NUMBER: Z0466-22

APPLICATION TYPE: Design Review

**This application has been reviewed by staff and determined to be complete
on November 28, 2022.**

Joy Fields
Signature

Sr. Planner, Contract Planner for Gladstone
Title

120-DAY DEADLINE: March 28, 2023



GLADSTONE

Oregon

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Phone: 503-742-4510 E-Mail: jfields@clackamas.us

DESIGN REVIEW INFORMATION SHEET

WHAT IS DESIGN REVIEW?

Design review is required for all institutional, commercial, industrial and multifamily developments except as specifically exempted by Section 17.80.021 of the Gladstone Municipal Code (GMC). Design review provides a process for evaluating such elements as building design, landscaping, parking, street improvements and utilities.

WHAT IS NEEDED FOR APPROVAL?

All design review applications are discretionary and may be approved after evaluation according to criteria in the GMC. The city must make written findings to support the decision. The applicant is responsible for providing evidence to support a design review request, according to the following chapters of the GMC: Chapter 17.80, the chapter regulating the underlying zoning district of the subject property and the chapters of Division IV of Title 17.

WHAT ARE CHANCES FOR APPROVAL?

Staff cannot predetermine the decision on any application. A decision will only be made after the complete application is processed. This includes review of citizen and agency comments. The decision is based on criteria appropriate to the application as listed in the GMC. To address the necessary criteria, the information requested in the application form and required to be included on submitted plans should be as thorough as possible.

APPLICATION PROCESS

Design review applications are subject to the quasijudicial process and public notice. Public comments received from property owners, agencies, and other interested parties may affect the decision on the application. Special conditions may be attached to an approval. All design review applications are reviewed at a public hearing before the Gladstone Planning Commission. The Planning Commission's decision may be appealed to the City Council, where an additional public hearing will be held. The City Council's decision may be appealed to the Oregon Land Use Board of Appeals.

HOW DO I MAKE A DESIGN REVIEW APPLICATION?

- Complete a City of Gladstone Land Use Application- attached.
- Provide plans according to the requirements of Chapter 17.80.061 of the GMC.
- Submit the application form, plans and application fee of 0.384% of the construction cost (minimum fee is \$785, maximum fee is \$36,835) to the Clackamas County Planning Division. Provide a statement giving the estimated cost of construction (labor and materials). Once your application is deemed complete, **submit a minimum of twelve copies of large plans or other items that cannot easily be reproduced by the Planning Division.**
- Although not required, it is strongly suggested that you attend the Planning Commission and, if applicable, the City Council hearings to speak on behalf of your proposal.



DESIGN REVIEW LAND USE APPLICATION

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 Submit all land use applications and correspondence to:
 Clackamas County Planning Division,
 150 Beavercreek Road, Oregon City, OR 97045
 Phone: 503-742-4510 E-Mail: jfields@clackamas.us

• FOR STAFF USE ONLY •

File No: Z0466-22-D Other Related Permit Applications _____
 Pre-app: Staff _____ Date _____ Staff Member: _____
 Date Received: 09/21/22 Fee \$1340 Zone: _____
 Hearing Date: _____ Comp. Plan: _____

• APPLICANT INFORMATION •

PLEASE TYPE OR PRINT IN BLACK INK ONLY

Contact Information:	<input type="checkbox"/> Owner	<input type="checkbox"/> Architect	<input type="checkbox"/> Engineer	<input type="checkbox"/> Other
Contact/Applicant's Name: <u>Edward Radulescu / EPR Design LLC</u>				
Mailing Address: <u>8800 SE Sunnyside Rd. #213N</u>		City/State/Zip: <u>Clackamas, Oregon 97015</u>		
E-Mail: <u>eddie@eprdesign.com</u>		Phone: <u>503-679-2493</u>		

Contact Information:	<input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Architect	<input type="checkbox"/> Engineer	<input type="checkbox"/> Other
Contact/Applicant's Name: <u>Samuel Circea</u>				
Mailing Address: <u>19900 McLoughlin Blvd</u>		City/State/Zip: <u>Gladstone, Oregon 97027</u>		
E-Mail: <u>Cercea1@hotmail.com</u>		Phone: <u>503-896-3902</u>		

Property Information
Site Address: <u>19900 McLoughlin Blvd.</u>
Total Land Area: <u>0.52 Acres</u>
Legal Description: T _____ S, R _____ E/W/Q, Section _____ Tax Lot(s) <u>22E19DD06100</u> <i>(For property legal description, contact Planning at 503-742-4500)</i>
Adjacent Properties under Same Ownership: T _____ S, R _____ E/W/Q, Section _____ Tax Lot(s) _____
Project Description: <u>Addition to the existing building of 92 SF under existing roof, interior alterations, and change of use from a bank to a motor vehicle showroom and sales office. Response to Violation# V0049821.</u>
Current Zoning: <u>C-3</u>
Construction Cost: <u>\$85,000</u>
Existing Use of Site: <u>Vehicle Showroom</u>
Proposed Square Footage: <u>92 SF New</u>

Method of Sewage Disposal: Sewer (Existing)

Water Supply: Public (Existing)

Commercial/Industrial/Institutional Development:
 Number of employees/students/occupants: 4 Employees Days of operation: Monday-Saturday
 Estimated hours of daily operation: 8 am - 8 pm

Is the property under enforcement action for a violation of the Gladstone Municipal Code? No Yes

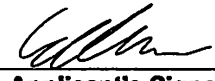
Other Persons (if Any) To Be Mailed Notices Regarding This Application:

Name	Address	Zip	Relationship
Samuel Cercea	19900 McLoughlin Blvd	97027	Owner

I hereby certify the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge.



 Owner's Signature
 Samuel Cercea
 Owner's Name (Print)



 Applicant's Signature
 Edward Radulescu
 Applicant's Name (Print)

• SUPPLEMENTAL QUESTIONS •

Describe your proposed development. Identify the number of people associated with the use (employees, students, congregation members, clients, etc.); days and hours of operation; building materials, including type and color; and additional information about the buildings, vehicles, equipment, and square footage associated with the use: _____

The proposal includes the addition of 92 s.f. feet of space that was added under existing roof by enclosing a portion of the covered walkway area and painting the exterior of the building black and white. The building was changed from a bank to a vehicle showroom and sales

Identify how your proposal meets the building siting and design standards pursuant to GMC Chapter 17.44.

The building is existing and only minor alterations were done to the building which do not affect any of the Siting Standards

Identify how your proposal meets the landscaping requirements pursuant to GMC Chapter 17.46.

A total of 3463 s.f. of landscapis on site and in conjunction with 17.46.020(9)(C) for a total of 15% of the site area.

Identify how your proposal meets the off-street parking and loading standards pursuant to GMC Chapter 17.48

No change is proposed from the previous use. The previous use parking requirement for a Bank is greater than that of a Sales or Retail use as the one being proposed.

Identify how your proposal meets the vehicular and pedestrian circulation standards pursuant to GMC Chapter 17.50.

The site has defined vehicle areas, parking areas, van accessible parking space, defined onsite pedestrian walkway and walkways connecting to the public sidewalk from the entrance.

If your proposal includes the installation or modification of a sign, identify the dimensions and explain how it meets the standards pursuant to GMC Chapter 17.52.

The existing bank sign dimensions, style, and lighting type was used. Only the insert was changed with the business name and the color the sign is now black and white.

Explain why the use is suitable for the proposed site, considering size, shape, location, topography, existence of improvements and natural features:

A vehicle showroom is suitable due to zoning and location on McLoughlin Blvd. The parking area is also large enough to accommodate the use as well as being a flat and accessible site.

Explain why the use will not alter the character of the surrounding area in a manner that substantially limits, impairs or precludes the use of surrounding properties for the primary uses listed in the underlying zoning district:

The area is a high traffic use and is the main street around the area with automotive dealerships, sales, service, etc.

Provide additional information regarding clear vision, drainage, grading, utilities, or other items relevant to new construction or site development:

No changes were made from the existing layout of the site with regards to clear vision, drainage, grading, utilities or any other site characteristic from what the previous bank use building had. The modifications were minor and mainly included interior alterations.

(Use additional sheets to answer questions if necessary)



LAND USE APPLICATION

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 Submit all land use applications and correspondence to:
 Clackamas County Planning Division, 150 Beaver Creek Road, Oregon City, OR 97045
 Phone: 503-742-4510 E-Mail: jfields@clackamas.us

A completed application includes the LAND USE APPLICATION and the items identified in the appropriate SUPPLEMENTAL APPLICATION.

- ✓ Please answer all questions. If a question is not applicable to your project, indicate "N.A."
- ✓ Incomplete applications will not be accepted for filing.
- ✓ All exhibits must be legible.

● FOR STAFF USE ONLY ●

File No: _____ Other Related Permit Applications: _____
 Pre-app: Staff _____ Date _____ Staff Member: _____
 Date Received: _____ Fee _____ Zone: _____
 Hearing Date: _____ Comp. Plan: _____

● APPLICANT INFORMATION ●

PLEASE TYPE OR PRINT IN BLACK INK ONLY

SECTION I. APPLICANT/ PROPERTY OWNER

NAME OF APPLICANT Radulescu Edward
LAST FIRST

MAILING ADDRESS 8800 SE Sunnyside Rd. #213N CITY Clackamas ST OR. ZIP 97015

APPLICANT IS: LEGAL OWNER CONTRACT BUYER OPTION BUYER AGENT

NAME OF CONTACT PERON (if other than applicant) _____

MAILING ADDRESS OF CONTACT _____

PHONE NUMBERS OF: APPLICANT: WK 503-679-241 HM _____ CONTACT PERSON: WK: 503-679-2 HM _____

EMAIL OF APPLICANT: eddie@eprdesign.com

SITE ADDRESS: 19900 McLoughlin Blvd. TOTAL LAND AREA: 0.52 Acres

LEGAL DESCRIPTION: T _____ R _____ SECTION _____ TAX LOT(S) 22E19DD06100

ADJACENT PROPERTIES UNDER SAME OWNERSHIP: T _____ R _____ SECTION _____ TAX LOT(S) _____

OTHER PERSONS (IF ANY) TO BE MAILED NOTICES REGARDING THIS APPLICATION:

Samuel Cercea 19900 McLoughlin Blvd. Gladstone, Oregon 9 Owner
NAME ADDRESS ZIP RELATIONSHIP

NAME ADDRESS ZIP RELATIONSHIP

I hereby certify the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge.

OWNER'S SIGNATURE _____

Samuel Cercea

OWNER'S NAME (Print)

APPLICANT'S SIGNATURE _____

Edward Radulescu

APPLICANT'S NAME (Print)

Contacts

Planning, Building and Development

Planning Staff Main Number: 503-742-4500
Joy Fields, JFields@clackamas.us or 503-742-4510 and Lizbeth Dance, LDance@clackamas.us
Gladstone Municipal Code: <https://www.codepublishing.com/OR/Gladstone>
GIS Mapping: https://maps.orcity.org/Html5Viewer_2_12_1/Index.html?viewer=Gladstone.Gladstone

City Hall 525 Portland Avenue, Gladstone, OR 97027 Office Hours: Monday – Friday, 8:00 a.m. to 5:00 p.m.	Administrator, Jacque Betz betz@ci.gladstone.or.us Tami Bannick bannick@ci.gladstone.or.us 503-656-5225
Public Works Department 18595 Portland Avenue, Gladstone, OR 97027 Hours: Monday – Friday, 8:00 a.m. to 3:30 p.m.:	Director, Jim Whynot: whynot@ci.gladstone.or.us 503-656-7957
Fire Department 555 Portland Avenue, Gladstone, OR 97027 Business Hours: Monday – Friday, 8:00 a.m. to 5:00 p.m.	Chief, Mike Funk: funk@ci.gladstone.or.us 503-557-2775
Clackamas County Building Codes Division Building information: www.clackamas.us/building/	503-742-4240
Building Permit Inspection Line	503-742-4720
Building Permit Specialist	503-742-4240
Richard Carlson Structural Review	richardcar@clackamas.us 503-742-4769
Doug Rudisel Electrical Plan Review	dougrud@clackamas.us 503-742-4764
Wayne Seiffert Plumbing Inspector Supervisor	waynesei@clackamas.us 503-742-4777
Police Department 535 Portland Avenue, Gladstone, OR 97027 Business Hours: Monday – Friday, 8:00 a.m. to 5:00 p.m.	Nuisance Concerns 503-557-2763
CLACKAMAS COUNTY SURVEYOR Surveys, Plats, Partitions and Public Land Corners: www.clackamas.us/surveyor/	503-742-4475

GENUINE MOTOR COMPANY T.I.

PROJECT DIRECTORY:

OWNER: GENUINE INVESTMENTS, LLC
 GENERAL CONTRACTOR: SAM CERCEA
 ARCHITECT: EPR DESIGN LLC
 APPLICANT/CONTACT: EPR DESIGN LLC
 919 NE 9TH AVE, SUITE 155
 PORTLAND, OR 97232
 EDDIE@EPRDESIGN.COM
 TURNER ENGINEERING & DESIGN INC.
 10000 NE LAUREN, P.E.
 PO BOX 220
 EAGLE CREEK, OR 97022
 503/970-0897

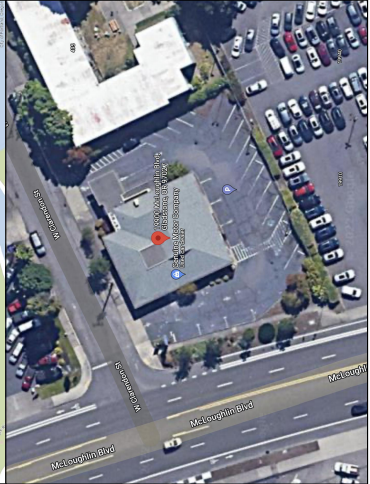
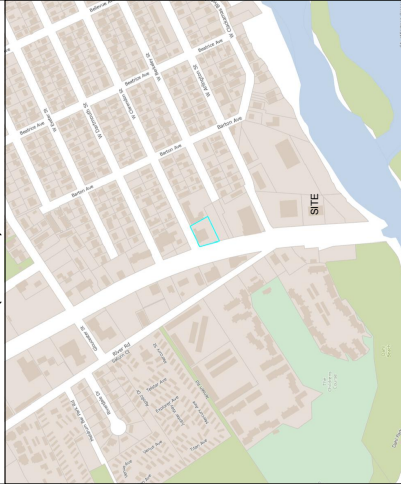
PERMIT DRAWING INDEX:

SHEET #	DESCRIPTION
CS	COVER SHEET / DIRECTORY / DEFERRED SUBMITTALS / GENERAL NOTES
A1.0	PERMIT PROJECT INFORMATION / CODE SUMMARY
A1.0	SITE PLAN
A2.0	EXISTING BUILDING ELEVATIONS
A2.2	PROPOSED BUILDING ELEVATIONS
A2.3	PROPOSED BUILDING ELEVATIONS
A3.1	EXISTING GROUND LEVEL FLOOR PLAN
A3.1	PROPOSED GROUND LEVEL FLOOR PLAN
A4.2	TYPICAL CEILING DETAIL
A4.2	TYPICAL EXTERIOR ENVELOPE DETAILS
A5.0	EXISTING FOUNDATION DETAIL
S1.0	EXISTING BASEMENT LAYOUT / STRUCTURAL PLAN
S2.0	PROPOSED FRAMING PLAN
S3.0	SHEAR WALL PLAN

FRONT VIEW:



VICINITY MAP (N.T.S.)



DEFERRED SUBMITTALS / SEPARATE PERMITS:

- MECHANICAL
- ELECTRICAL
- PLUMBING

ELECTRICAL LOW VOLTAGE SYSTEMS REQUIRED:

- SECURITY SYSTEM
- DATA, VOICE, T.V.

Genuine Motor Company
 Indoor Vehicle Showroom
 19900 SE McLaughlin Blvd.
 Gladstone, Oregon

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COVER SHEET
 REV. NO. DATE:



PERMIT SET
 DATE: 4/14/2022
 DRAWN BY:
 REVIEWED BY:
 SHEET: CS

GENERAL NOTES:

- THE GENERAL CONTRACTOR SHALL SCHEDULE A FIRE STOPPING MATERIALS. EACH SUBCONTRACTOR WILL PROVIDE A LIST OF PENETRATIONS WHERE EACH MATERIAL ASSEMBLY WILL BE USED, AND THE LISTING AND APPROVAL INFORMATION (IE U.L. OR OTHER LISTING) TO BE SUBMITTED TO, AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO ANY INSTALLATION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWING. DO NOT SCALE DRAWING TO DETERMINE ANY LOCATIONS. THE DESIGNERS ARE NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY OCCUR CONTINUING WITH WORK. DIMENSIONS ARE TAKEN TO THE FOC, FOM, GRID, FOS, OR FOF, UNO.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 OREGON STRUCTURAL SPECACITY CODE, COMMINASITY, 15009, & ALL LOCAL GOVERNING BUILDING CODES & ORDINANCES.
- THE CONTRACTOR IS SOCIETLY RESPONSIBLE FOR ALL CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LATERAL & VERTICAL CARRYING SYSTEMS ARE COMPLETED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION & CORRECTION OF DRAWINGS TO CORRECT ANY ERRORS FOR THE ACCURATE LOCATIONS OF STRUCTURAL MEMBERS, & OPENINGS FOR CONTRACTORS SHALL VERIFY ALL DIMENSIONS & OPENING SIZES (CLEARANCES REQUIRED) FROM REFER PRIOR TO CONSTRUCTION & INSTALLATION OF EQUIPMENT, FURNISHINGS, ACCESSORIES, ETC.
- DETAILS NOTED AS "TYPICAL" OR "TYP" APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THE CONTRACTOR SHALL TAKE PRECEDENCE OVER "TYPICAL" OR "TYP" DETAILS. SPECIFIC DETAILS & NOTES SHALL TAKE PRECEDENCE OVER GENERAL NOTES & DETAILS.
- WHERE COMPONENTS, ASSEMBLIES, ITEMS, EQUIP, ETC. ARE BASED ON MANUFACTURER'S SPECIFICATIONS, THE CONTRACTOR SHALL MAKE ANY CHANGES REQUIRED FOR THE APPROVED & ALTERNATE TO MEET THE DESIGN INTENT OF THE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE COMPLETION OF THE SITE WHILE THE JOB IS IN PROGRESS & UNTIL JOB COMPLETION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT & TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR THE RESPONSIBILITY FOR ANY DAMAGE TO EXISTING UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE PROSECUTION OF THE WORK. SEE CIVIL DRAWINGS FOR ADDITIONAL.

GENERAL NOTES CONT'D:

- CONTRACTOR SHALL VERIFY ALL COMPONENTS TO BE INSTALLED IN MASONRY COURSES PRIOR TO FABRICATION PURCHASE, INSTALLATION, ETC.
- ALL UNPAINTED FERROUS METALS EXPOSED TO THE WEATHER SHALL BE GALVANIZED UNO.
- SEPARATE ALL ALUMINUM & OTHER METALS FROM DIS-SIMILAR METALS WITH BITUMINOUS TAPE OR PT.
- SILICONE CAULK SHALL BE USED TO SEAL ALL JOINTS OF MILLWORK, TRIM, EQUIPMENT WALL MOUNTING PENETRATIONS IN WALLS OR SHALL BE LOCATED BY DIMENSIONS SHALL BE CENTERED IN WALL OR SHALL BE LOCATED FOUR INCHES FROM FINISH WALL TO HINGE SIDE OF DOOR.
- CONTRACTOR TO PROVIDE BACKING OR BLOCKING AS REQUIRED FOR MOUNTING ALL GRAB BARS, SHELVES, EQUIPMENT, HAND RAILS, ACCESSORIES, CABINETS, ETC TO FINISH WALLS.
- PROVIDE ACCESS PANELS AS REQUIRED. LOCATION FINISH WALL SHALL BE APPROVED BY THE BUILDING INSPECTOR. INSTALLING DOOR LOCATIONS NOT APPROVED SHALL BE RATED PANELS. INSTALLATION IN ADDITION TO CODE REQUIREMENTS SHALL PENETRATE A RATED ASSEMBLY.
- PROVIDE DEFLECTION HEADS AT ALL WALLS THAT GO TO STRUCTURE.
- PROVIDE SEAWANT & PAINT ALL JOINT CONNECTIONS OF MASONRY & GYP. WALL BRD. SO NO GAPS EXIST - PAINT TO MATCH GYP WALL BRD.



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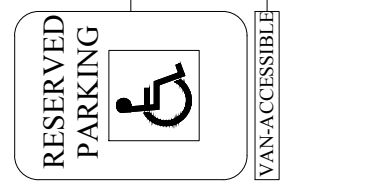
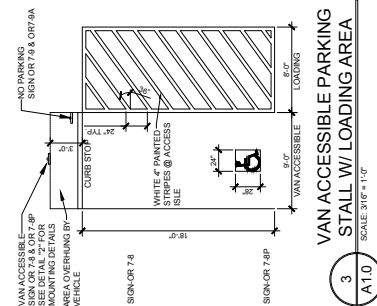
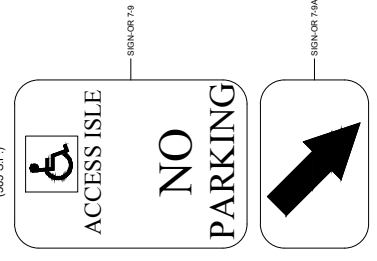
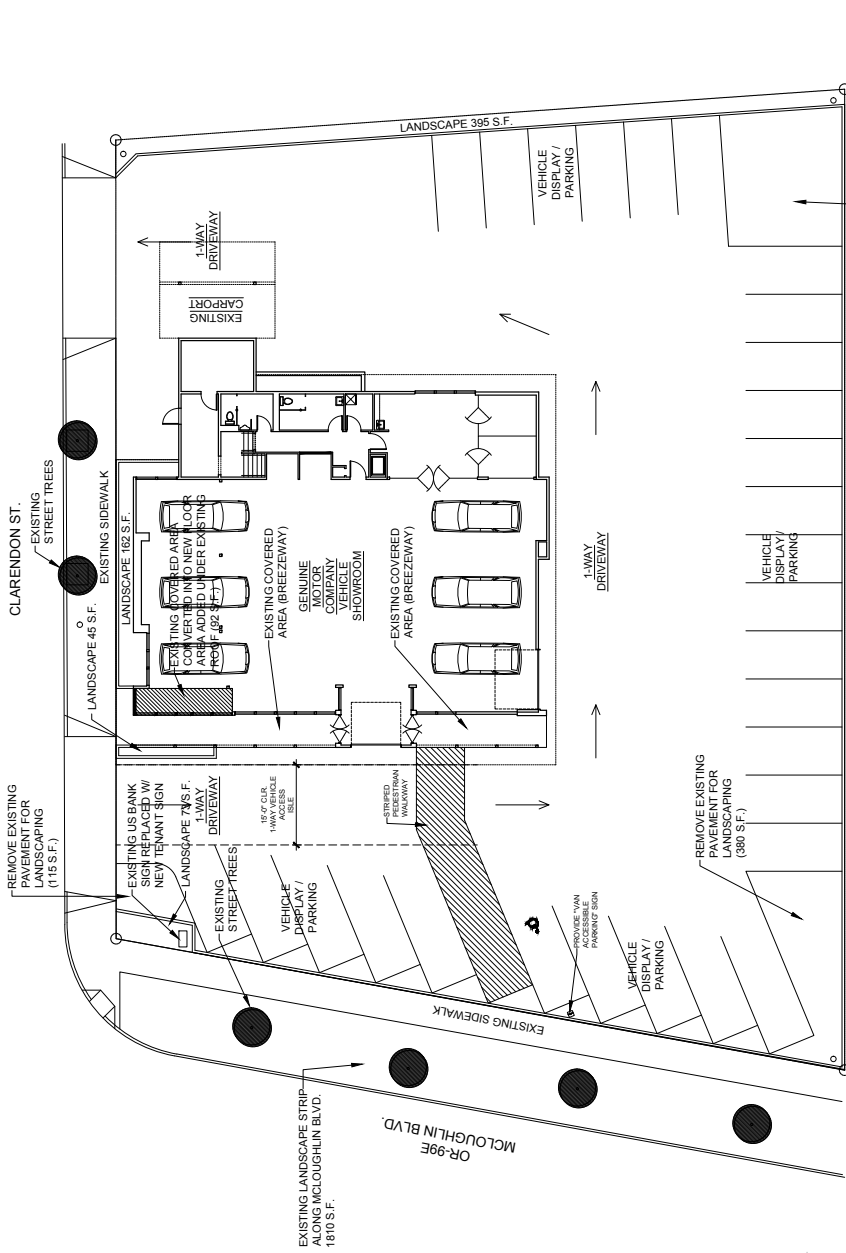


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SITE PLAN

REV. NO. **A** DATE: _____
PERMIT SET
DRAWN BY: _____
DATE: 4/14/2022
DRAWN BY: _____
SHEET: **A1.0**



A SITE PLAN
SCALE: 3/32" = 1'-0"

SITE INFORMATION:
SITE ADDRESS: 1990 SE MCGLOUGHLIN BLVD., GLADSTONE, OR 97030
PROJECT NO.: 2021-001
DATE: 4/14/2022
DRAWN BY: M. J. TURNER
CHECKED BY: M. J. TURNER
SCALE: 3/32" = 1'-0"

GENERAL SITE PLAN NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.



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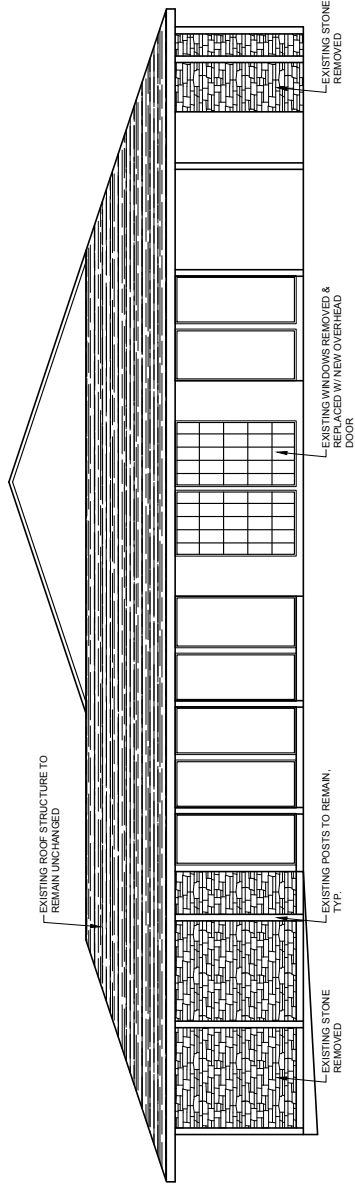
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EXISTING
 BUILDING
 ELEVATIONS

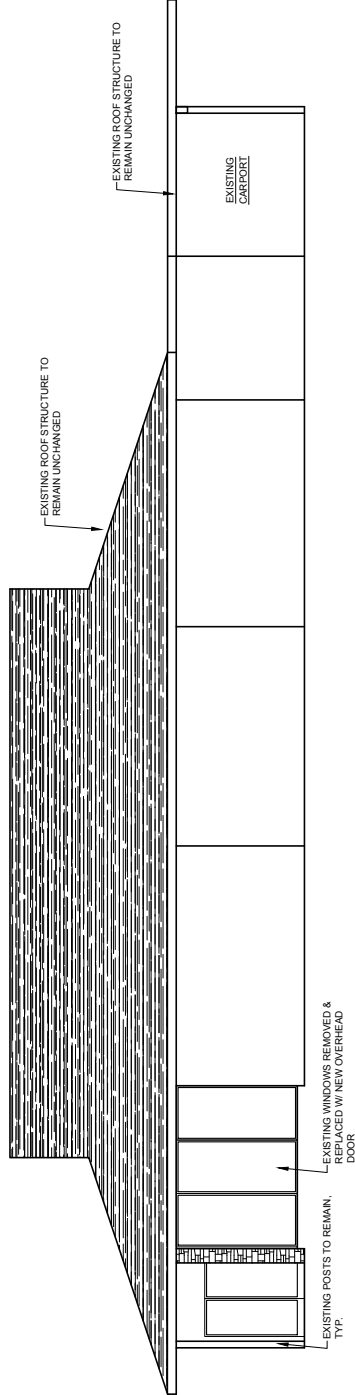
REV. NO. DATE:
 1

PERMIT SET
 DATED: 4/14/2022
 DRAWN BY:
 SHEET:

A2.0



EXISTING WEST ELEVATION (M'CLOUGHLIN BLVD)
 A A2.0 SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION
 B A2.0 SCALE: 1/4" = 1'-0"



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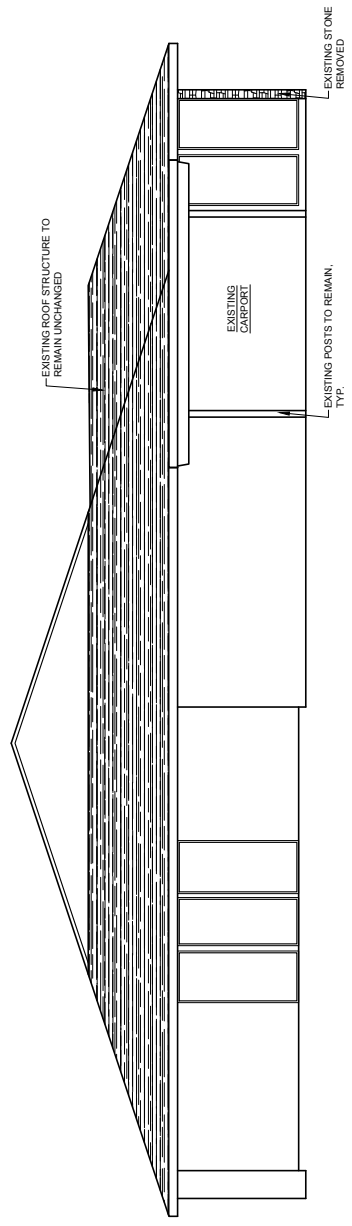
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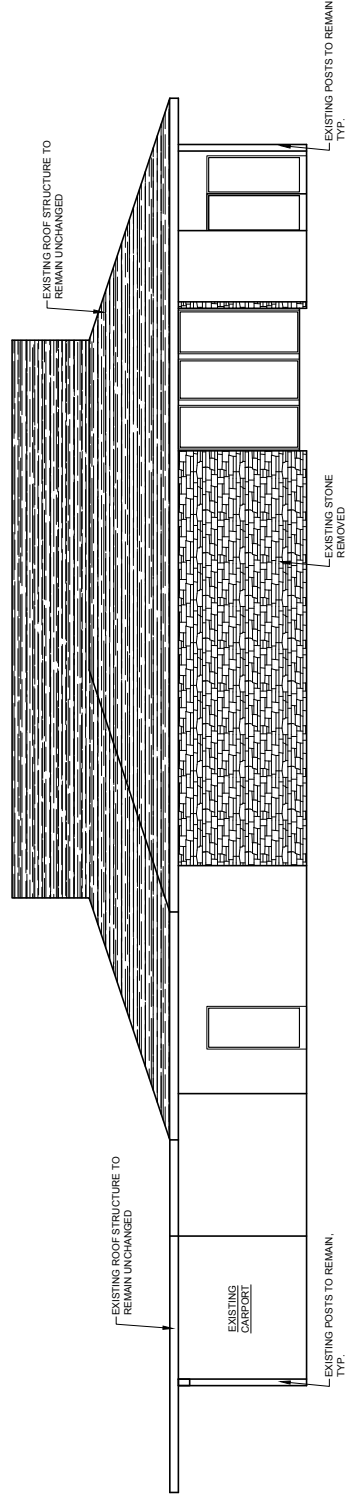
**EXISTING
 BUILDING
 ELEVATIONS**
 REV. NO. DATE:
 1

PERMIT SET
 DATED: 4/14/2022
 DRAWN BY:
 SHEET:

A2.1



**EXISTING
 EAST ELEVATION**
 C
 A2.0 SCALE: 1/4" = 1'-0"



**EXISTING
 NORTH ELEVATION**
 D
 A2.0 SCALE: 1/4" = 1'-0"



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**PROPOSED
 BUILDING
 ELEVATIONS**

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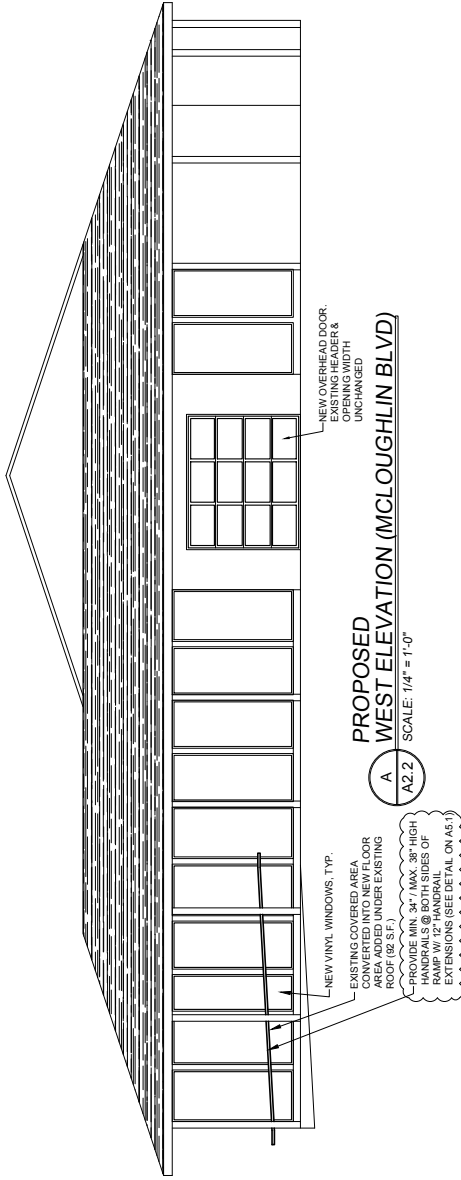
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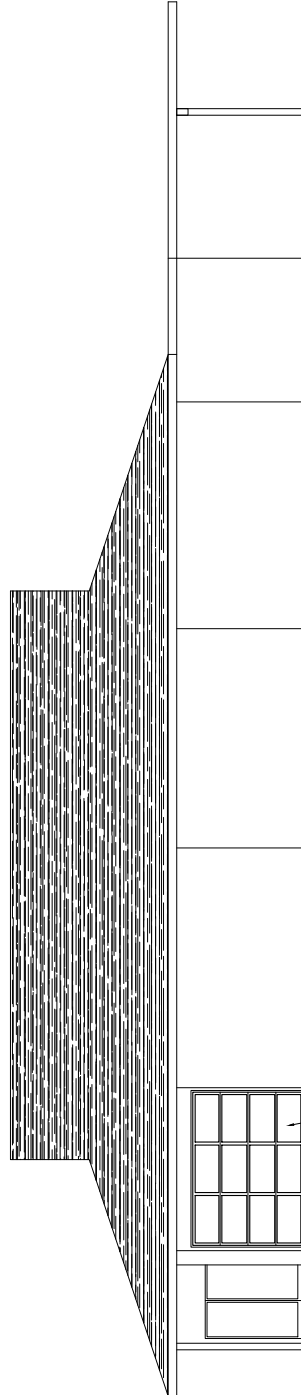
SHEET:

A2.2



**PROPOSED
 WEST ELEVATION (MCLOUGHLIN BLVD)**

A
 A2.2
 SCALE: 1/4" = 1'-0"



**PROPOSED
 SOUTH ELEVATION**

B
 A2.2
 SCALE: 1/4" = 1'-0"



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**PROPOSED
 BUILDING
 ELEVATIONS**

REV. NO. DATE:

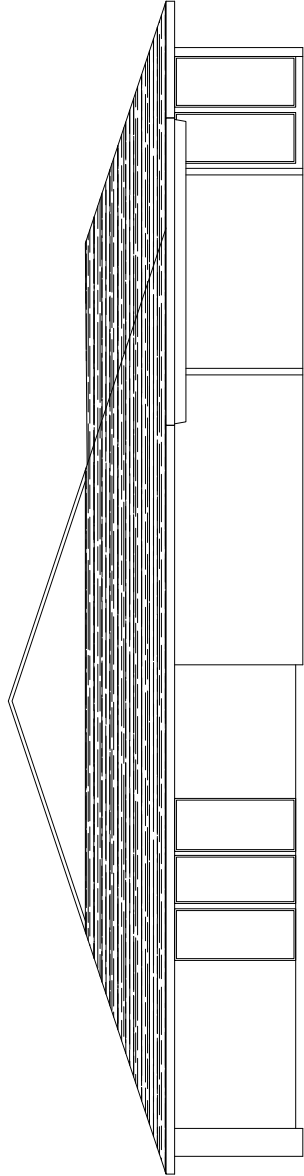
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DATED: 4/14/2022

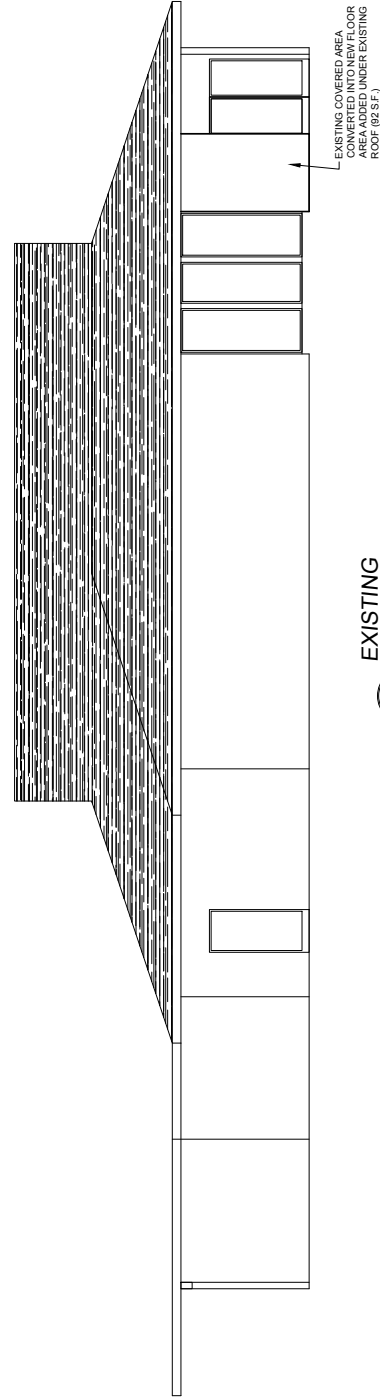
DRAWN BY:

SHEET:

A2.3



C
A2.3
**PROPOSED
 EAST ELEVATION**
 SCALE: 1/4" = 1'-0"



D
A2.3
**EXISTING
 NORTH ELEVATION**
 SCALE: 1/4" = 1'-0"



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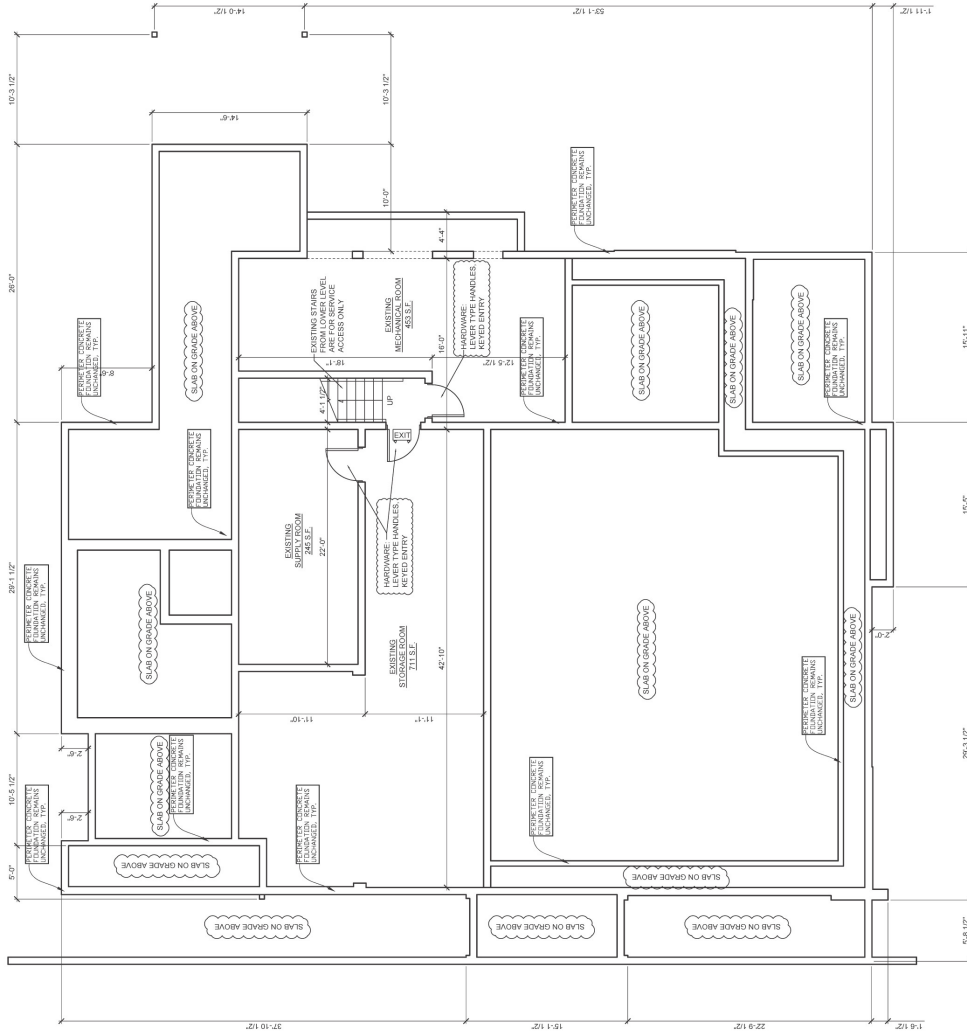
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EXISTING
 BASEMENT
 FLOOR PLAN

REV. NO. DATE

PERMIT SET
 DATED: 4/14/2022
 DRAWN BY:
 SHEET:

A3.0



NO CHANGES OR WORK PROPOSED THIS FLOOR

291.3 1/2\"/>
EXISTING BASEMENT PLAN
 SCALE: 3/16\"/>

A3.0
 BASEMENT FLOOR AREA: 1,480
 GROUP: 621-58 (BASEMENTS)
 TOTAL OCCUPANTS THIS FLOOR: 4



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**EXISTING
 GROUND
 FLOOR PLAN**

REV. NO. _____ DATE _____

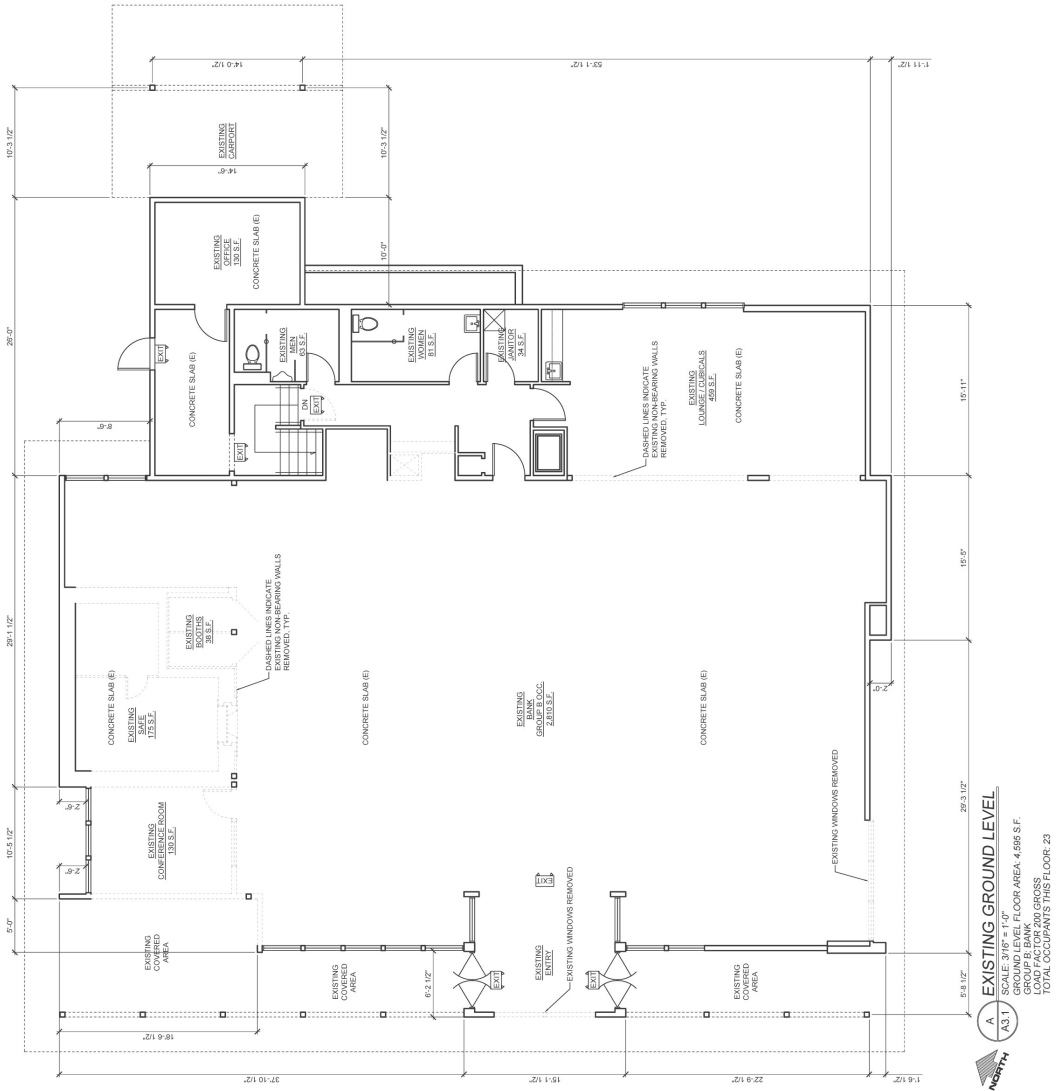
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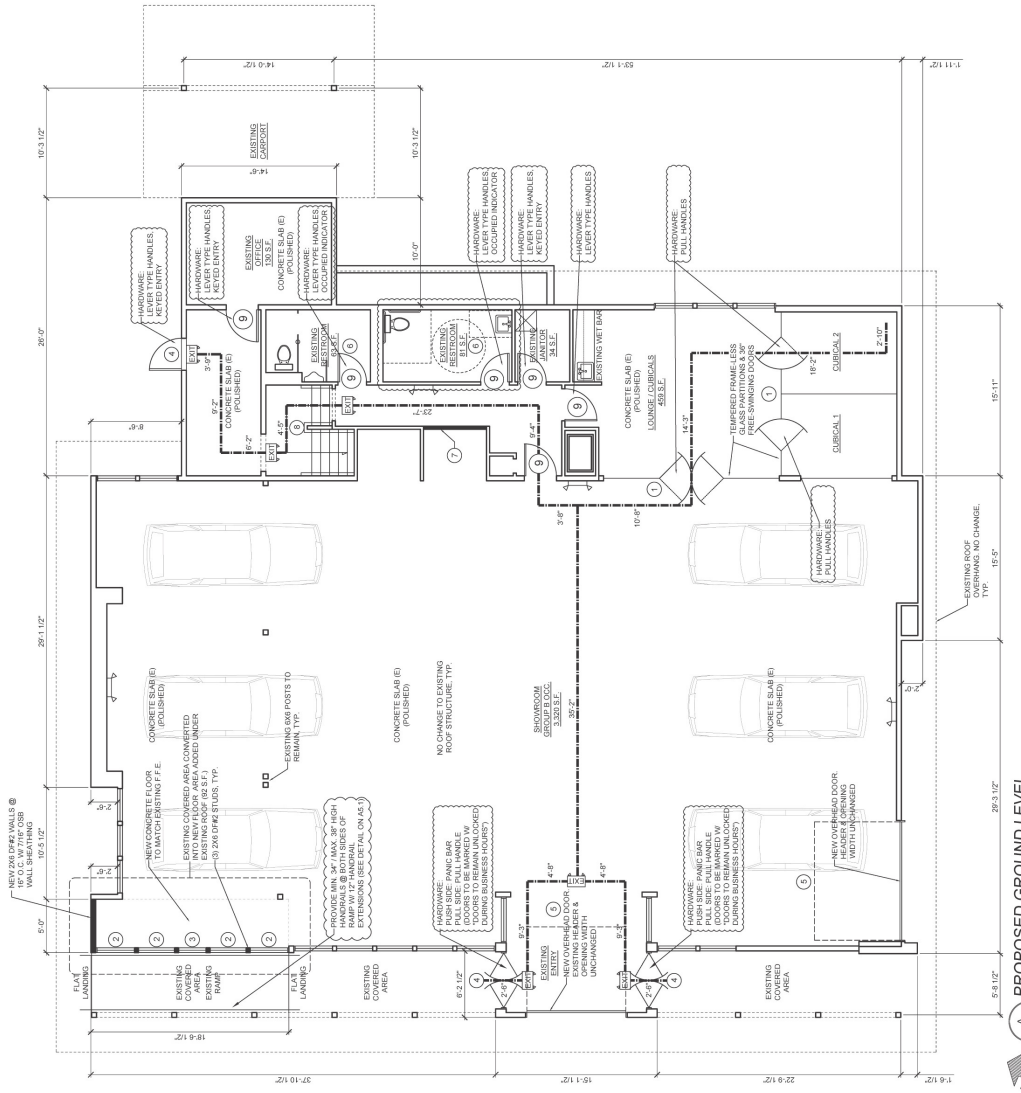
DRAWN BY: _____

DATE: 4/14/2022

SHEET:

A3.1





PROPOSED GROUND LEVEL
SCALE: 3/16" = 1'-0"
GROUND LEVEL FLOOR AREA = 4,687 S.F.
GROUP B MOTOR VEHICLE SHOWROOM
TOTAL OCCUPANTS THIS FLOOR: 23

LEGEND:

- EXISTING 2x STUD WALL TO REMAIN
- NEW 2x FRAMING (SEE REMARKS)
- BATTERY BACKUP (MIN. 1 FOOT CANDLE ILLUM.)
- EGRESS LIGHT FIXTURE (BAG (E) IS W/ BATTERY BACKUP (MIN. 1 FOOT CANDLE ILLUM.))
- TRAVEL DISTANCE IN FEET ALONG CENTER PATH, TYP.

KEY NOTES:

1. EXISTING 2x STUD WALL TO REMAIN WITH STAINLESS STEEL CONNECTORS, TYP.
2. NEW 2x4 TO TEMPERED GLASS VINYL WINDOW
3. EXISTING EMERGENCY EXIT DOOR W/ PANIC BAR ACCESSORIES TO REMAIN UNLOCKED DURING BUSINESS HOURS. PROVIDE MIN. 34" MAX. 38" HIGH RAMP WITH 1:12 SLOPE TO REMAIN UNLOCKED DURING BUSINESS HOURS.
4. NEW 2x4 STUD WALLS W/ 1/2" GYP BOARD, PROVIDE 4" BASE LINO. TILE & RESTROOMS, TYP.
5. EXISTING 2x DOOR

GENERAL NOTES:

- 1. TYPICAL INTERIOR WALL SHEATHING: 1/2" OYTRUM WALL BOARD UNDO.
- 2. TYPICAL EXTERIOR WALL SHEATHING: 1/2" OSB. EXISTING WALL SHEATHING IS GREATER THAN 1/2" PROVIDE SHEATHING WALL SHEATHING FOR FLUSH INSTALLATION, TYP.
- 3. NO CHANGE TO ROOF STRUCTURE OR ROOF FINISH THIS PERMIT.
- 4. SEE SITE PLAN FOR WALLWAYS NOT SHOWN HERE FOR CLARITY.
- 5. OWNER SHALL PROVIDE ALL PERMANENCE, TYP. LEVELLED / REPAIRED & POLISHED & SEALED, TYP.
- 6. OWNER SHALL PROVIDE ACCESSIBLE TO EMERGENCY EXIT DOORS IN THE SHOWROOM AREA, TYP.



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TYP. ACCESSIBILITY
DETAILS

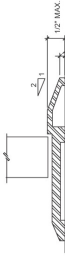
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1 PERMIT SET
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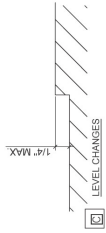
SHEET:
A4.0



A TRANSITION BETWEEN FLOOR FINISHES
N.T.S.



B TYP. DOOR THRESHOLD
N.T.S.



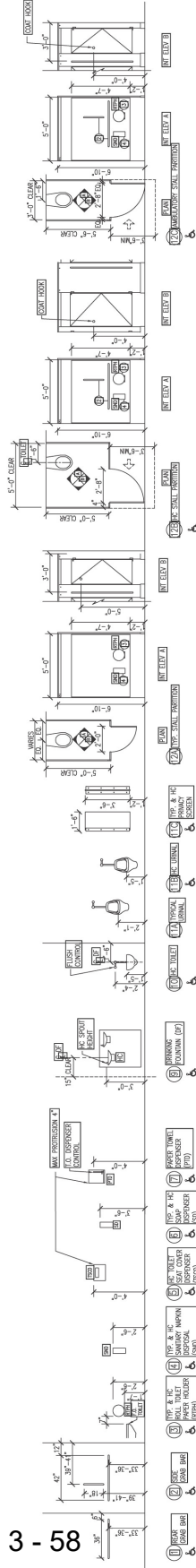
C LEVEL CHANGES

NOTES:

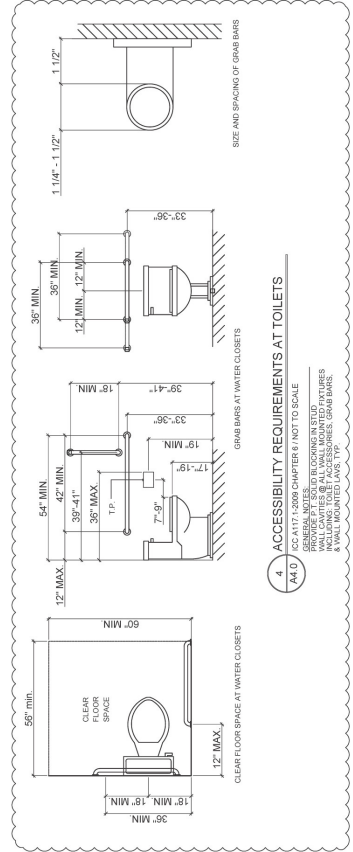
- 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE.
- 1/4" MAXIMUM SLOPE IF LEVEL CHANGE IS OVER 1/4" VERTICAL LEVEL CHANGE.
- 1/4" MAXIMUM VERTICAL LEVEL CHANGE.

1 TYPICAL THRESHOLD & TRANSITIONS
A4.0 / N.T.S.

2 ACCESSIBILITY REQUIREMENTS AT LAVATORIES
A4.0 / ICC A117.1-2009 CHAPTER 6 / NOT TO SCALE



3 ACCESSIBILITY REQUIREMENTS AT FIXTURES
A4.0 / ICC A117.1-2009 CHAPTER 6 / NOT TO SCALE



4 ACCESSIBILITY REQUIREMENTS AT TOILETS
A4.0 / ICC A117.1-2009 CHAPTER 6 / NOT TO SCALE

GENERAL NOTES:
1. TOILETS TO BE RELOCATED TO MEET
WALL CLEARANCE REQUIREMENTS.
2. ALL WALL MOUNTED FIXTURES
& WALL MOUNTED LARS, TYP.



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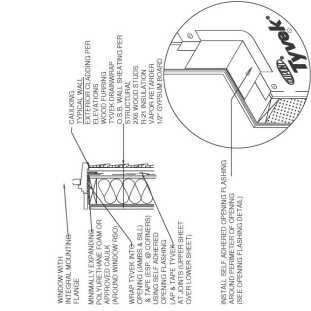
EXTERIOR DETAILS

REV. NO. DATE
1

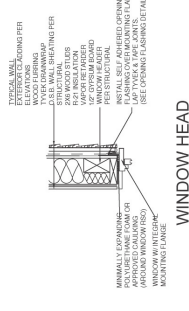
PERMIT SET

DATE: 4/14/2022
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REVIEWED BY:

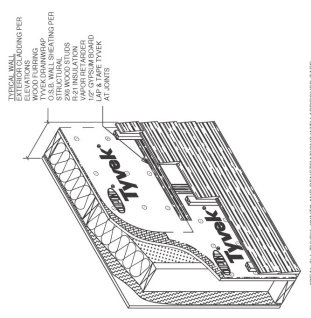
SHEET: **A5.0**



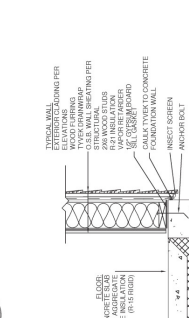
WINDOW SILL



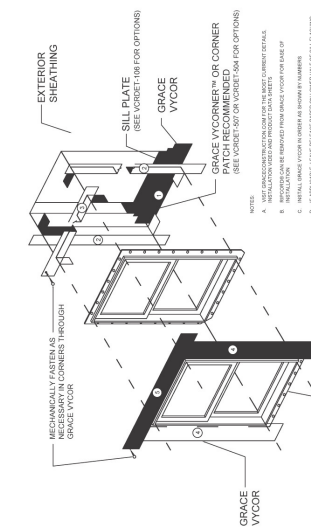
WINDOW HEAD



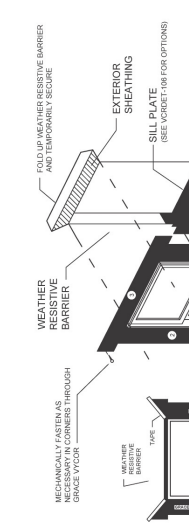
RAIN SCREEN DETAIL



RAIN SCREEN @ WALL BASE



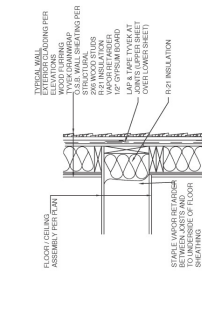
OPENING FLASHING INSTALLATION



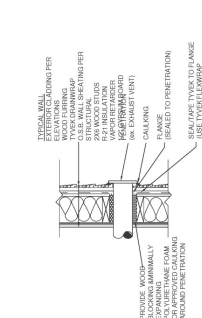
FLOOR / WALL INTERSECTION



RAIN SCREEN @ WINDOW OPENING



FLOOR / WALL INTERSECTION



EXTERIOR WALL PENETRATION

NOTES:

- SEE VORCKET-106 FOR OPTIONS
- SEE VORCKET-500 OR VORCKET-504 FOR OPTIONS
- INSTALLATION SHOULD BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- INSTALLATION SHOULD BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- INSTALLATION SHOULD BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- INSTALLATION SHOULD BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

NOTES:

- SEE VORCKET-106 FOR OPTIONS
- SEE VORCKET-500 OR VORCKET-504 FOR OPTIONS
- INSTALLATION SHOULD BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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OPENING FLASHING INSTALLATION

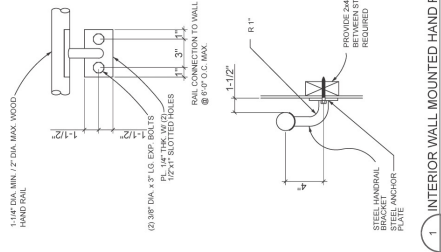


Genuine Motor Company
Indoor Vehicle Showroom
19900 SE McLoughlin Blvd.
Gladstone, Oregon

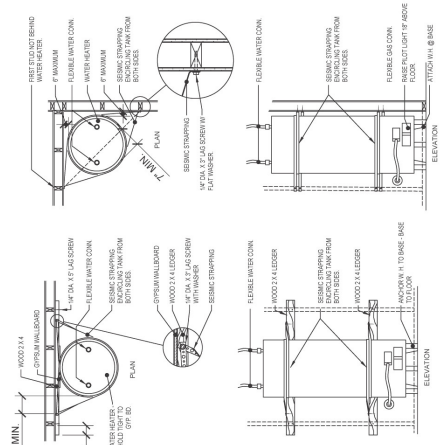
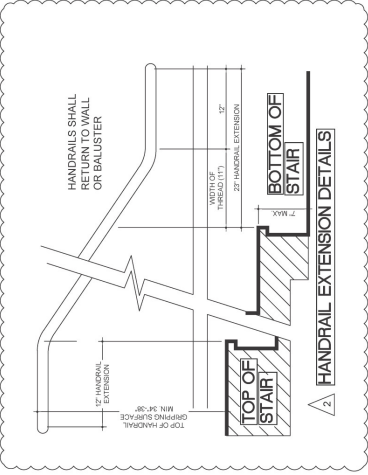
These plans and the designs herein are copyright under the name of
FREDERICK S. TURNER ENGINEERING & DESIGN, INC.

TYP. BUILDING DETAILS
REV. NO. 2
DATE 8-25-22

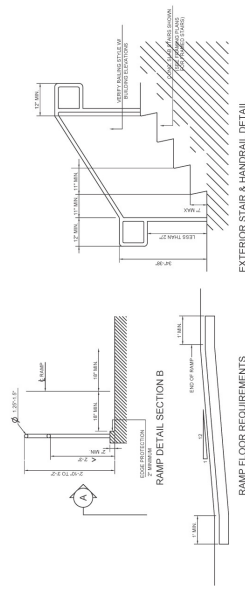
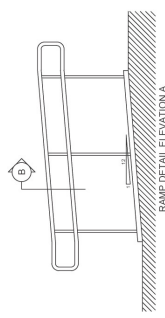
PERMIT SET
DRAWN BY: 41/M/2022
REVIEWED BY:
SHEET: **A5.1**



HANDRAIL SHALL BE ABLE TO RESIST A SOIL BONDING STRENGTH OF 100 LBS PER LINEAR FOOT IN ACCORDANCE WITH UBC 1907.1.1.1.8 AND SEC. 4.5.1 OF PAGE 7.



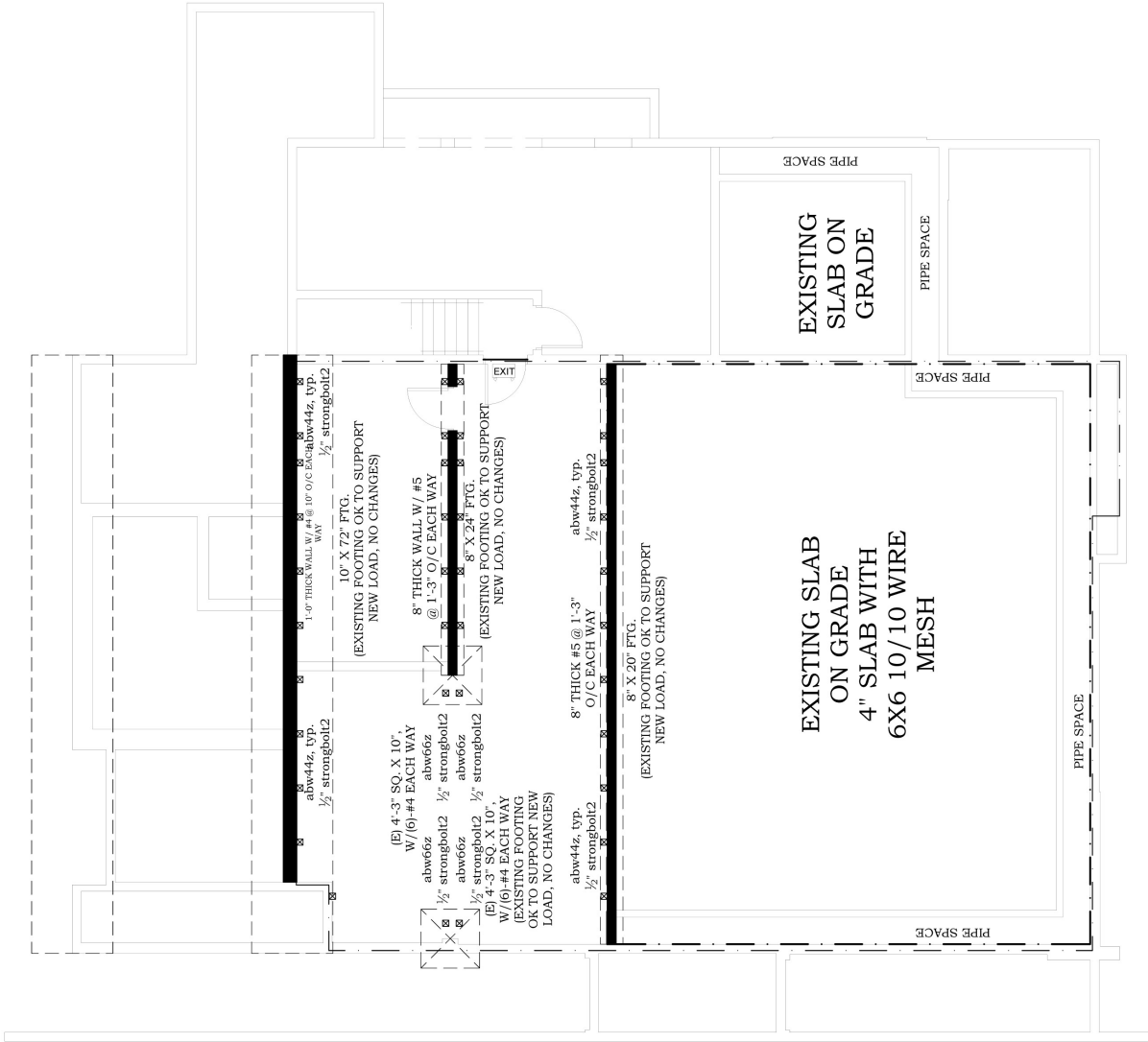
WALL CONNECTION
CORNER CONNECTION
2 WATER HEATER DETAILS
N.T.S.



EXTERIOR STAIR & HANDRAIL DETAIL
STAIR & RAMP DETAILS
@ ANY NEW OR REVISED RAMPS / STAIRS
N.T.S.

SUMMARY OF WORK:
 LOCATION: GENUINE MOTOR COMPANY 19900 MCCLOGGHLIN BLVD
 STRUCTURAL ANALYSIS AND DESIGN FOR REMODEL TO EXISTING BUILDING
DESIGN LOADS:

CODE: 2015 IBC
 USE OR OCCUPANCY OF BUILDINGS AND STRUCTURES RISK CATEGORY (ANSC TABLE 1.5-1): II
 EXISTING FLOOR LIVE LOAD: 80 PSF
 VEHICLE POINT LOAD: 3000 LB
 EXISTING SOIL BEARING CAPACITY: 1500 PSF (AS CONCRETE SLAB)
 EXISTING SOIL BEARING PRESSURE: 1500 PSF
 SOIL PASSIVE SOIL PRESSURE: 150 PSF



EXISTING BASEMENT LEVEL PLAN

NO.	DATE	DESCRIPTION

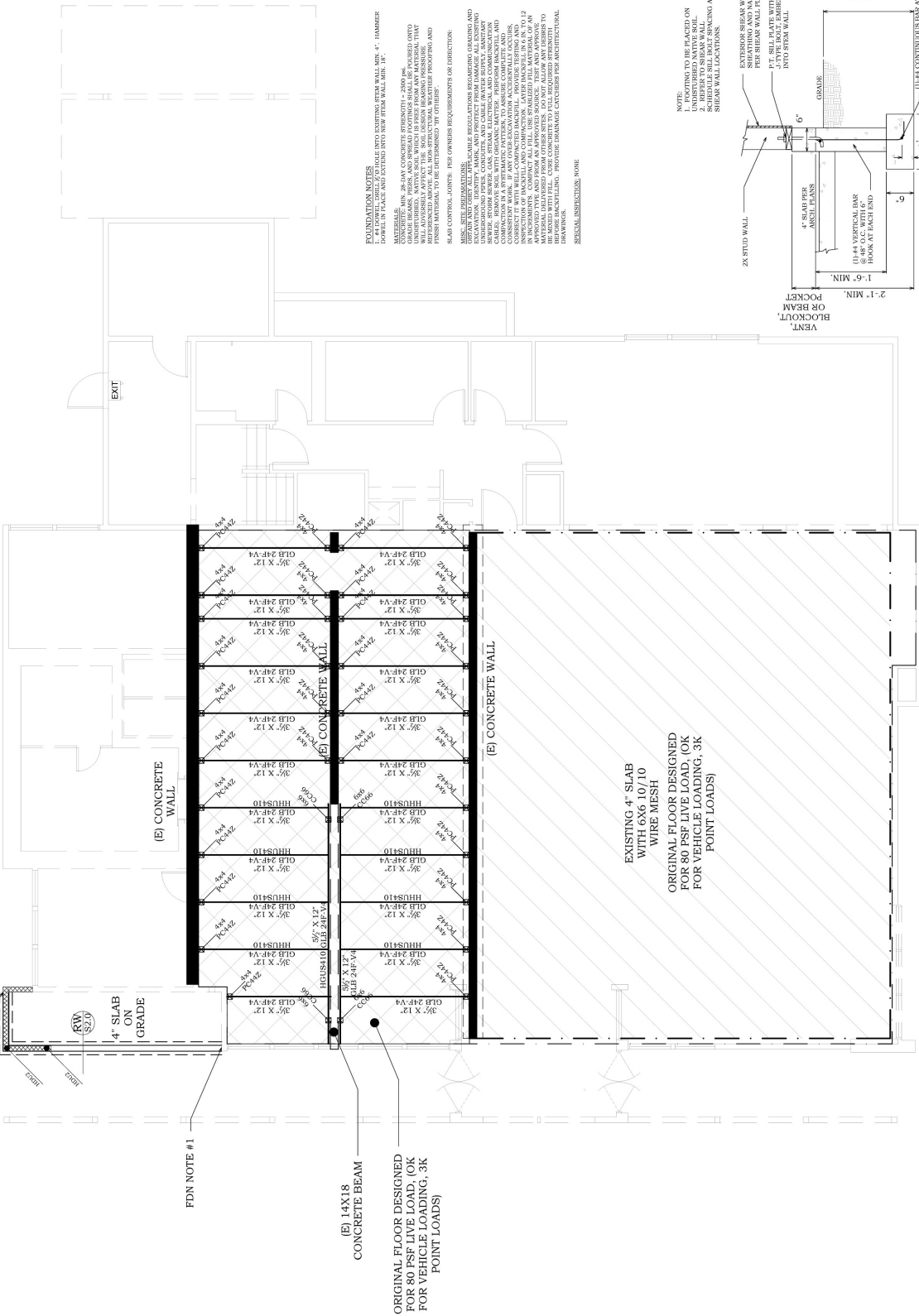
PROJECT NAME	GENUINE MOTOR COMPANY
EXISTING BASEMENT	

TURNER
 ENGINEERING & DESIGN
 10000 NE 28th St
 Portland, OR 97219
 (503) 253-8800
 turner-engineering.com

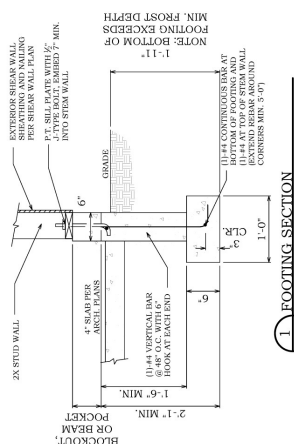
ENGINEER'S STAMP
 PROFESSIONAL SEAL
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF OREGON
 NO. 12345
 EXPIRES 12/31/2025

DESIGNED BY: [Signature]
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 06/04/22
 PROJECT NO.: R22228
 SHEET NO.: S1.0

DATE: 06/29/14	PROJECT NAME: TURNER ENGINEERING & DESIGN	PROJECT NUMBER: 130313001	PROJECT LOCATION: 130313001	PROJECT DESCRIPTION: TURNER ENGINEERING & DESIGN	PROJECT DATE: 06/29/14	PROJECT SHEET: S2.0



EXISTING 4" SLAB WITH 6X6 10/10 WIRE MESH ORIGINAL FLOOR DESIGNED FOR 80 PSF LIVE LOAD, OK FOR VEHICLE LOADING, 3K (POINT LOADS)



FOUNDATION NOTES

1. ALL POWER SHALL BE 12\"/>

EXISTING GROUND LEVEL PLAN - NEW FRAMING SUPPORTING VEHICLE LOADING)

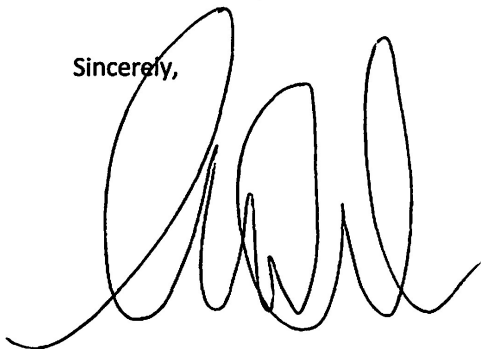
GENUINE MOTOR COMPANY

11.2.22

To whom it may concern,

As the owner and applicant for Genuine Motor Company located at 19900 SE McLoughlin Blvd. in Gladstone, Oregon, I, Sam Cercea, would like to use the existing landscape strip along McLoughlin Blvd. that is in the right-of-way and agree to relocate the 10-foot strip whenever the right-of-way is improved as required per 17.46.020.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sam Cercea', written in a cursive style.

Sam Cercea

Owner

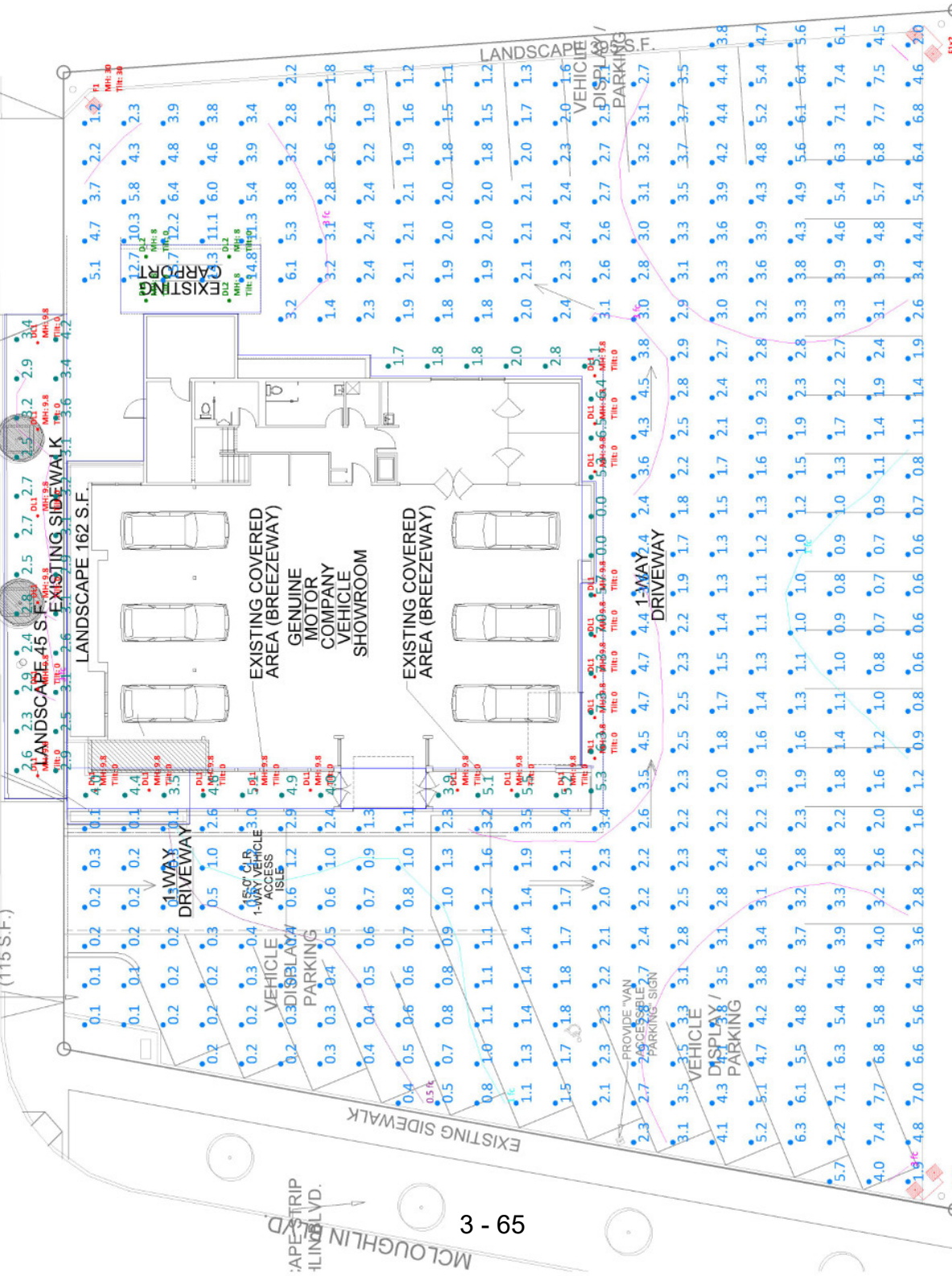
Genuine Motor Company

19900 SE McLoughlin Blvd.

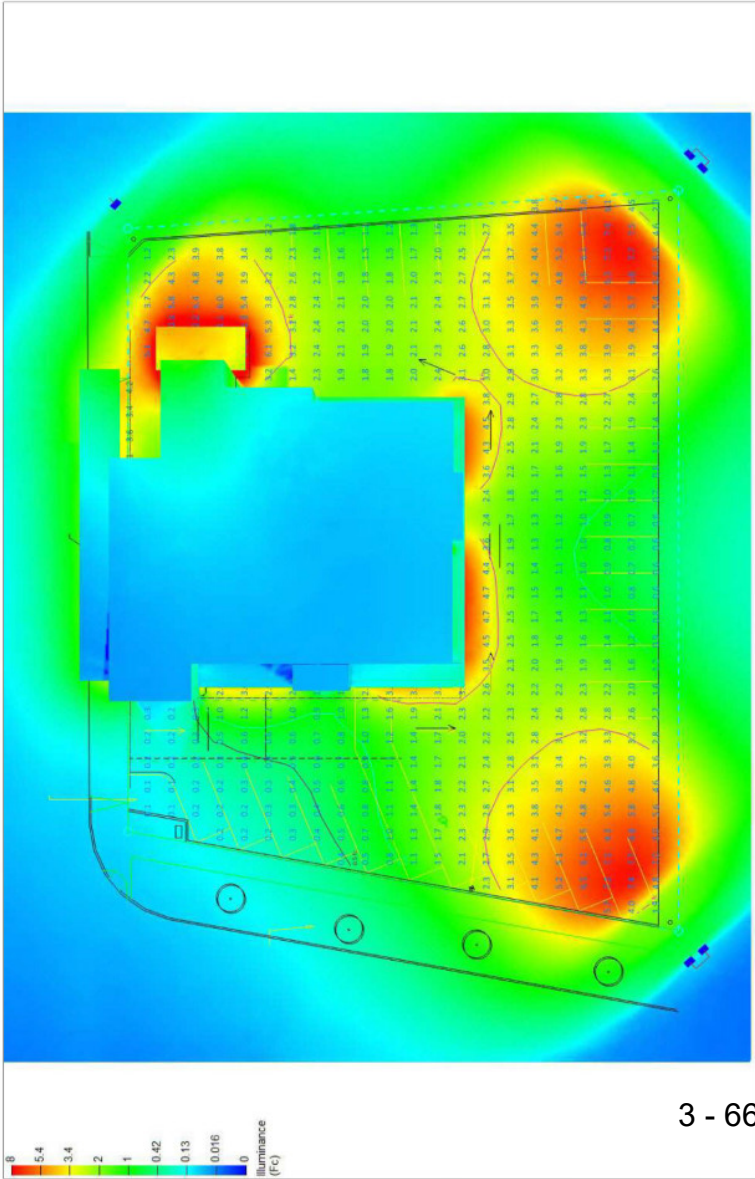
Gladstone, Oregon 97027

REMOVE EXISTING PAVEMENT FOR LANDSCAPING (115 S.F.)

CLARENDON ST. EXISTING STREET TREES



3 - 65



3 - 66



F1



DL1



DL2

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Max/Avg
Landscape - Sidewalk	Illuminance	Fc	2.94	4.2	2.3	1.28	1.83	1.43
Parking area	Illuminance	Fc	2.75	15.7	0.1	27.50	157.00	5.71
Perimeter	Illuminance	Fc	4.38	7.3	0.0	N.A.	N.A.	1.67

Luminaire Schedule

Label	Symbol	Description	LLF	Qty
DL1		LITHONIA WF4 LED 40K DOWNLIGHT	0.900	22
DL2		LITHONIA WFS LED 40K MVOLT DOWNLIGHT	0.900	4
F1x2		LITHONIA RSXF1 LED P3 40K AWFDBV with adjustable slipfitter (x2)	0.900	2
F1		LITHONIA RSXF1 LED P3 40K AWFDBV with adjustable slipfitter	0.900	1



Gladstone planning services are provided by Clackamas County. Submit all land use applications and correspondence to: Clackamas County Planning Division, 150 Beaver Creek Road, Oregon City, OR 97045
Phone: 503-742-4500 E-Mail: jfields@clackamas.us

NOTICE OF INCOMPLETE APPLICATION

FILE NUMBER: Z0466-22

APPLICATION TYPE: Design Review

APPLICANT NAME:

SITE ADDRESS:

STAFF CONTACT: Joy Fields, 503-742-4510 EMAIL: jfields@clackamas.us

DATE OF APPLICATION SUBMITTAL: September 21, 2022

DATE DEEMED INCOMPLETE: October 6, 2022

DATE OF MAILING OF THIS NOTICE: October 11, 2022

DEADLINE FOR SUBMITTAL OF MISSING INFORMATION: March 20, 2023

IMPORTANT

Failure to respond completely to this request within 180 days of this mailing will be deemed a refusal to comply with this written request. At such time the city will treat the application as complete for purposes of ORS 227.178(2) and render a final decision on your application based on available information at the time.

MAILED TO APPLICANT: Edward Radulescu, EPR Design LLC, 8800 SE Sunnyside Rd. Suite # 213N, Clackamas, Oregon 97015

OWNER: Samuel Circea, 1900 McLoughlin Blvd, Gladstone, Oregon 97027

MISSING INFORMATION REQUIRED FOR COMPLETE APPLICATION:

- A. Items related to Chapter 17.46 Landscaping requirements including:
- A landscaping plan that shows a landscaped strip of at least 10 feet in width separating the parking area from the sidewalk along McLoughlin. If the applicant proposes to use the existing street trees and sod located in the right-of-way along McLoughlin, then the application will need to include verification that the property owner agrees to relocate the 10-foot strip whenever the right-of-way is improved. This agreement may also include the maintenance of the 15% landscaping per 17.46.020(4) and 17.80.080; and
 - A landscaping plan, that includes the spacing of the plants and an identification of the plant species to ensure the species are not on the Gladstone Prohibited Plant List found in Ordinance 1333; and




- The landscaping plan should also include a 5 foot strip of landscaping separating the parking lot from the southern property boundary per 17.46.020(2).

B. Items related to Chapter 17.44 Siting and Design Standard including:

- Per 17.44.020(5)&(6), A photometric analysis and lighting plan, or a lighting master plan for on-site lighting, that includes the design, height, extent, and location of all proposed or existing exterior lights including:
 - (a) Parking and loading area lighting;
 - (b) Pedestrian walkway lighting;
 - (c) Internal access road lighting;
 - (d) Lighting of public entrances into buildings; and
 - (e) Flood lights illuminating buildings or significant natural features.

Applicant, please check one of the following and return this notice to the above address.

- Yes, I will be submitting the requested information within 60 calendar days or my application will be processed in its present state.
- No, I will not be submitting the requested information. Please accept the application as submitted.



Signature

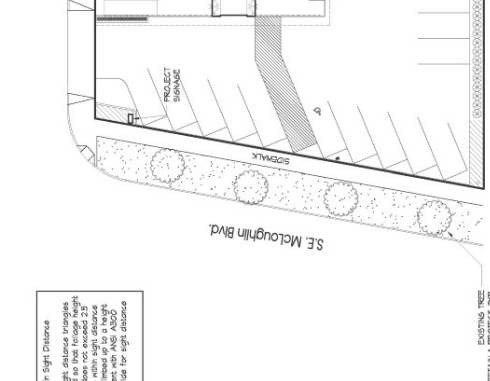
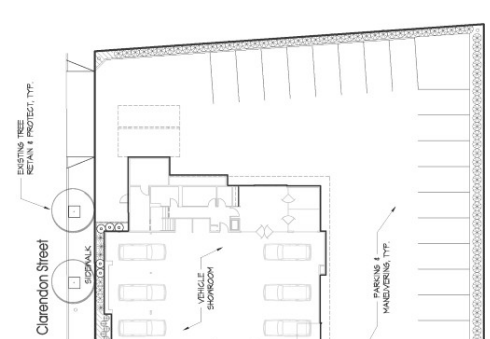
11.23.22

Date

PLANT LEGEND			
SYMBOL	BOTANICAL / COMMON NAME	SIZE	QUANTITY
EXISTING TREES			
	EXISTING STREET TREE (SPRUY) RETAIN & PROTECT	12" I	2
	EXISTING STREET TREE (SMA) RETAIN & PROTECT	9" I	4
SHRUBS			
	EXISTING JAPONICA MAZODENDRUM RETAIN & PROTECT	2 GAL	5
	EXISTING MAZODENDRUM RETAIN & PROTECT	1 GAL	16
	MAZODENDRUM COMPACT CROWN RETAIN & PROTECT	9 GAL	4
	MAZODENDRUM COMPACT CROWN RETAIN & PROTECT	9 GAL	5
	MAZODENDRUM COMPACT CROWN RETAIN & PROTECT	9 GAL	4
GROUND COVER			
	ARGENTOPHYLLIS (VIA 1/2" MASS) MAZODENDRUM	4" MIN.	307 S.C.
	TURF SEED, OR 500' PER OWNER		



Ground Cover Planting Detail
 NOT TO SCALE



B & B Shrub Planting Detail
 NOT TO SCALE



B & B Shrub Planting Detail
 NOT TO SCALE



Ground Cover Planting Detail
 NOT TO SCALE

PLANTING NOTES

1. ALL BOUNDARIES, UTILITIES AND LEGAL ENCUMBRANCES TO BE CONFORMED WITH OWNERS RECORD TO BEGINNING WORK. PROPERTY LINES AND SURVEY INFORMATION PROVIDED BY PER DESIGN PROFESSIONAL SHALL BE USED TO DETERMINE THE LEGAL BOUNDARIES OF THE OWNERS REAL PROPERTY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
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December

REGULAR AGENDA



4

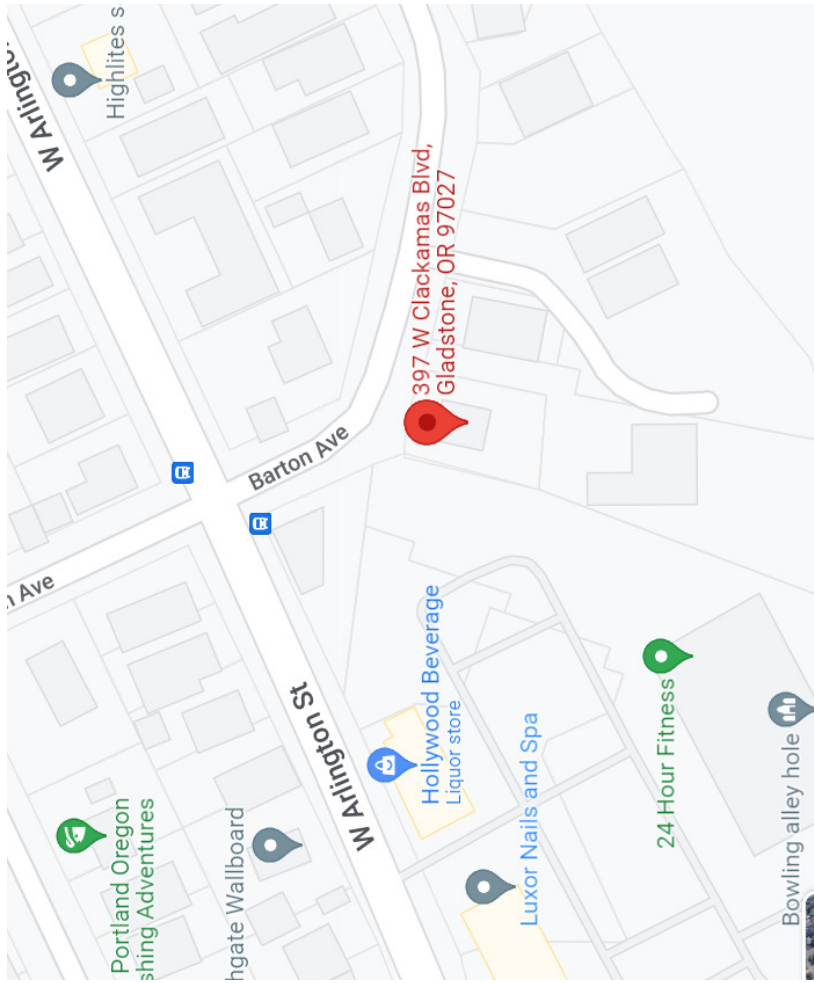
December 2022 Planning Commission Meeting

Agenda Item No. 4

Conditional Use Application – 397 W Clackamas Blvd

Project Location: 397 W Clackamas Blvd.

Proposed Project: Upgrades to the existing Pump Station including maintenance and improvements for reliability, efficiency and safety. As proposed, the development will include small modifications to the outside, such as replacing a manhole and resurfacing the driveway after the pipes are replaced. There is no expansion of the pumping capacity or building footprint proposed.



Project Site

- Zoning Designation: R-5
- Comprehensive Plan Designation: Residential
- Property size: 0.18 acres

↑ Property contains Habitat Conservation Area

- No disturbance to HCA proposed
- Proposal considered "Exempt" from HCA standards due to small size and scope of improvements

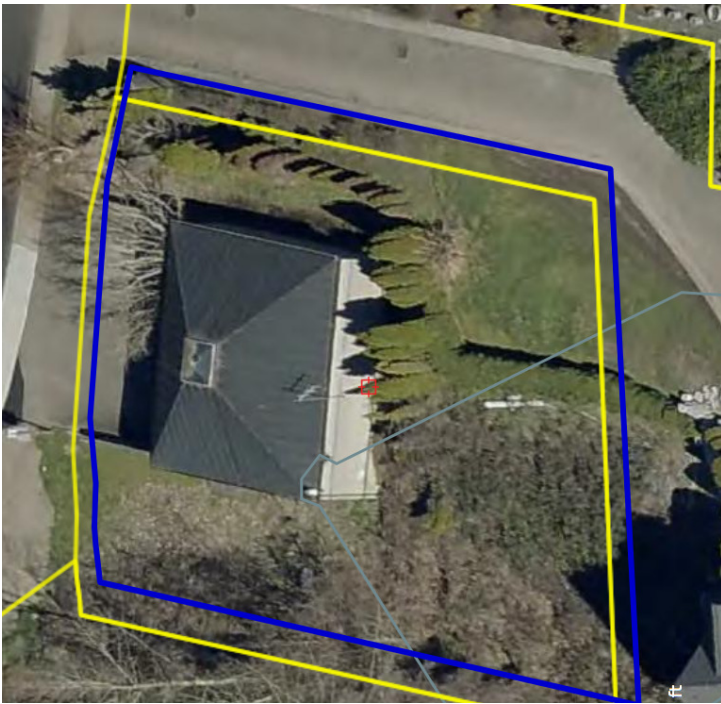
4 - 4

- Proposed Plan:
- New Manhole
 - Paving Resurfaced after new pipes installed underground



Public Noticing:

- Sent to the applicant, the owner of the subject property and owners of record as identified on the most recent Clackamas County property tax assessment roll of property located within two hundred fifty (250) feet of the subject property.
- City of Gladstone, Public Works, Gladstone Fire, Gladstone PD, Engineering, WES



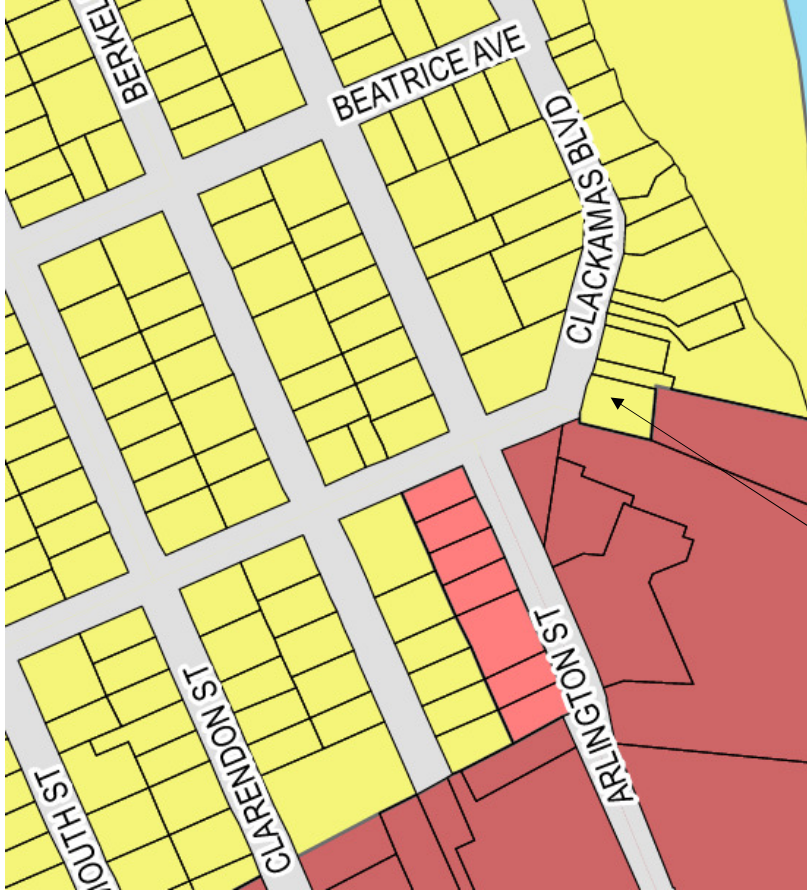
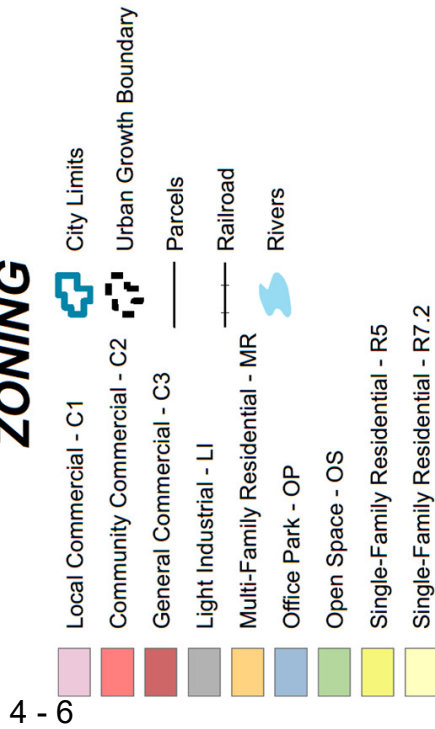
No Comments Received

December 20, 2022

Z0500-22-C

Current Zoning Map- Excerpt showing R-5 Zoning District along Clackamas Blvd

CITY OF GLADSTONE ZONING



Subject Property



GLADSTONE
Oregon

**Section 17.12.040
Conditional Uses (R-5)**

*(9) Utility facility;
provided, that no
outside storage is
involved.*

4-7



Section 17.12.050 Dimensional standards.

(1) Lot Area. Minimum 5,000 square feet.

(2) Setbacks. Front setback is 20 feet, side setback is 5 feet and rear setback is 15 feet.

4 - 8



CHAPTER 17.70 CONDITIONAL USE

17.70.010 Authorization to grant or deny.

- (1) Approval Criteria. A conditional use may be approved, pursuant to GMC Division VII (administrative procedures), if the applicant demonstrates that the proposed use:
 - (a) Is listed as a conditional use in the underlying zoning district or is authorized pursuant to GMC Chapter 17.74 (authorization of similar uses);
 - (b) Is suitable for the proposed site, considering size, shape, location, topography, existence of improvements and natural features;
 - (c) Is timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use;
 - (d) The location, size, and functional characteristics of the proposal are such that it can be made reasonably compatible with and have a minimal impact on livability and appropriate development of properties in the area and neighborhoods surrounding the subject site.
 - (e) Satisfies the policies of the comprehensive plan that apply to the proposed use.

CHAPTER 17.42 GENERAL PROVISIONS

17.42.030 Improvements. Improvements installed by a developer, either as a requirement or at his or her option, shall conform to the standards of this title, GMC Chapter 12.02 (street excavation requirements) and to any supplemental design and construction specifications adopted by the city for such improvements.

CHAPTER 17.25 HABITAT CONSERVATION AREA DISTRICT

17.25.040 Exempt Uses.

F. Expansion or replacement of an existing structure, provided that:

1. The expansion or replacement shall not intrude more than 500 square feet into the HCA in addition to the building footprint that lawfully existed on December 8, 2009. If more than one expansion or replacement of the same structure is undertaken—regardless of whether the work is done as one project or a series of projects—the total increase in the intrusion in the HCA shall not exceed this 500-square-foot limit;



RECOMMENDATION

The Gladstone Planning Staff are recommending Approval of the Conditional Use application with the following Special Conditions of Approval:

III. SPECIAL CONDITIONS OF APPROVAL3

- 1. Landscaping.....3
- 2. Floodplain permit.....3
- 3. Construction Plans:.....3
- 4. Pre-construction Conference.....3
- 5. As-Built Submittals4



RECOMMENDATION

- **The Gladstone Planning Staff are recommending Approval of the Conditional Use application as proposed with the 5 Special Conditions of approval.**



Agenda Item No. 4

PC Meeting Date: 12/20/22

STAFF REPORT

Application No.: Z0500-22-C;

Applicant: Jessica Rinner, Clackamas Water Environment Services

Project Location: 397 W Clackamas Blvd, Gladstone, OR 97027; on the western side of W Clackamas BLVD where it turns north and becomes Barton Ave.; Tax Lot 22E20CC07301

Project Description: Upgrades to the existing Pump Station including maintenance and improvements for reliability, efficiency and safety. As proposed, the development will include small modifications to the outside, such as replacing a manhole and resurfacing the driveway after the pipes are replaced. There is no expansion of the pumping capacity or building footprint proposed.

SUMMARY OF STAFF RECOMMENDATION

The planning staff recommend approval of the Conditional Use application Z0500-22-C and recommend the following findings and following conditions in support of approval: (1) Landscaping; (2) Floodplain Permit; (3) Construction Plans; (4) Pre-construction Conference; and (5) As-built Submittals.

The subject property, is comprised of one tax lot (22E20CC07301), that is approximately 0.18 acres in size. The pump station located on the property was developed in 1985 with permit #B093185. The site was then modified with fill (B0324689) and then a reconfiguration of lot lines as seen in survey 2004-406 that shows the boundaries based on boundary line agreements that pre-date the partition plat 2004-87 involving the adjacent parcel.

As proposed and conditioned, Planning Staff found the application consistent with all applicable standards from Title 17 of the Gladstone Municipal Code (GMC). Therefore, staff recommend that the Planning Commission approved this Conditional Use application with five (5) special conditions of approval. The standard of review for the proposed project is the City of Gladstone's Municipal Code Zoning and Development Title 17.

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 4. Terms and Conditions Run with the Land.3

 5. Building Permits.....3

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 2. Floodplain permit.....3

 3. Construction Plans:.....3

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 Chapter 17.60 UTILITIES10

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EXHIBITS

- Exhibit 1. Location Map
- Exhibit 2. Aerial Images
- Exhibit 3. Site Plan Figure

APPENDIX: SUBSTANSIVE FILE DOCUMENTS

A. Application Materials (Narrative, Site Plan)

I. REQUEST FOR COMMENTS

Sent to: Property owners within two hundred fifty (250) feet of the subject property, City of Gladstone, Public Works, Gladstone Fire, Gladstone PD, Engineering, and Water Environment Services (WES) (also the applicant).

Responses Received: No Comments were received directly from Gladstone Public Works and Engineering Departments, but staff did coordinate with them on the special conditions of approval. No comments were received from the public.

II. STANDARD CONDITIONS

1. **EXPIRATION.** This approval shall remain valid for one year following the date of approval per 17.70.040. If the approved use has not commenced by that date, this approval shall expire unless a time extension is granted pursuant to chapter 17.66.015(4) of the Gladstone Municipal Code.
2. **INTERPRETATION.** Any questions of intent or interpretation of any condition will be resolved by the Planning Director for the City of Gladstone,
3. **ASSIGNMENT.** The permit may be assigned to any qualified person, provided assignee files with the City Planning Department an affidavit accepting all terms and conditions of the permit.
4. **TERMS AND CONDITIONS RUN WITH THE LAND.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.
5. **BUILDING PERMITS.** The applicant shall obtain required building permits from Clackamas County. The applicant shall comply with requirements of the permits.

III. SPECIAL CONDITIONS OF APPROVAL

1. **LANDSCAPING.** Prior to re-planting the landscaping in front of the building, identification of the plant species will be provided to staff to ensure the species are not on the Gladstone Prohibited Plant List found in Ordinance 1333.
2. **FLOODPLAIN PERMIT.** The site of the proposed development is partially located in the Flood Management Area Overlay District. A separate floodplain permit will need to be applied for with the Planning Department prior to the commencement of any work on the project.
3. **CONSTRUCTION PLANS:** Plans detailing the installation of the pump station improvements, site grading, and other public and private improvements shall be submitted to the City of Gladstone Public Works Department for review and approval per 17.60.010 and 17.42.030. Construction plans shall be designed and stamped by a Professional Engineer registered in the State of Oregon. Plan submittal shall include (3) paper sets of plans, a pdf copy, an Engineer's Estimate for the public improvements, and a drainage report.
4. **PRE-CONSTRUCTION CONFERENCE.** Once grading/construction plans are ready to be approved by the City of Gladstone, a Pre-Construction Conference with final sign-off on the Construction Plans is required per 17.42.030.

5. **AS-BUILT SUBMITTALS.** Prior to the approval of the Certificate of Occupancy, the applicant shall provide the City Public Works Department of Planning offices with copies of the as-built submittals per 17.60.020 (7).

IV. ADVISORY NOTES:

1. **BUILDING PERMITS.** Clackamas County Building Department will provide structural, mechanical, grading, and review of Fire & Life Safety, Plumbing, and Electrical Permits for this project.
2. **RIGHT OF WAY PERMITS.** Prior to initiating work within the right of way, the applicant will need a permit from the Gladstone Public Works Department.

V. FINDINGS

The City of Gladstone Planning Commission finds:

A. PROJECT LOCATION AND PROPOSED DEVELOPMENT

The subject property is comprised of tax lot 22E20CC07301, that is approximately 0.18 acres in size located at W Clackamas Blvd. The site is on the west side of Clackamas Blvd approximately 130 feet south of the intersection with W Arlington St. The subject property is zoned R5 - Single-Family Residential District. The proposed project would involve building new access and man hole cover on the southeastern portion of the property in addition in interior maintenance and replacement of pipes located in the right of way and under the driveway. The existing use was built prior to the adoption of Ordinance 1131 in 1991 and the current Subdivision, Zoning and Development Standards in Chapter 17.

B. R-5 – SINGLE- FAMILY RESIDENTIAL DISTRICT

17.12.040 Conditional Uses

In an R-5 zoning district, the following uses and their accessory uses are allowed subject to GMC Chapter 17.70 (Conditional Uses):

- (1) Multi-family dwelling, three to eight unit complexes.*
- (2) Medical/dental office at the intersection of minor arterials or collectors.*
- (3) Church and associated buildings and structures.*
- (4) Community center, day care center.*
- (5) Fire station or similar public use necessary to provide service or preserve public safety in the area.*
- (6) Planned unit development.*
- (7) Nursing homes and homes for the aged.*
- (8) School and associated buildings, structures and facilities.*
- (9) Utility facility; provided, that no outside storage is involved.***
- (10) Community commercial within 200 feet from the Portland Avenue C-2 district.*
- (11) Group homes.*
- (12) Boarding house, rooming house, lodging house.*

Finding: According to the definition of a utility facility in Chapter 17.06, the WES Pump Station at W Clackamas BLVD is a utility facility. This land use application was submitted to meet the Conditional Use requirements for new construction, and site development per 17.70.010(4). This criterion is met.

17.12.050 Dimensional standards.

Except as provided in GMC Chapters 17.38 (Planned Unit Development), 17.72 (Variances) and 17.76 (Exceptions), the following dimensional standards shall apply in an R-5 zoning district:

- (1) Lot Area.*
 - (a) For a single-family dwelling, the minimum lot area shall be 5,000 square feet;*

- (b) For a multi-family dwelling, the minimum lot area shall be 2,500 square feet per dwelling unit;*
- (c) For other uses, the minimum lot area shall be 5,000 square feet, or as established by the Planning Commission, as provided by GMC Chapter 17.70 (Conditional Uses).*

(2) Setback Requirements.

- (a) A front setback shall be a minimum of 20 feet except that a front porch may project a maximum of five feet into a required front setback area;*
- (b) A side setback shall be a minimum of five feet;*
- (c) A rear setback shall be a minimum of 15 feet;*
- (d) A street side setback shall be a minimum of 20 feet;*
- (e) Architectural features such as cornices, eaves, gutters, chimneys and flues may project a maximum of two feet into a required setback area.*

Finding: The property is approximately 0.18 acres, or approximately 7,840 square feet, thus the 5,000 square foot minimum lot size is exceeded. The proposal does not include expansion of the building footprint. The building currently meets the front, and side setbacks as shown on Figure 2, of the site plan submitted with the application. There is no change proposed in the rear of the property and the existing rear setback is not being modified by this proposal. This criterion is met.

C. CONDITIONAL USE FINDINGS PER CHAPTER 17.70

17.70.010 Authorization to grant or deny.

(1) Approval Criteria. A conditional use may be approved, pursuant to GMC Division VII (administrative procedures), if the applicant demonstrates that the proposed use:

- (a) Is listed as a conditional use in the underlying zoning district or is authorized pursuant to GMC Chapter 17.74 (authorization of similar uses);*
- (b) Is suitable for the proposed site, considering size, shape, location, topography, existence of improvements and natural features;*
- (c) Is timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use;*
- (d) The location, size, and functional characteristics of the proposal are such that it can be made reasonably compatible with and have a minimal impact on livability and appropriate development of properties in the area and neighborhoods surrounding the subject site.*
- (e) Satisfies the policies of the comprehensive plan that apply to the proposed use.*

Finding: Utility facilities are listed as a conditional use in the underlying R-5 Zoning District. The site location has historically been operating as a Pump Station for WES since having a building permit approved in 1985 and being constructed in 1986. The site disturbance and modification of the existing site is very minimal with the majority of the working involving replacing existing mechanical and electrical equipment inside the structure. The exterior disturbance includes constructing a bypass vault in the existing driveway, realigning the landing to an influent manhole with improvements to the structure and access for safety. The proposed modification is suitable for

the site because there is no change in the use and no expansion of the building or pump station capacity.

There are no employees that report to the pump station on a daily basis. Instead, there are periodic visits by employees to do inspections and maintenance on the facility. The number of vehicle trips to and from the pump station are not anticipated to change with the upgrades to the internal mechanical and electrical system. Therefore, there will be no impact to the transportation system.

The proposed work is timely since it addresses upgrades identified in the adopted general sewer plan and is necessary to maintain and improve the reliability of sanitary sewer service in the neighborhood.

Because the capacity of the pump station is not increasing, and there is no expansion of the existing structure, staff do not anticipate there to be any impact to the livability of the surrounding residential properties. Landscaping a small area in front of the structure as indicated on page 25 of the application, and providing a vegetative screen on the sides of the property would ensure the use would be compatible with the surrounding neighborhood. The exterior aesthetic qualities, landscaping, and lighting are reviewed further in the findings below.

The policies of the Gladstone Comprehensive Plan that relate to the utility facility include: LAND USE PLANNING Goal: To provide and maintain a high standard for Gladstone's quality of life. And FACILITIES AND SERVICES Goal: To provide and maintain needed facilities and services in a timely, orderly, and efficient manner to serve urban development in the Gladstone area.

The Objectives intended to help meet the Facilities and Services Goal includes: Objectives 1: To ensure the continuation of adequate water, sewer, police, fire, library, recreation and school services. 2. To ensure the coordinated approach to the delivery of services. 3. To improve the effectiveness, efficiency and quality of services and service delivery.

A high standard for Gladstone's quality of life is provided for when there are reliable, and effective methods of removing and treating sanitary sewage. The pump station is one aspect of the system designed to move and treat the sewage. Therefore, improving the safety and effectiveness of the pump station will support the Land Use Planning Goal and the Facilities and Services Goal.

As conditioned these criterion are met.

17.80.021 Applicability.

(2) Conditions of Approval. In addition to the specific requirements of this title, including those set forth in GMC Chapter 17.62 (special uses), and the comprehensive plan, approval of a conditional use may be granted subject to additional conditions that are found necessary to protect the best interests of the surrounding area or the city as a whole. These conditions may include, but are not limited to, the following:

- (a) Limiting the hours, days, place and manner of operation;
- (b) Requiring design features that minimize environmental impacts such as noise, vibration, smoke, dust, fumes and glare;
- (c) Requiring increased setbacks, lot area, lot depth and lot width;
- (d) Limiting building height, size, lot coverage and location on the site;
- (e) Designating the size, number, location and design of vehicle access points;
- (f) Requiring street right-of-way to be dedicated and streets to be improved;
- (g) Requiring landscaping, screening, drainage and surfacing of parking and loading areas;
- (h) Limiting the number, size, location, height and lighting of signs;
- (i) Regulating the location and intensity of outdoor lighting;
- (j) Requiring a sight-obscuring fence or hedge to screen the conditional use from adjacent to or nearby property;
- (k) Construction of off-site transportation improvements to mitigate impacts resulting from development that relate to capacity deficiencies and public safety; and
- (l) Upgrade or construct public facilities to city standards.

Finding: The proposal is to construct new manhole, hatch, and stairs along with replacing underground utility conveyance systems and mechanical and electrical equipment inside the structure. The proposal is to have the existing building footprint, height, and location remain the same. There is existing landscaping in front of the building that may be removed and enhanced as part of the upgrades according to page nine of the narrative (p. 25 of the final application packet). Additionally, there are landscape plantings in the side yard that screen the neighbors from the pump station. Maintaining the landscaping screen will ensure that any light or noise leaving the property is minimized. The applicants are not proposing new light sources on the outside of the structure. The existing light will be replaced in the same location with LED bulbs. These criterion are met as conditioned.

(3) *Nonconforming Uses. When a nonconforming use is classified in this title as a conditional use, any change in the use, lot area or a structure associated with the use, shall comply with the requirements of this chapter, except:*

- (a) *Normal maintenance, as defined in GMC Section 17.70.010(4), shall be permitted without conditional use review;*
- (b) *Nonconforming single family dwellings may be expanded, remodeled, altered or replaced where there is no increase in the number of dwelling units, and where substantial construction of any replacement occurs within one year of destruction, without conditional use review;*
- (c) *Uses operating between the hours of 12:00 a.m. and 5:00 a.m., prior to the date uses operating between those hours were classified as conditional uses, shall be permitted without conditional use review, unless:*
 - (i) *There is a change in the underlying use of the given property. For instance, a restaurant that operated between 12:00 a.m. and 5:00 a.m., prior to the date uses operating between those hours were classified as conditional uses, could continue to operate between those hours after said date, without conditional use review. Furthermore, a restaurant that operated between 12:00 a.m. and 5:00 a.m. prior to said date could be operated as a different restaurant after said date and continue to operate between those hours, without conditional use review. However, a restaurant that operated between 12:00 a.m. and 5:00 a.m. prior to said date could not continue*

to operate between those hours as a tavern, convenience store, etc., unless conditional use approval was sought and received. The city believes this approach to be rationally related to the city's desire to ensure that any such change in the underlying use of a given property can be made compatible with and have a minimal impact upon surrounding neighborhoods if continued late night operation is desired.

(4) Modifications. With the exception of normal maintenance and the expansion, remodeling, alteration or replacement of a single-family dwelling, modification of an existing conditional use shall comply with the requirements of this chapter. Normal maintenance of structures and premises that are part of a conditional use shall be permitted provided there are no significant use or structural alterations. Normal maintenance may include painting, roofing, siding, interior remodeling, electrical work, plumbing work, re-paving of access roads and parking/loading areas, replacement of landscaping elements or other similar tasks. Normal maintenance does not include increasing the number of dwelling units, constructing new structures or constructing additions to existing structures except to the extent that an addition is necessary to render a structure accessible to the disabled. Normal maintenance performed shall be consistent with previous approvals of the conditional use. Expansion, remodeling, alteration or replacement of a single-family dwelling shall not qualify for the exception under this subsection if the modification would result in an increase in the number of dwelling units.

(5) Under GMC Sections 17.16.040, 17.18.040 and 17.20.040, a use shall be deemed operating if the use is open for operation to serve the general public, or open for operation to serve a private membership, without limitation.

Finding: Although, the proposal is to have the existing building footprint, height, and location remain the same, the construction of a new manhole, hatch, and stairs involves constructing new structures and is beyond maintenance. Therefore, the applicants applied for a Conditional Use approval. The proposed modification of the site is not related to a single-family dwelling. The modification proposed is related to a conditional use on the property. The proposal does not change the hours of operation, or whether the pump station is “open”. These criterion are met.

D. DIVISION IV. DEVELOPMENT STANDARDS

CHAPTER 17.42 GENERAL PROVISIONS

17.42.020 Use of public right-of-way. *Use of public right-of-way for the sale, display or storage of goods and off-street parking is prohibited on interior side of curbs, however, this requirement may be waived upon City Council approval.*

17.42.030 Improvements. *Improvements installed by a developer, either as a requirement or at his or her option, shall conform to the standards of this title, GMC Chapter 12.02 (street excavation requirements) and to any supplemental design and construction specifications adopted by the city for such improvements. Improvements shall be installed in accordance with the following procedure:*

(1) Improvement work shall not begin until plans have been checked for adequacy and approved by the city.

(a) To the extent necessary for evaluation of the proposal, the plans may be required before land use approval is issued.

(b) Plans shall be prepared in accordance with the requirements of the city.

(2) Improvement work shall not begin until the city has been notified, and if work has been discontinued for any reason, it shall not be resumed until the city has been notified.

(3) Improvements shall be constructed under the inspection and to the satisfaction of the city.

(a) The city may require changes in typical sections and details in the public interest if unusual conditions arise during construction to warrant the change.

Finding: The application received no comments from the Public Works and Engineering Departments. The special conditions of approval identify specific areas where the City has to review the construction plans, improvements, and as-built plans to ensure these criteria are addressed through the entire process of this development. These criterion are met as conditioned.

CHAPTER 17.58 GRADING AND FILL

17.58.020 General provisions.

(1) Grading of Building Sites. Grading and fill of building sites shall conform to Chapter 70 of the Uniform Building Code. The character of soil for fill and the characteristics of lots and parcels made usable by fill shall be suitable for the purpose intended. When deemed necessary, the building official may require geological studies to determine the suitability of the site.

(2) U.B.C. Requirements. The building official shall enforce Chapter 70 of the U.B.C. and shall require soils reports and/or engineering studies before issuing a building permit for fill, excavation, construction or related activities involving soils with restrictive features such as instability, wetness, flooding or other limitations.

Finding: The proposed use is conducting most of the work within already paved and disturbed areas. Any applicable Building permits and grading permits are required to ensure the requirements in the Uniform Building Code, or current predecessor, are met. These criterion are met.

CHAPTER 17.60 UTILITIES

17.60.010 Applicability.

The development standards for utilities shall apply to all development permits issued by the City of Gladstone except for substantial improvement or lesser remodel or reconstruction of an existing single or two-family dwelling.

17.60.020 Standards.

Utility services and facilities shall be appropriate to the scale and type of development and consideration shall include, but not be limited to the following standards:

*(1) **Site Disturbance.** The location, design, installation and maintenance of all utility lines and facilities shall be carried out with minimum feasible disturbances of soil and site.*

*(2) **Electricity. Gas. Communications.** All development which has a need for electricity, gas and communications services shall install them pursuant to the requirements of the district or company*

servicing the development. Except where otherwise prohibited by the utility district or company, all such facilities shall be underground.

(3) *Underground Facilities.* *The developer shall make necessary arrangements with utility companies or other persons or corporations affected for the installation of underground lines and facilities. Electrical lines and other wires, including but not limited to communication, street lighting and cable television, shall be placed underground.*

(4) *Sanitary Sewers.* *All development which has a need for sanitary sewers shall install the facilities pursuant to the requirements set forth by the public works department. Installation of such facilities shall be coordinated with the extension of necessary water services and storm drainage facilities.*

(5) *Water Services.* *All development which has a need for water service shall install water facilities and grant necessary easements pursuant to the requirements of the utility district serving the development. In addition, requirements for development shall include the following: N/A*

(6) *Coordination with Street Surfacing.* *All underground utilities, sanitary sewers and storm drains installed in streets by the developer or by any utility company shall be constructed prior to the surfacing of the streets. Stubs for service connections for underground utilities and sanitary sewers shall be placed to a length minimizing the necessity for disturbing the street improvements when service connections are made.*

(7) *As-Built Submittals.* *A map showing all public improvements, as built, shall be filed with the city engineer upon completion of the improvements.*

(8) *Conditions for Refund to Developer.*

(a) If required water mains or sewer facilities will without further construction other than individual laterals, directly serve properties outside the development, the city may enter into an agreement with the developer to require owners of the other benefiting properties to refund to the developer, a pro rata portion of the cost of the extension prior to allowing the benefiting property to connect thereto;

(b) Any such agreement shall contain a provision that the developer agrees to completely indemnify and hold harmless the city for any claim or injury or action arising from the city's administration of such agreement;

(c) The right to require such a refund shall not continue for more than 10 years after the date of installation of the extension;

(d) The amount to be refunded and the individual proration of the same shall be determined by the city and such determination shall be final.

Finding: The materials provided in the application do not include plans for water, parking lot surfacing, stormwater treatment, or utility easements since the disturbance required for developing the manhole and conducting maintenance of the underground pipes is minimal and the sewer infrastructure is serving the community as a utility facility. However, since this is a development permit these criterion are applicable. Any work within the right-of way, including the driveway approach, shall meet the City requirements as conditioned. These criterion are met as conditioned.

E. HCAD - HABITAT CONSERVATION AREA DISTRICT

17.25.020 Area of application.

A. Chapter 17.25 applies in the Habitat Conservation Area District (HCAD). The HCAD applies to all parcels containing a Habitat Conservation Area (HCA). The HCAD also applies to any area that is less than 100 feet outside the boundary of an HCA even if the area is not located on the same parcel as the HCA. HCAs are identified on maps adopted by reference in Chapter 6 of the Comprehensive Plan (hereinafter referred to as the HCA Map) and are categorized as High, Moderate, or Low HCA.

B. An applicant may dispute the location of an HCA by submitting an application for HCA Map Verification pursuant to Section 17.25.060(B) or by applying for a Comprehensive Plan amendment to modify the HCA Map. HCA Map Verification does not amend the Comprehensive Plan.

B. Development within an HCA in accordance with the provisions of Chapter 17.25 shall not result in removal of such developed areas from the HCA and shall not change the applicable HCA category.

Finding. The proposal is located on a property that contains HCAD. The applicant is not disputing the location of the HCA through a HCA Map Verification. The application is reviewed in accordance with the provisions of Chapter 17.25. These criterion are met.

17.25.030 Definitions.

Unless specifically defined in this Subsection, words or phrases used in Chapter 17.25 shall be interpreted to give them the same meaning as they have in common usage and to give Chapter 17.25 its most reasonable application.

E. Development: any manmade change defined as structures, roads, utilities, mining, dredging, paving, filling, or grading in amounts greater than 10 cubic yards. In addition, "development" is any other activity that results in the removal of more than 10 percent or 20,000 square feet of the Habitat Conservation Area vegetation on a lot of record, whichever is less. The calculation of the amount of vegetative cover removed shall be done separately for each lot of record and shall include all vegetative cover removed after December 8, 2009, regardless of whether the removal is done as one project or a series of projects. When individual trees are removed, the area contained within the tree's drip line shall be the basis for calculating the square footage of vegetation removed.

Finding. The proposed work involves digging up and replacing existing roadway, driveway, and a manhole. Therefore, the proposed work is development. This criterion is met.

17.25.040 Exempt uses.

The following uses and activities are exempt from the requirements of Chapter 17.25, except that if the use or activity requires a building or grading permit, a Construction Management Plan shall be required pursuant to Subsection 17.25.060(A). Notwithstanding the requirement for HCA Map Verification under Subsection 17.25.060(B), the HCA Map shall be deemed reliable for the purpose of administering Section 17.25.040 unless an approved HCA Map Verification exists for the subject property, in which case the approved HCA Map Verification shall be used to administer Section 17.25.040.

F. Expansion or replacement of an existing structure, provided that:

- 1. The expansion or replacement shall not intrude more than 500 square feet into the HCA in addition to the building footprint that lawfully existed on December 8, 2009. If more than one expansion or replacement of the same structure is undertaken—regardless of whether the work is done as one project or a series of projects—the total increase in the intrusion in the HCA shall not exceed this 500-square-foot limit;*
- 2. The new intrusion into the HCA shall be no closer to the protected water resource than the pre-existing structure; and*
- 3. Replacement is lawfully commenced within one year of destruction of the original structure. “Lawfully commenced” means the filing of an application for a land use, building, septic, grading, manufactured dwelling or residential trailer placement, plumbing, electrical, or other development permit required by the County or other appropriate permitting agency that is necessary to begin replacement of the structure.*

G. Development that will have a disturbance area that does not exceed 120 square feet. If more than one development is undertaken pursuant to this exemption—regardless of whether the work is done as one project or a series of projects—the total disturbance area shall not exceed this 120 square-foot limit;

K. Maintenance, alteration, repair, and replacement of existing roads, railroads, and utilities, provided that there is no additional intrusion into the HCA;

Finding: Based on the application materials provided, the proposed alteration, and repair of the utility facility, does not have additional intrusion into the HCA, other than the replacement of the existing manhole structure. The replacement of the manhole structure and the improvements to the manhole access are anticipated to intrude less than 500 square feet into the HCA as noted in the application narrative and shown on the site plan. Therefore, the proposed use is exempt from the requirements of Chapter 17.25 and no additional HCA development permit is needed for the work proposed in Z0500-22. These criterion are met.

Based on the findings above, the Planning Staff are recommending the Planning Commission APPROVE the Conditional Use Application No. Z0500-22-C.

Pursuant to Section 17.92.020 of the Gladstone Municipal Code, the decision of the Planning Commission may be appealed to the City Council within 15 days of the mailing of the Planning Commission’s written decision. In order to appeal a decision of the Planning Commission, a party must have appeared orally or in writing before the Planning Commission. The filing fee for the appeal is \$250.00. If no appeal is filed within 15 days, the decision of the Planning Commission shall be final.

EXHIBITS

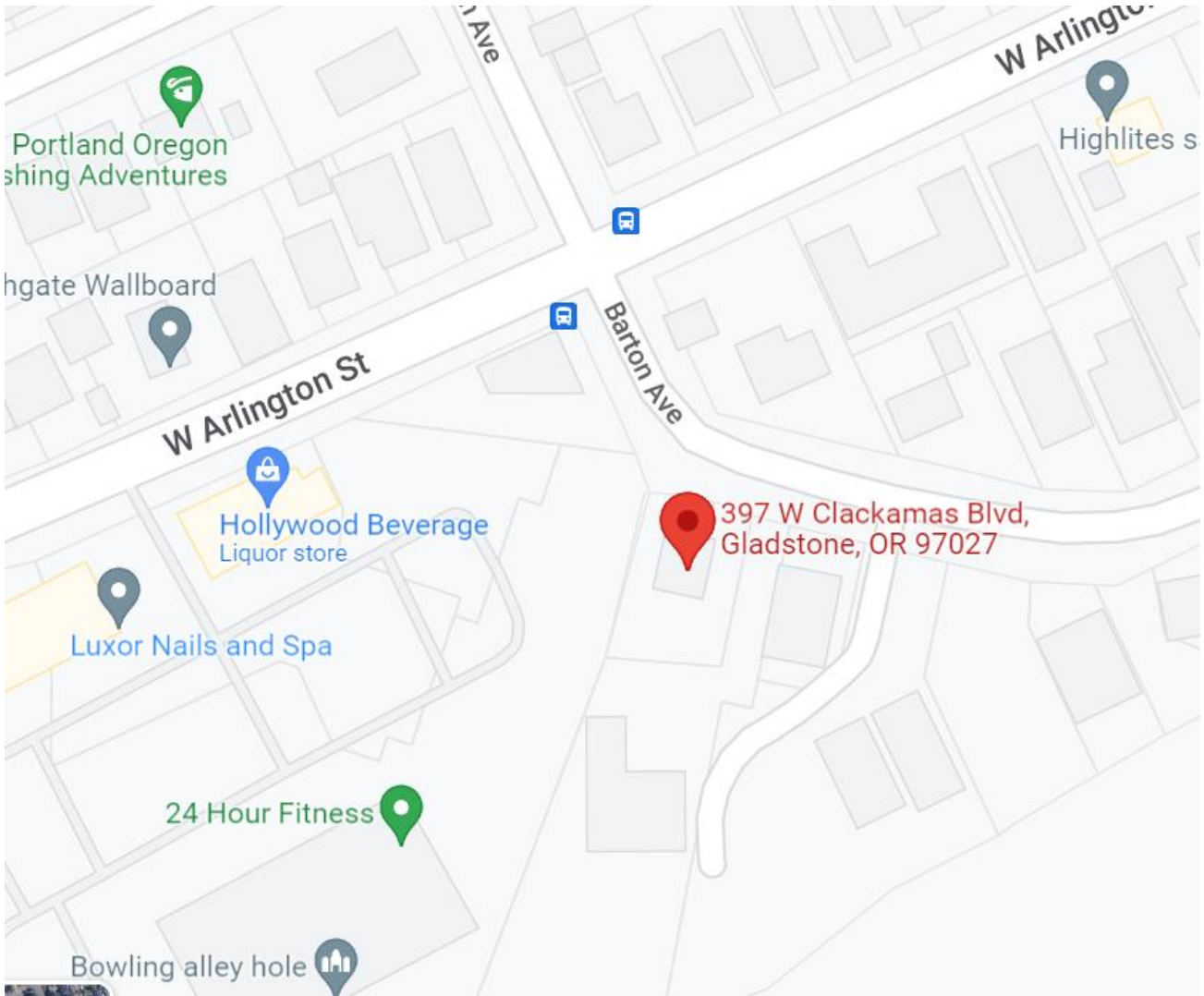


EXHIBIT 1
Location Map
Z0500-22-C

Existing Landscape Screen.

Existing Landscaping.

Existing Pump Station



EXHIBIT 2
Aerial Image
Z0500-22-C

Site Plan

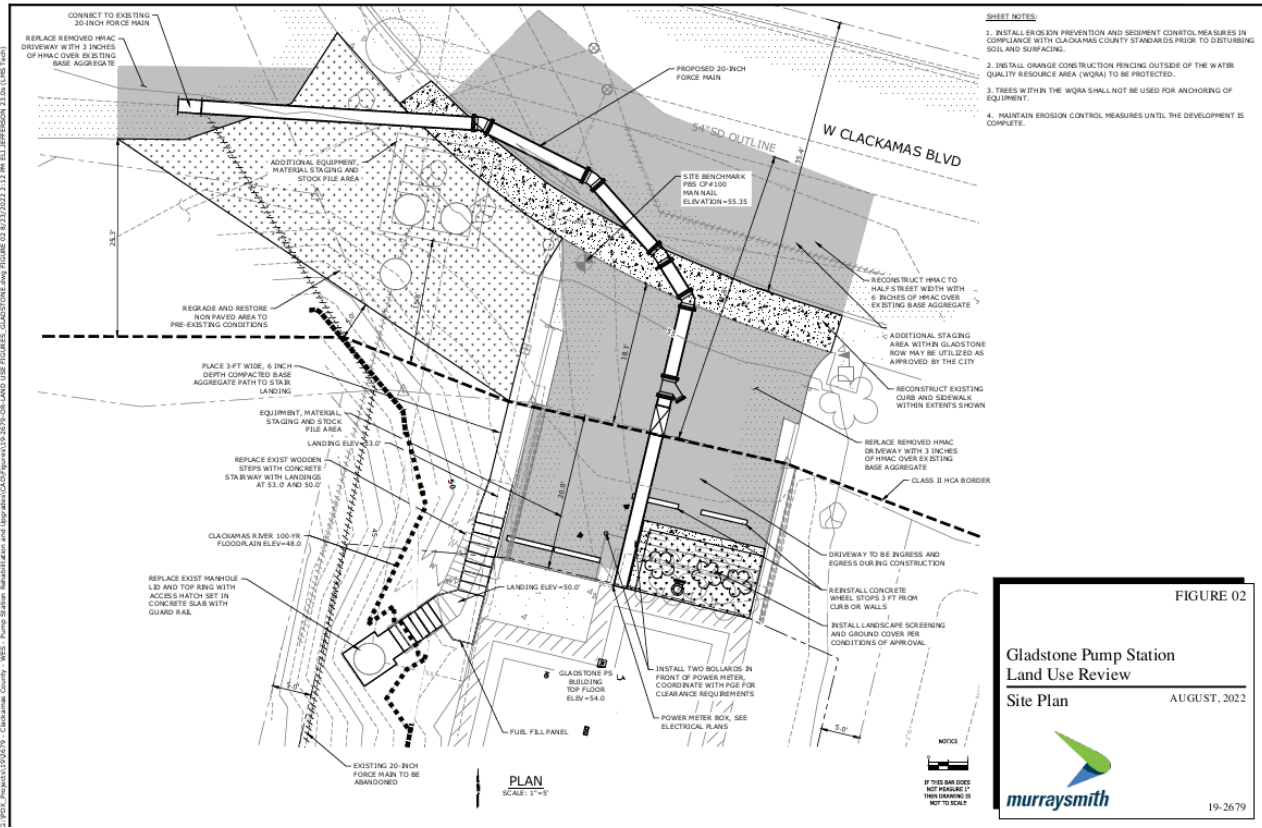


EXHIBIT 3
Site Plan
Z0500-22-C



Oct 24 2022

Z0500-22-C

Clackamas County
Planning & Zoning Division

Gladstone planning services are provided by Clackamas County. Submit all land use applications and correspondence to: Clackamas County Planning Division, 150 Beaver Creek Road, Oregon City, OR 97045
Phone: 503-742-4500 E-Mail: jfields@clackamas.us

CONDITIONAL USE INFORMATION SHEET

WHAT IS A CONDITIONAL USE?

The Gladstone Municipal Code (GMC) classifies certain uses in each zoning district as conditional uses. Such uses are subject to additional review and approval criteria than are uses permitted outright. Approval of a conditional use may be subject to conditions found necessary to protect the best interests of the surrounding area or the city as a whole.

WHAT IS NEEDED FOR APPROVAL?

All conditional uses are discretionary and may be permitted after evaluation according to criteria in the GMC. The city must make written findings to support the decision. The applicant is responsible for providing evidence to support a conditional use request, according to Chapter 17.70 of the GMC.

WHAT ARE CHANCES FOR APPROVAL?

Staff cannot predetermine the decision on any application. A decision will only be made after the complete application is processed. This includes review of citizen and agency comments. The decision is based on criteria appropriate to the application as listed in the GMC. To address the necessary criteria, the information provided in response to the application form should be as thorough as possible.

APPLICATION PROCESS

Conditional use permits are subject to the quasi-judicial process and public notice. Public comments received from property owners, agencies, and other interested parties may affect the decision on the application. Special conditions may be attached to an approval. All conditional use applications are reviewed at a public hearing before the Gladstone Planning Commission. The Planning Commission's decision may be appealed to the City Council, where an additional public hearing will be held. The City Council's decision may be appealed to the Oregon Land Use Board of Appeals.

HOW DO I MAKE A CONDITIONAL USE APPLICATION?

- Complete a City of Gladstone Land Use Application and Conditional Use Supplemental Application
- Provide a plot plan drawn to scale on 8 ½" x 11" or 8 ½" x 14" paper showing the property and your proposal, including buildings, driveways, setbacks, etc.
- Provide drawings of building elevations and floor plans.
- Submit the application form, plot plan, drawings and application fee of \$3,905 to the Clackamas County Planning Division. After your application is deemed complete, **submit a minimum of twelve copies of large plans or other items that cannot easily be reproduced by the Planning Division.**
- Although not required, it is strongly suggested that you attend the Planning Commission and, if applicable, the City Council hearings to speak on behalf of your proposal.



CONDITIONAL USE LAND USE APPLICATION

Gladstone planning services are provided by Clackamas County.
 Submit all land use applications and correspondence to:
 Clackamas County Planning Division,
 150 Beaver Creek Road, Oregon City, OR 97045
 Phone: 503-742-4510 E-Mail: jfields@clackamas.us

A completed application includes the APPLICATION FOR A CONDITIONAL USE LAND USE APPLICATION and the items identified in the SUPPLEMENTAL APPLICATION below.

- ✓ Please answer all questions. If a question is not applicable to your project, indicate "N.A."
- ✓ Incomplete applications will not be accepted for filing.
- ✓ All exhibits must be legible.

• FOR STAFF USE ONLY •

File No: _____ Other Related Permit Applications: _____
 Pre-app: Staff _____ Date _____ Staff Member: _____
 Date Received: _____ Fee _____ Zone: _____
 Hearing Date: _____ Comp. Plan: _____

• APPLICANT INFORMATION •

PLEASE TYPE OR PRINT IN BLACK INK ONLY

SECTION I. APPLICANT/ PROPERTY OWNER

NAME OF APPLICANT _____
 LAST FIRST

MAILING ADDRESS _____ CITY _____ ST _____ ZIP _____

APPLICANT IS: LEGAL OWNER CONTRACT BUYER OPTION BUYER AGENT

NAME OF CONTACT PERON (if other than applicant) _____

MAILING ADDRESS OF CONTACT _____

PHONE NUMBERS OF: APPLICANT: WK _____ HM _____ CONTACT PERSON: WK: _____ HM _____

EMAIL OF APPLICANT: _____

SITE ADDRESS: _____ TOTAL LAND AREA: _____

LEGAL DESCRIPTION: T _____ R _____ SECTION _____ TAX LOT(S) _____

ADJACENT PROPERTIES UNDER SAME OWNERSHIP: T _____ R _____ SECTION _____ TAX LOT(S) _____

OTHER PERSONS (IF ANY) TO BE MAILED NOTICES REGARDING THIS APPLICATION:

NAME	ADDRESS	ZIP	RELATIONSHIP

I hereby certify the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge.

Jessica Rinner

 OWNER'S SIGNATURE

Jessica Rinner

 APPLICANT'S SIGNATURE

OWNER'S NAME (Print) _____

APPLICANT'S NAME (Print) _____

CONDITIONAL USE SUPPLEMENTAL APPLICATION

Describe your proposed development. Identify the number of people associated with the use (employees, students, congregation members, clients, etc.); days and hours of operation; building materials, including type and color, unless no new buildings or modifications of existing buildings are proposed; and buildings, vehicles, equipment and materials associated with the use:

Identify where in the GMC the use is listed as a conditional use in the underlying zoning district or explain why the use may be authorized pursuant to GMC Chapter 17.74 (authorization of similar uses).

Explain why the use is suitable for the proposed site, considering size, shape, location, topography, existence of improvements and natural features.

Explain why the use is timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use.

Explain why the use will not alter the character of the surrounding area in a manner that substantially limits, impairs or precludes the use of surrounding properties for the primary uses listed in the underlying zoning district.

Explain how the proposed use satisfies the policies of the Comprehensive Plan that apply to it.

(Use additional sheets to answer questions if necessary)



Instructions for PRELIMINARY STATEMENTS OF FEASIBILITY

Instructions to Applicant:

The attached *Preliminary Statement of Feasibility* form is to be completed by the applicable sanitary sewer service provider, surface water management authority, and water service provider. Where there is no surface water management service district for the subject property, this form is to be provided to the Clackamas County Department of Transportation and Development, Transportation Engineering Division. *Preliminary Statements of Feasibility* are not required for onsite wastewater treatment facilities (e.g., septic tanks) or water service by private well.

Completed *Preliminary Statement of Feasibility* forms must be submitted with a land use application for design review, a partition, a subdivision, conditional use permit, or zone change.

It is the responsibility of the applicant for a land use application to provide a copy of this form to each service provider for the subject property. A service provider may require the submission of detailed plans and/or engineering data prior to determining whether a *Preliminary Statement of Feasibility* will be issued. Contact the service providers for details.

The forms must be dated no more than one year prior to submittal of a complete land use application.

Instructions to Reviewing Service Provider or Surface Water Management Authority:

A development is proposed within your service area. Please complete the attached *Preliminary Statement of Feasibility* to indicate whether adequate service can be provided to this development.

If adequate service can be provided only with the implementation of certain conditions of approval, you may attach such conditions to the completed form. Completion of the *Preliminary Statement of Feasibility* does not imply that additional requirements (e.g., plan submittals) may not be imposed by your agency once a land use application for the prospective development is filed.

Clackamas County Planning & Zoning will continue to provide notice to you of land use applications for property within your service area. This will allow you to determine whether the submitted development proposal differs from the plans reviewed by your agency in conjunction with the completion of this statement. This will also allow you to provide additional comments as necessary.

Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at 503-742-4545 or drenhard@clackamas.us.

503-742-4545: ¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод?
翻译或口译? | Cần Biên dịch hoặc Phiên dịch? | 번역 또는 통역?



PRELIMINARY STATEMENT OF FEASIBILITY

TO BE COMPLETED BY APPLICANT		
Applicant name:	Applicant email:	Applicant phone:
Project engineer:	Project engineer email:	Project engineer phone:
Site address:		
Map and tax lot #:		
Township: _____ Range: _____ Section: _____ Tax Lot: _____		
Township: _____ Range: _____ Section: _____ Tax Lot: _____		
Township: _____ Range: _____ Section: _____ Tax Lot: _____		

TO BE COMPLETED BY SERVICE PROVIDER / SURFACE WATER MANAGEMENT AUTHORITY	
Name of service provider / surface water management authority:	Name and title of authorized representative:
Representative email:	Representative phone:
<p>Check all that apply:</p> <p>Water Service</p> <p><input type="checkbox"/> Water service, <i>including fire flows</i>, is available in levels appropriate for the development and adequate water system capacity is available in source, supply, treatment, transmission, storage, and distribution, or such levels and capacity can be made available through improvements completed by the developer or the system owner.</p> <p><input type="checkbox"/> Water service is adequate <i>with the exception of fire flows</i>. The applicant shall provide a statement from the fire district serving the subject property that states that an alternate method of fire protection, such as an on-site water source or sprinkler system, is acceptable.</p> <p><input type="checkbox"/> Adequate water service <i>cannot</i> be provided.</p> <p>Sanitary Sewer Service</p> <p><input type="checkbox"/> Sanitary sewer capacity in the wastewater treatment system and the sanitary sewage collection system is available to serve the development or can be made available through improvements completed by the developer or the system owner.</p> <p><input type="checkbox"/> Adequate sanitary sewer service <i>cannot</i> be provided.</p> <p>Surface Water Management, Treatment, and Conveyance</p> <p><input type="checkbox"/> Adequate surface water management, treatment, and conveyance is available to serve the development or can be made available through improvements completed by the developer or the system owner.</p> <p><input type="checkbox"/> Adequate surface water management, treatment, and conveyance <i>cannot</i> be provided.</p>	
<p>Is this statement issued subject to any conditions of approval?</p> <p style="text-align: center;"><input type="checkbox"/> YES, and those conditions are attached. <input type="checkbox"/> NO</p>	
Signature of authorized representative:	Date of signature:
<i>Jessica Rinner</i>	10/19/2022

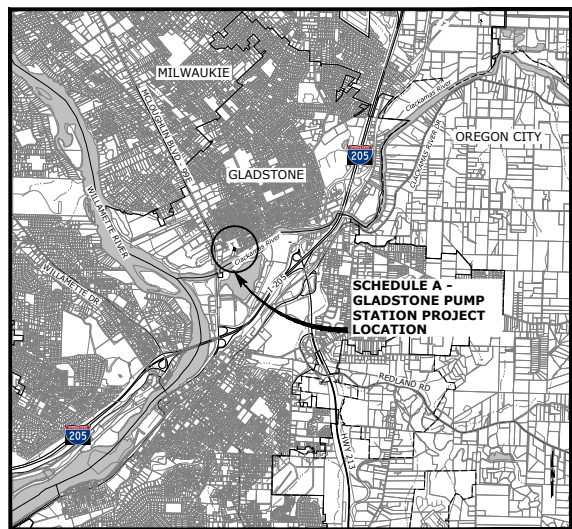
G:\PDX_Projects\19-2679 - Clackamas County - WES - Pump Station Rehabilitation and Upgrades\CAD\Figures\19-2679-OR-LAND USE FIGURES_Gladstone.dwg FIGURE 01 8/23/2022 1:48 PM ELLJEFFERSON, J.J. (s) (LNS Tech)



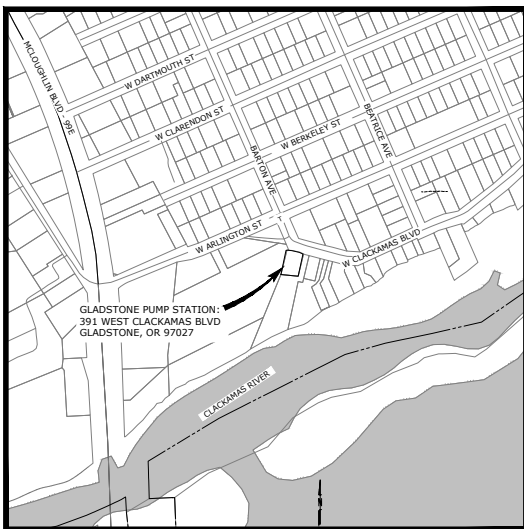
PUMP STATION REHABILITATION AND UPGRADES PROJECT

GROUP 2 - GLADSTONE PUMP STATIONS

AUGUST, 2022



VICINITY MAP
SCALE: 1"=2000'



SCHEDULE A LOCATION MAP
SCALE: 1"=200'

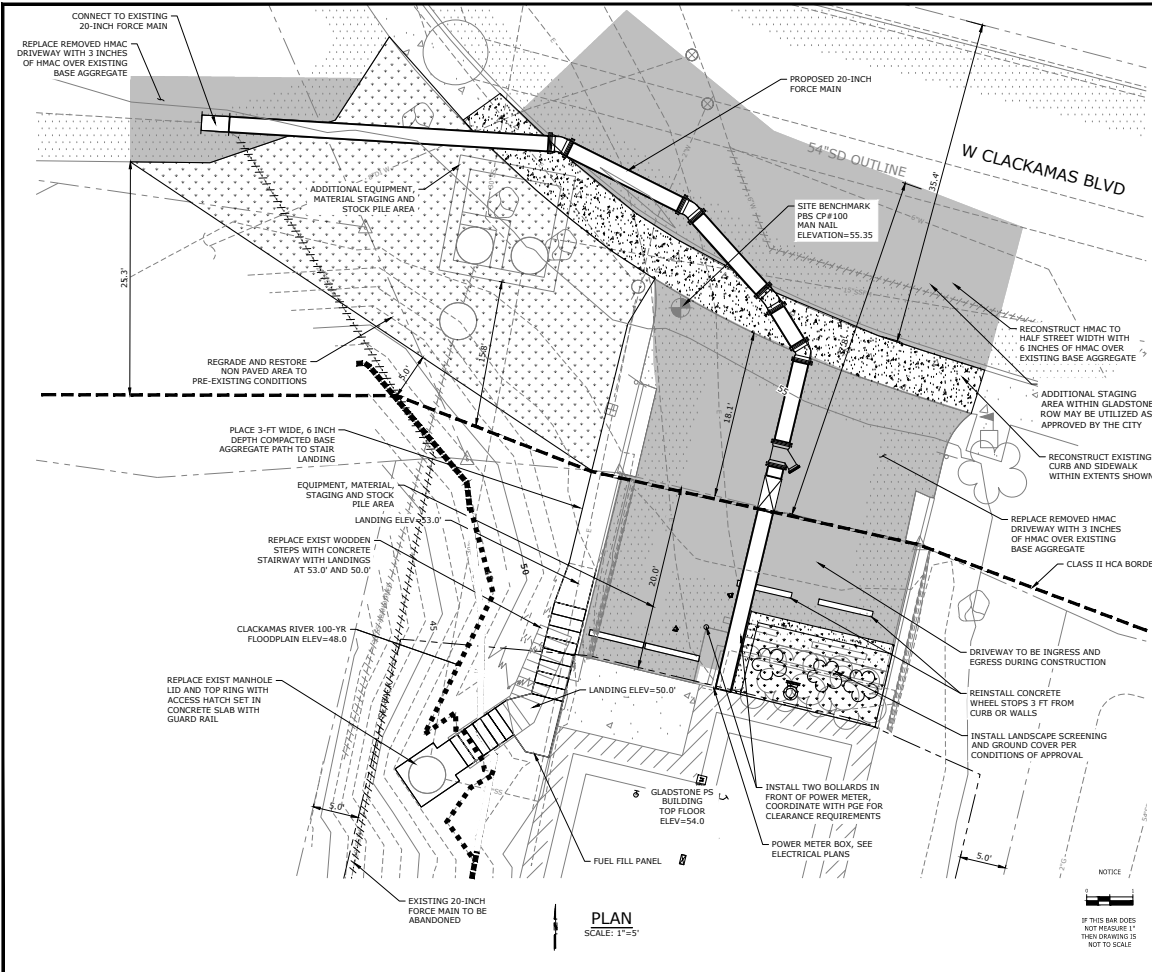
FIGURE 01

Gladstone Pump Station
Land Use Review
Cover Sheet

AUGUST, 2022

19-2679

G:\PDX_Projects\19\2679 - Gladstone Pump Station Rehabilitation and Upgrades\CAD\Figures\19-2679\OR-LAND USE FIGURES_GLADSTONE.dwg (FIGURE 02 8/23/2022 2:12 PM KLLJEFFERSON, J.J. (loc))




- SHEET NOTES:**
1. INSTALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES IN COMPLIANCE WITH CLACKAMAS COUNTY STANDARDS PRIOR TO DISTURBING SOIL AND SURFACING.
 2. INSTALL ORANGE CONSTRUCTION FENCING OUTSIDE OF THE WATER QUALITY RESOURCE AREA (WQRA) TO BE PROTECTED.
 3. TREES WITHIN THE WQRA SHALL NOT BE USED FOR ANCHORING OF EQUIPMENT.
 4. MAINTAIN EROSION CONTROL MEASURES UNTIL THE DEVELOPMENT IS COMPLETE.

FIGURE 02

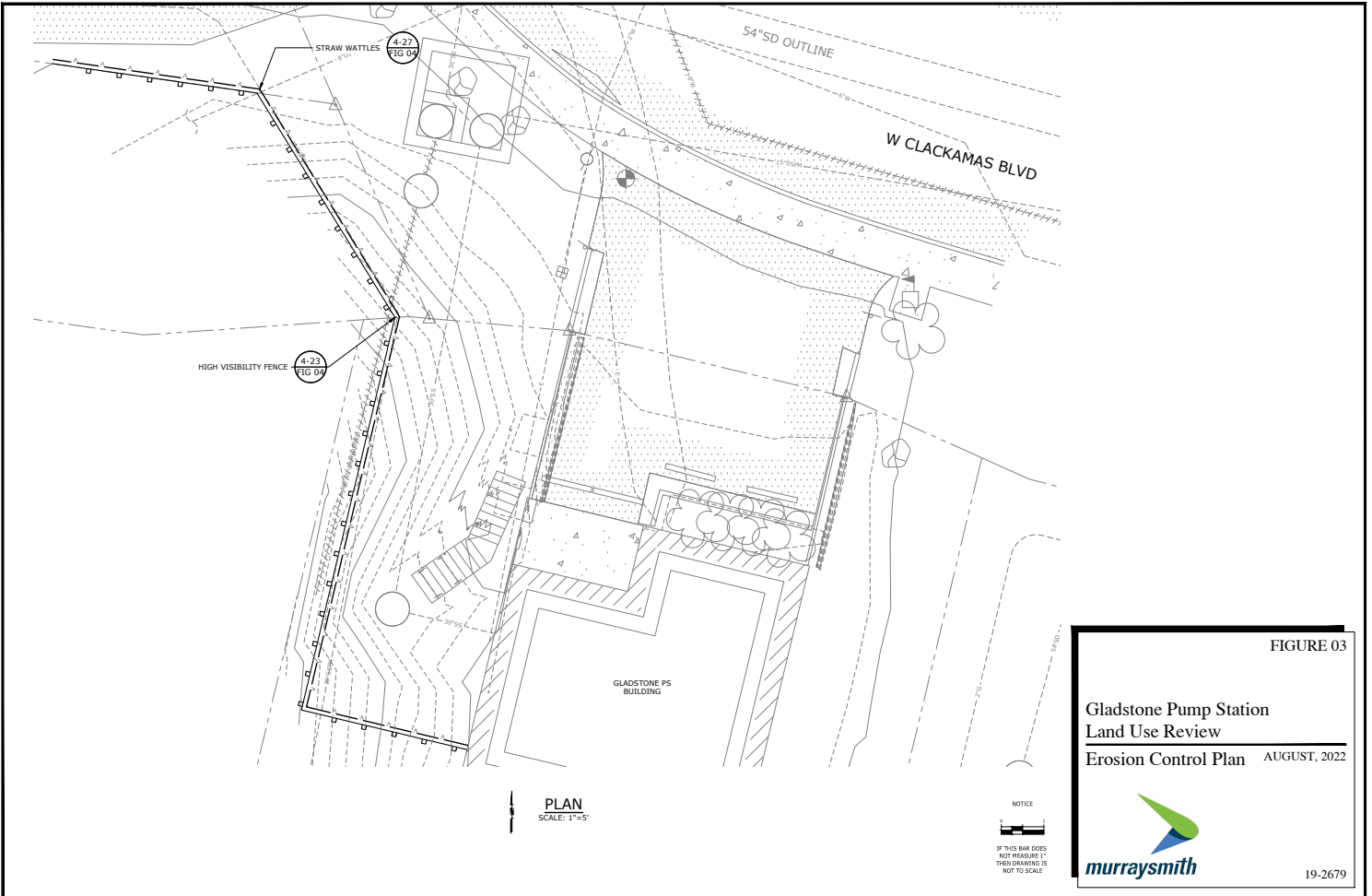
**Gladstone Pump Station
Land Use Review
Site Plan**

AUGUST, 2022

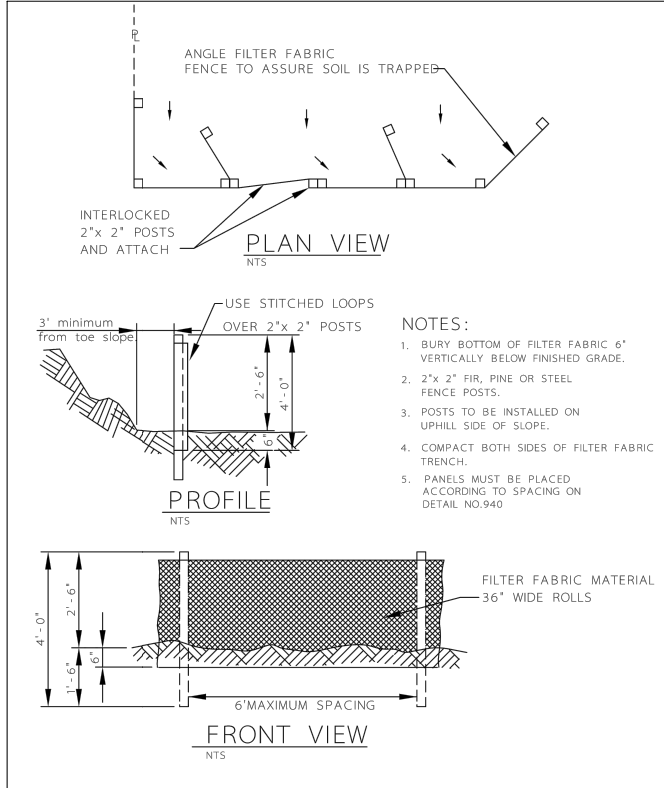


19-2679

G:\PDX_Projects\19-2679 - Clackamas County - WES - Pump Station Rehabilitation and Upgrades\CAD\Figures\19-2679\OR-LAND USE FIGURES_Gladstone.dwg FIGURE 03 8/23/2022 2:14 PM KLLJEFFERSON, J.J. (c) (LNS Tech)



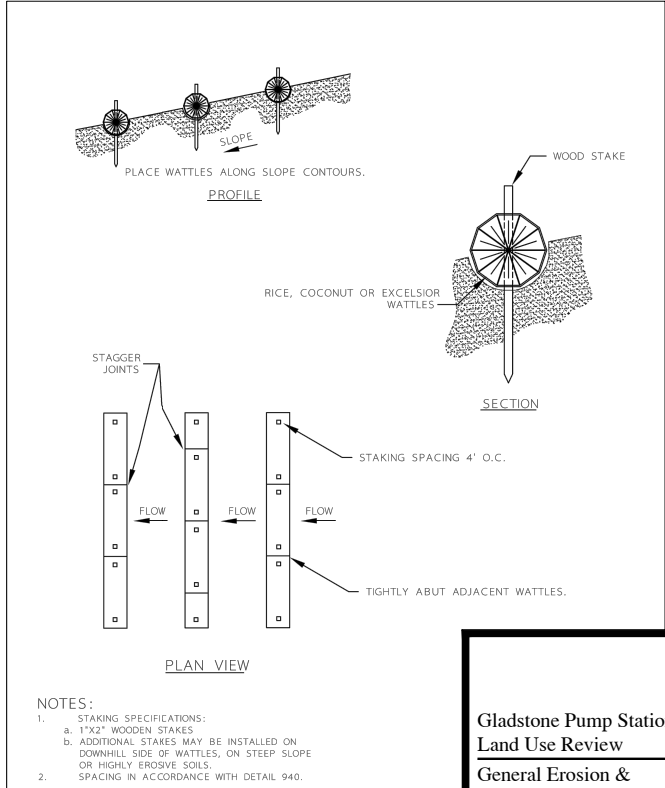
G:\PDX_Projects\19\2679 - Clackamas County - WES - Pump Station Rehabilitation and Upgrades\CAD\Figures\19-2679-OR-LAND USE FIGURES-GLADSTONE.dwg FIGURE 04 8/23/2022 1:52 PM ILLJEFFERSON 23.04 (LMS Tech)



HIGH VISIBILITY SEDIMENT FENCE

DETAIL DRAWING 4-23

REVISED 01-09



WATTLES

DETAIL DRAWING 4-27

REVISED 01-09

FIGURE 04

Gladstone Pump Station
Land Use Review
General Erosion & Sediment Control Details - 1



19-2679

G:\PDX_Projects\19_2679 - Clackamas County - WES - Pump Station Rehabilitation and Upgrade\CAD\Figures\19-2679\OR-LAND USE FIGURES_Gladstone.dwg FIGURE 05 8/23/2022 2:14 PM KLLJEFFERSON, J.J. (c)

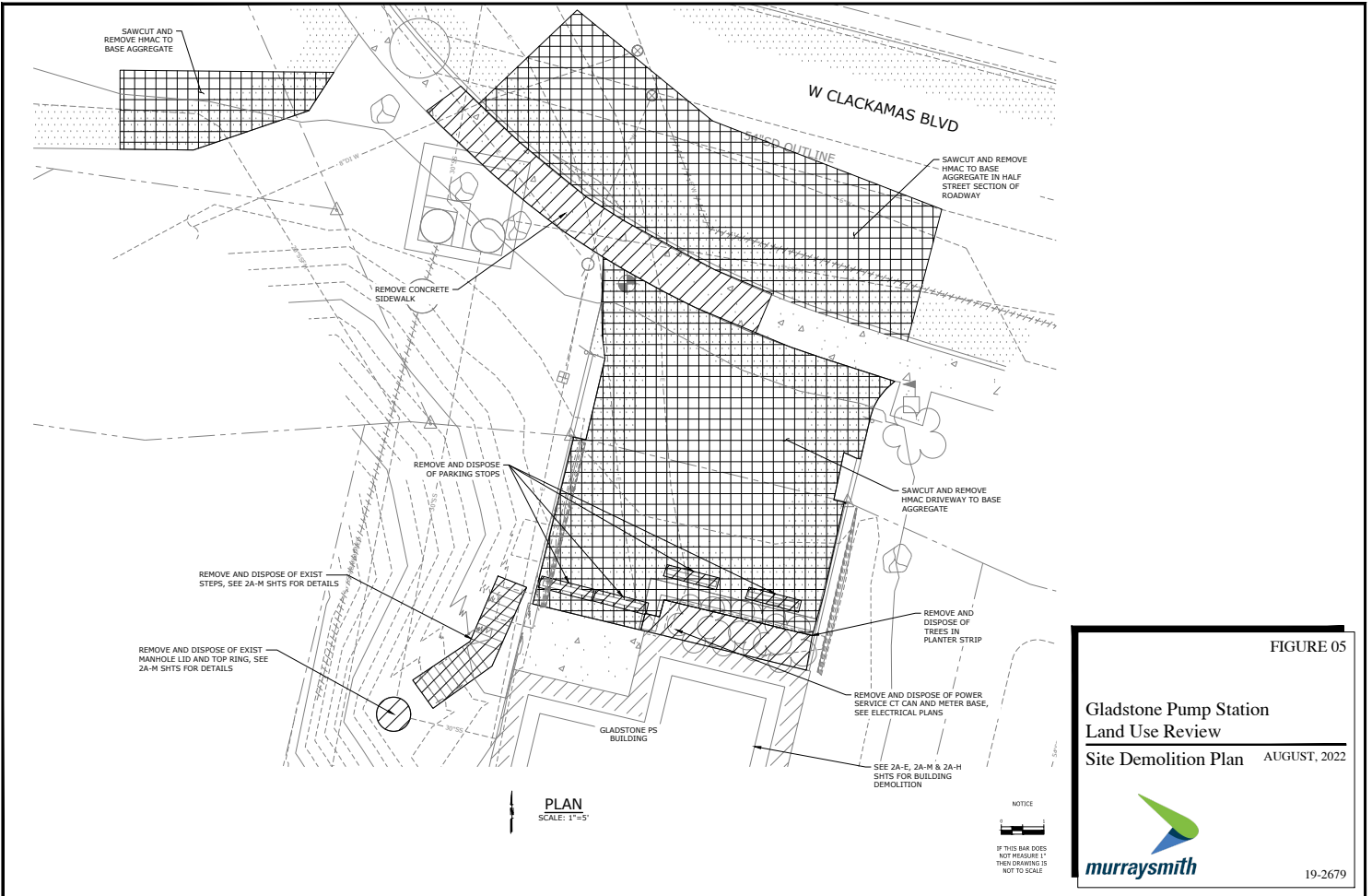



FIGURE 05

**Gladstone Pump Station
Land Use Review
Site Demolition Plan** AUGUST, 2022



19-2679

Gladstone Pump Station Rehabilitation Project



[Google image 2007](#)

Submitted by:

Clackamas Water Environmental Services (WES) And

Conсор Engineering

October 21, 2022

OWNER/APPLICANT

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APPLICANT'S REPRESENTATIVE

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e.eisemann@e2landuse.com

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Conditional Use Application: Land Use Narrative

Proposal

Clackamas Water Environment Services (WES) produces clean water and protects water quality. WES operates and maintains five resource recovery facilities, 23 pumping stations and more than 360 miles of pipes. The Gladstone Pump Station is one of the many important public infrastructure facilities WES operates and maintains.

The Gladstone Pump Station is located along West Clackamas Blvd., Gladstone, Oregon.¹ WES has determined that the Gladstone Pump Station requires reliability, operational safety, and efficiency upgrades. The improvements will replace old and failing equipment to increase the reliability of the facility and address specific maintenance and safety issues. The project will not increase the pumping capacity, building area, or classification. The applicant anticipated conditional use land use review and incorporated applicable land use regulations into the design process.

The facility serves the western portion of Gladstone and pumps flow across the Oregon Highway 99E Clackamas River Bridge to an interceptor in Main Street in Oregon City. The pump station was originally constructed in 1986 and appears to have most of its original equipment. The existing 20-inch diameter force main consists of concrete cylinder pipe for the buried section and exposed welded steel crossing the bridge. The facility has a firm pumping capacity of 5.7 MGD in a triplex configuration of flooded suction pumps located in a pump room.

The developed portion of the site is level and slopes downhill towards the Clackamas River. The pump station is a one-story structure constructed along W Clackamas Boulevard on the high ground above the Clackamas River. The site is within the 100-year flood management area and the existing pump station finish floor elevation is located 2.5 feet above the 100-year flood plain elevation published in the FEMA FIRMette floodway maps. The pump station and southern half of the driveway are within the Title 13 Class II boundary. Except for the existing influent manhole on the southwest side of the property, the developed portion of the site is above the 1996 flood elevation.

The facility is not staffed on a regular basis; however, the facility is subject to regular inspection and maintenance activity. The front yard parking area is adequate for routine maintenance use.

The proposed pump station remodeling is primarily an upgrade of existing mechanical and electrical equipment within the interior of the structure. Proposed external improvements within the disturbed portion of the site include construction of a bypass vault in the existing driveway and realignment of the landing to an influent manhole with an oversized hatch with top slab and with railings along three sides of the structure to improve both access and safety. The sewer line will reconnect to the force main in W. Clackamas Boulevard. On the west side of the existing structure, the proposed exterior work includes a

¹ Tax Map # and Property ID - 22E20CC07301; PN 01371820

concrete replacement of an existing stairway. See Figure 1, Existing Conditions and Figure 2, Proposed Site Plan.

Figure 1 – Existing Conditions

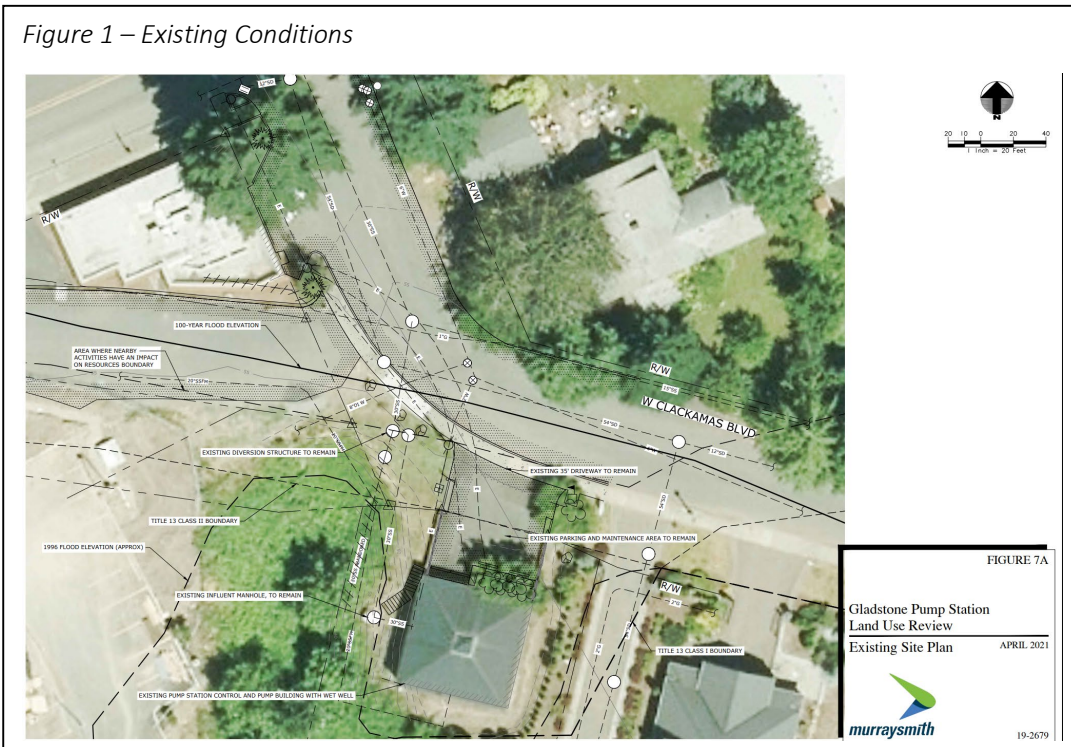
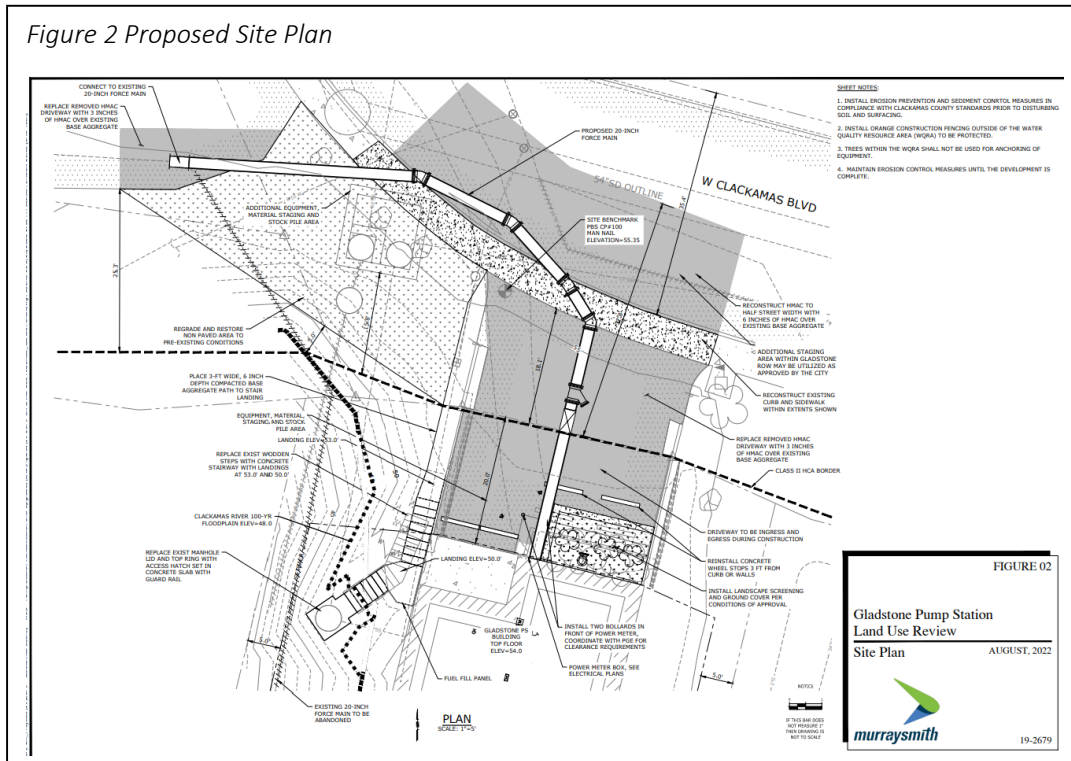


Figure 2 Proposed Site Plan



Pre-application Staff Notes

On July 24, 2021, Clackamas County conducted a pre-application conference via Zoom regarding the proposed upgrade of the W. Clackamas pump station. ZPAC0073-21. The conference staff report noted the following facts:

Zoning is R-5. Subject to Gladstone Municipal Code (GMC) 17.12.

Conditional Use. A utility facility, “provided, that no outside storage is involved” requires conditional use approval. (GMC 17.12.040(9) The application must address the approval criteria in GMC 17.70.010(1).

Applicable Environmental Overlays

- Flood Management Area (FM) (GMC 17.29)

The property is in the Floodplain Management Area District. (See pre-app staff report Map 13) **A flood management permit for the pump station maintenance may be required.** Provide a LOMA/LOMR or 1996 flood level data. Verify the 2-foot above Base Flood Elevation (BFE). Floodproof material may be used for non-residential buildings. No net fill in any floodplain is a requirement of the Gladstone Municipal Code per 17.29.100(4)(b)

- Habitat Conservation Areas (HCA) (GMC 17.25)

A Habitat Conservation Area (HCA) permit is required for:

- Grading that moves more than 10 cubic yards of soil.
- The expansion or replacement of an existing structure that intrudes more than 500 square feet into the HCA.
- Development in the HCA with a total disturbance area exceeding 120 square-feet.

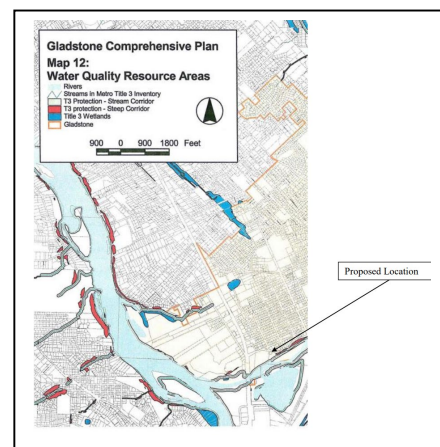
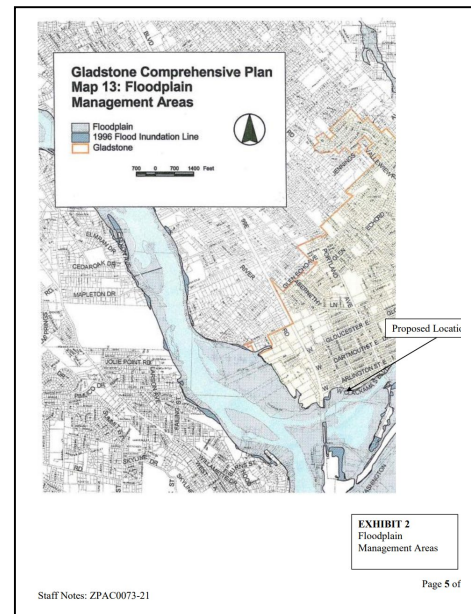
The proposed project is not anticipated to expand the existing structure or intrude more than 500 square feet into the HCA or disturb more than 120 square-feet in the HCA. **Therefore, HCA review is unlikely.**

- Water Quality Resource Area (WQRA) GMC 17

The proposed maintenance of the utility facility is near but not within the WQRA. **A WQRA permit is not required.**

Comprehensive Plan Goals

- LAND USE PLANNING Goal: To provide and maintain a high standard for Gladstone’s quality of life.
- FACILITIES AND SERVICES Goal: To provide and maintain needed facilities and services in a timely, orderly, and efficient manner to serve urban development in the Gladstone area



- Objectives
 - 1: To ensure the continuation of adequate water, sewer, police, fire, library, recreation, and school services.
 - 2. To ensure the coordinated approach to the delivery of services.
 - 3. To improve the effectiveness, efficiency and quality of services and service delivery

The proposal appears to be in support of the Comprehensive Plan goals and objectives, specifically the Facilities and Services Goals.

Conditions of approval

Potential conditions of approval could relate to maintaining screening from residential lots, design standards, easements for utility and access, etc. Chapter 17.70 of the GMC does not have clear standards for screening, easements, etc. Therefore, for special conditions of approval, staff may make recommendations to the Planning Commission in the staff report that utilize the standards found in *DIVISION IV. DEVELOPMENT STANDARDS* that apply to Design Review applications to have uniformity with other sections of the GMC. However, Design Review land use process is not required for the proposed upgrades to the utility. For example, Chapter 17.70 uses screening as a potential condition of approval, but the specifications for screening in the GMC can be found in 17.48.040(1)(b).

Fees Fee The City of Gladstone does not have a Hearings officer so the fee for a Conditional Use application will be: \$2,895. The fee, updated on July 1, 2021, will be paid by WES via Inter Department Transfer.

ANALYSIS

USE

“Utility facility” means buildings, structures or any constructed portion of a system that provides for the production, transmission, conveyance, delivery or furnishing of services including, but not limited to, heat, light, water, power, natural gas, sanitary sewer, stormwater, telephone, and cable television. Utility facilities do not include stormwater pretreatment facilities.” (GMC) 17.06.548.

The pump station is an existing that provides for the transmission and conveyance of sanitary sewer.

R-5 ZONING DISTRICT GMC 17.12

17.12.050 Dimensional standards.

Except as provided in GMC Chapters [17.38](#) (Planned Unit Development), [17.72](#) (Variances) and [17.76](#) (Exceptions), the following dimensional standards shall apply in an R-5 zoning district:

(1) Lot Area.

(c) For other uses, the minimum lot area shall be 5,000 square feet, or as established by the Planning Commission, as provided by GMC Chapter [17.70](#) (Conditional Uses).

Response

The existing property is 0.18 acres (7,840 s.f.)

(2) Setback Requirements.

- (a) *A front setback shall be a minimum of 20 feet except that a front porch may project a maximum of five feet into a required front setback area;*
- (b) *A side setback shall be a minimum of five feet;*
- (c) *A rear setback shall be a minimum of 15 feet;*
- (d) *A street side setback shall be a minimum of 20 feet;*
- (e) *Architectural features such as cornices, eaves, gutters, chimneys, and flues may project a maximum of two feet into a required setback area.*

Response

There are no changes proposed to the existing setbacks. See Murrysmith Figure 02.

- (3) *Building Height. Maximum building height shall be 35 feet. Vertical projections such as chimneys, spires, domes, elevator shaft housings, towers, aerials, flagpoles, and similar objects not used for human occupancy are not subject to building height limitations of this subsection.*

Response

There is no change to the existing building height.

- (4) *Minimum Vegetation. For multi-family dwellings, the minimum area that must be left or planted with trees, shrubs, grass, etc., shall be at least 20 percent of the total area of the lot.*

Response

The proposal is not for a multi-family building. Not applicable.

- (5) *Exceptions in Case of Large-Scale PUD.*

Response

The proposal is for a utility facility use. Not applicable.

- (6) *Minimum Density.*

Response

Not applicable to a utility facility.

17.12.060 Design standards.

- (2) *Main Entrance.*

Response

Proposal is for a utility facility not a residential use and is not applicable.

- (3) *Design Features.*

Response

Proposal is for a utility facility not a residential use and is not applicable.

OFF-STREET PARKING AND LOADING GMC 17.48

Off-street parking and loading standards shall apply to all development permits. GMC 17.48.010

Response

Off-street parking and loading standards apply to the proposed pump station upgrade.

Standards for developments subject to design review. GMC 17.48.030

Response

The staff pre-application notes state that, “[The] Design Review land use process is not required for the proposed upgrades to the utility.” However, staff indicated that the staff and Planning Conditions may recommend specific conditions of approval which may affect the layout of the site of design of the architecture or landscaping.

The provisions of GMC 17.48 do not apply because the pump station does not have any leasable space, is not a residential use and does not have employees working at the facility on a daily or peak use time of year.

The existing facility has two off-street parking spaces that are used by WES staff for regular maintenance activity. These spaces have proven to be adequate for the existing pump station use. WES does not anticipate the need for additional parking spaces.

LANDSCAPING GMC 17.46

Landscaping standards shall apply to all development that is subject to design review. GMC 17.46.010.

GMC 17.46.020. Landscaping requirements shall be as follows:

- (1) Minimum Requirement. A minimum of 15 percent of the lot area shall be landscaped, except when a greater percentage is required elsewhere in this title.*

Response

The staff pre-application notes state that, “[The] Design Review land use process is not required for the proposed upgrades to the utility.” However, staff indicated that the staff and Planning Conditions may recommend specific conditions of approval which may affect the layout of the site of design of the architecture or landscaping.

The existing site has side yard landscaping plantings, and the rear of the facility is a naturally vegetated area that slopes down toward the Clackamas River. 0.12 acres of the 0.18-acre site, approximately 66%, are vegetated.

The front yard contains a paved parking area and a vegetated planter that spans the eastern portion of the pump station. It is possible, though not yet confirmed, that the original land use decision approving

the pump station required landscape features along the side yards and in the front yard as a condition of approval.²

DESIGN REVIEW GMC 17.80

Applicability GMC 17.80.021

(1) This chapter shall apply to additions to existing structures.... and major remodeling, with the following exceptions:

(k) Normal maintenance of structures and premises provided there are no significant use or structural alterations. Normal maintenance may include painting, roofing, siding, interior remodeling, electrical work, plumbing work, re-paving of access roads and parking/loading areas, replacement of landscaping elements or other similar tasks. Normal maintenance does not include increasing the number of dwelling units, constructing new structures, or constructing additions to existing structures except to the extent that an addition is necessary to render a structure accessible to the disabled. Normal maintenance performed shall be consistent with previous design review approvals for the site.

Response

The staff pre-application notes state that, “[The] Design Review land use process is not required for the proposed upgrades to the utility.” However, staff indicated that the staff and Planning Commission may recommend specific conditions of approval which may affect the layout of the site of design of the architecture or landscaping.

The application materials contain an existing condition plan and a proposed site plan. A comparison of the two plans indicates that the only substantive above-ground changes to the site are to add new louvres to the south and east sides of the pump station building, replace the existing exterior stairway and manhole hatch in the western side yard with a concrete stairway, a metal hatch cover, and new safety railings. The applicant also proposes to refresh the existing landscape screen along the front of the pump station.



The replacement of the wooden stairs with concrete steps and the addition of handrails are an important safety issue WES would like to address. The replacement of the hatch is a *de minimus* change.

CONDITIONAL USE GMC 17.70

[Describe your proposed development.](#) Identify the number of people associated with the use (employees, students, congregation members, clients, etc.); days and hours of operation; building materials, including

² The applicant asked staff for help locating the original land use decision to confirm this point but at the time of this writing, the original decision is not yet available.

type and color, unless no new buildings or modifications of existing buildings are proposed; and buildings, vehicles, equipment and materials associated with the use:

Response

The Gladstone Pump Station is a “Utility Facility,” including “buildings, structures or any constructed portion of a system that provides for the production, transmission, conveyance, delivery or furnishing of services including, but not limited to, sanitary sewer,” GZO 17.06.548 A utility facility is classified as a conditional use in the R-5 zone.

The developed portion of the site is level and slopes downhill towards the Clackamas River. The pump station is a one-story structure constructed along W Clackamas Boulevard on the high ground above the Clackamas River. The site is within the 100-year flood management area. The existing pump station and southern half of the driveway are within the Title 13 Class II boundary. Except for the existing influent manhole on the southwest side of the property, the developed portion of the site is above the 1996 flood elevation.

The existing structure and site driveway are in a developed neighborhood, zoned R-5, and the pump station designed and constructed to reflect the residential character of the neighborhood.

The facility is not staffed on a regular basis; however, the facility is subject to regular inspection and maintenance activity.

The proposed pump station remodeling is primarily an upgrade of existing mechanical and electrical equipment within the interior of the structure. Proposed external improvements within the paved portion of the site include construction of a bypass pumping connection to the existing force main in the existing driveway and realignment of the force main and reconnection to the force main in W. Clackamas Boulevard. On the west side of the existing structure, the proposed exterior work includes a concrete replacement of an existing stairway leading to an influent manhole with an oversized hatch with top slab and with railings along three sides of the structure. See Figure 1, Existing Conditions. See Figure 2 – Proposed site Plan.

17.70.010 Authorization to grant or deny. (Conditional use)

(1) Approval Criteria. A conditional use may be approved, pursuant to GMC Division VII (administrative procedures), if the applicant demonstrates that the proposed use:

(a) Is listed as a conditional use in the underlying zoning district or is authorized pursuant to GMC Chapter 17.74 (authorization of similar uses);

Response

The Gladstone Zoning Ordinance (GZO) classifies a utility facility as a conditional use in the R-5 zone, “provided, that no outside storage is involved.” GZO 17.12.040(9). The applicant does not propose to use any portion of the site for outdoor storage.

(b) Is suitable for the proposed site, considering size, shape, location, topography, existence of improvements and natural features.

Response

The pump station is an existing facility. Primary construction activity will include mechanical and electrical upgrades within the existing structure. Existing force main connects the existing pump station to the sanitary sewer collection system.

The developed portion of the site is flat and the southern side of the site slopes downward towards the Clackamas River. The southern and western sides of the site are within the Clackamas River flood management area. The only exterior work proposed within the flood management area include construction of a concrete stairway leading down slope to an influent manhole and hatch.

Consequently, the size, shape, location, topography, presence of natural features, and improvements make the site suitable for the proposed utility facility use.

(c) Is timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use.

Response

Proposed upgrades to the existing pump station will have no effect on the local transportation system because the use does not generate a meaningful amount of average daily or peak hour vehicle trips. The proposed upgrades are an element of the adopted general sewer plan and are necessary to maintain and improve reliable sanitary sewer service in the neighborhood. Therefore, the proposed improvements are timely.

(d) The location, size, and functional characteristics of the proposal are such that it can be made reasonably compatible with and have a minimal impact on livability and appropriate development of properties in the area and neighborhoods surrounding the subject site.

Response

The existing pump station was designed and constructed to blend into the residential neighborhood. The pump station is a single-story rectangular structure with a pyramidal roof. The proposed physical improvements include adding louvers to the south and east façade and enhancing the landscape feature on the north side.

(e) Satisfies the policies of the comprehensive plan that apply to the proposed use.

Response

A goal of the Facilities and Services element of the Gladstone Comprehensive Plan is to “Provide and maintain needed facilities and services in a timely, orderly and efficient manner to serve urban development in the Gladstone area.” Objective # 3 supporting this goal is “To improve the effectiveness, efficiency and quality of services and service delivery.”

The staff pre-application conference notes indicate the following goals, policies and objectives of the Gladstone Comprehensive Plan are applicable.

Comprehensive Plan Goals

- *LAND USE PLANNING Goal: To provide and maintain a high standard for Gladstone’s quality of life.*

- *FACILITIES AND SERVICES Goal: To provide and maintain needed facilities and services in a timely, orderly, and efficient manner to serve urban development in the Gladstone area*
- *Objectives*
 - 1: *To ensure the continuation of adequate water, sewer, police, fire, library, recreation, and school services.*
 2. *To ensure the coordinated approach to the delivery of services.*
 3. *To improve the effectiveness, efficiency and quality of services and service delivery.*

Maintenance and improvements of the city’s sanitary sewer collection system is essential to maintain a high standard of quality of life. Proper maintenance and upgrade of the city’s sanitary sewer collection system will ensure the continuation of effective, efficient sewer service in the area. Therefore, this proposal is consistent with the Facilities and Services element of the Gladstone Comprehensive Plan.

The staff pre-application conference notes state, “The proposal appears to be in support of the Comprehensive Plan goals and objectives, specifically the Facilities and Services Goals.”

FLOOD MANAGEMENT AREA DISTRICT (FM) [GMC 17.29](#)

Applicability GMC 17.29.020

- (1) *This chapter shall apply to development in the FM district. The FM district includes all flood management areas and is an overlay district.*

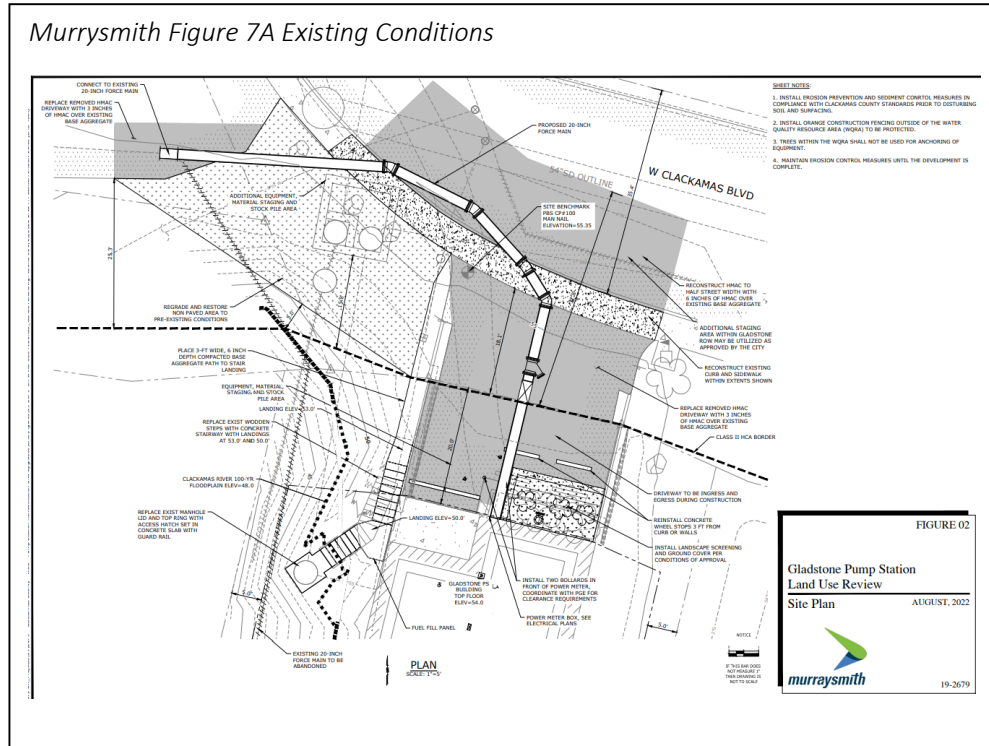
FM district development permits GMC 17.29.060

- (1) *An FM District development permit shall be obtained before construction or development begins within the FM district. A permit shall be required for all structures, including manufactured homes, and all other development, including fill and other activities.*
- (2) *Application for a development permit shall be made on forms furnished by the city. Requirements may include but are not limited to: plans in duplicate drawn to scale showing the nature, location, dimensions, and elevations of the area in question; existing or proposed structures, fill, storage of materials, drainage facilities and the location of the foregoing.*
- (3) *The following information is specifically required:*
 - (a) *Elevation in relation to mean sea level of the lowest floor (including basement) of all structures. Elevation data shall be submitted on current and effective FEMA Elevation Certificates.*
 - (b) *Elevation in relation to mean sea level to which any structure has been floodproofed.*
 - (c) *Certification by a registered professional engineer or architect that the floodproofing methods for any nonresidential structure meet the floodproofing criteria in GMC Subsection [17.29.100\(6\)\(b\)](#); and*
 - (d) *Description of the extent to which any watercourse will be altered or relocated as a result of proposed development.*

Response

As shown on Murrsmith Figure 02, Proposed Site Plan,

- A portion of the upgraded stair and manhole lid are within the 100-year flood elevation,
- The site waterward (south) from the middle of the parking area is within the HCA II boundary, and
- The force main improvements in the northern driveway and W Clackamas Blvd. are outside of the HCA boundary.



The finish grade at the upper floor of the pump station is at 54 feet and the bottom floor is at 19 feet. The upper floor is above the flood plain. The below grade walls are solid concrete that is 30-inches thick and have a waterproofing membrane. In addition, the pump station has redundant sump pumps that will drain any water entering the pump station. The proposed maintenance, repairs and minor alterations will not alter the course of the Clackamas River. Consistent with GMC 17.29.100, the applicant will restore all grades to pre-existing conditions. Consequently, there will no net increase in fill volume within the flood plain.

The pump station is supported on a pile foundation. The utilities lines have restrained joints. The pump station upgrades will increase the reliability of the pump station and reduce the likelihood of discharges from the system into the flood waters.

HABITAT CONSERVATION AREA (HCA) GMC 17.25

The following activities and uses are exempt from the requirements of Chapter 17.25, however, if a building or grading permit is required, a Construction Management Plan may be required.

- E Maintenance, alteration, expansion, repair, and replacement of existing structures, provided that the building footprint is not increased;*
- F. Expansion or replacement of an existing structure, provided that:*

1. *The expansion or replacement shall not intrude more than 500 square feet into the HCA in addition to the building footprint that lawfully existed on December 8, 2009. If more than one expansion or replacement of the same structure is undertaken—regardless of whether the work is done as one project or a series of projects—the total increase in the intrusion in the HCA shall not exceed this 500-square-foot limit;*
 2. *The new intrusion into the HCA shall be no closer to the protected water resource than the pre-existing structure; and*
 3. *Replacement is lawfully commenced within one year of destruction of the original structure. “Lawfully commenced” means the filing of an application for a land use, building, septic, grading, manufactured dwelling or residential trailer placement, plumbing, electrical, or other development permit required by the County or other appropriate permitting agency that is necessary to begin replacement of the structure.*
- K. *Maintenance, alteration, repair, and replacement of existing roads, railroads, and utilities, provided that there is no additional intrusion into the HCA;*

Response

The Gladstone pump station is a lawfully permitted existing utility structure. The footprint of the structure will not expand. The improvements to the exterior stair and hatch will not protrude further into the HCA. Replacement of stairway and hatch will not exceed 500 s.f. within the HCA. Therefore, the proposed upgrade of the Clackamas pump station is exempt from HCA review.

CONCLUSIONS

The reasons stated above, the proposed upgrades are consistent with the underlying R-5 zoning standards, Flood Management regulations, and the conditional use approval criteria for a utility facility.

EXHIBITS

- A. Existing Conditions – Murrysmith, May 2021
- B. Murrysmith Plan Set – August 2022
 - 01 Cover Sheet
 - 02 Site Plan
 - 03 Erosion Control Plan Detail
 - 04 General Erosion and Sediment Control – Details -1
 - 05 Site Demolition Plan
- C. Preliminary Statements of Feasibility (Clackamas County)
- D. Fee – Inter Department Transfer
- E. Application Form - signed

HERCULUX™

H1212 SERIES – LOW PROFILE HOUSING

PRODUCT FEATURES:

- » Surface mount – wall (H1212EL) or ceiling (H1212FL); 12"Wx12"Lx5"D
- » Heavy duty cold rolled steel or aluminum baseplate
- » One-piece, UV-stabilized polycarbonate lens
- » Eyelid or full face styles available
- » Peace of Mind Guarantee® against breakage



H1212EL



H1212FL

PROJECT INFORMATION

Job Name _____

Fixture Type _____

Catalog Number _____

Approved by _____

SPECIFICATIONS

BASEPLATE: H1212FL: 16-gauge CRS. White TGIC polyester powder coat – 5-step pre-treatment. Salt spray test: 1,000 hours. Reflectance: 92%. Baseplate provided with four-point mounting holes and one wireway hole. See Ordering Options for marine grade aluminum baseplate (AL). For LEL-SA option, standard dark bronze TGIC polyester powder coat – 5-step pre-treatment. See Ordering Information for optional finishes. H1212EL: 14-gauge aluminum. Baseplate flange interlocks around lens producing maximum moisture deflection and resistance to prying. Baseplate provided with four-point mounting holes and one wireway hole. Standard dark bronze TGIC polyester powder coat – 5-step pre-treatment. See Ordering Information for optional finishes.

LENS: One-piece wraparound lens (UV-stabilized, high impact, virgin injection molded polycarbonate). Smooth exterior, prismatic interior. Nominal thickness: 0.125".

EYELID: High-impact resistant, UV-stabilized injection molded opaque dark bronze polycarbonate. See Ordering Information for optional finishes to match baseplate.

GASKET: Die-cut closed cell neoprene gasket seals lens/housing to mounting surface. H1212EL; Lens inset into baseplate and sealed with one "O" ring closed cell silicone gasket.

HARDWARE: Four stainless steel Torx® T-20 with center pin fasteners secure lens to baseplate. H1212EL; Shoulder fastener design and washer prevent lens/eyelid stress due to over torquing.

ELECTRICAL: Available in 3500K, 4000K, and 5000K color temperatures, 80 CRI. 120-277VAC or 347VAC, 50/60Hz electrical input with high power factor electronic, constant-current driver (>.90 PF). Standard 0-10V dimming with 1-100% range; maximum driver source of 200 µA.

SENSOR & CONTROLS: Optional sensor available with compatible third party controls. To see the full list of compatible controls, [click here](#).

INSTALLATION: Standard four-point mounting required for Peace of Mind Guarantee®.

PHOTOMETRICS: Photometry tested to the IESNA LM-79-08 standard by an ILAC/ISO17025 accredited laboratory. For additional photometric data, please go to www.kenall.com.

WARRANTY: Limited five (5) year LED warranty. [Peace of Mind Guarantee against breakage](#).

LISTINGS: Luminaire is certified to UL Standards by Intertek Testing Laboratory for Wet Location.



ORDERING INFORMATION (Ex: H1212FL-PP-DB-20L40K-DV)

Model	Lens Type	Finish	Lamp Type	Voltage	Options	Accessory
PP						
Model			Lamp Type			
H1212EL	Eyelid (wall mount only)		10L35K	10 Watt 3500K LED	Options	
H1212FL	Full Face		10L40K	10 Watt 4000K LED	LEL-SA	LED Emergency Battery Backup with Surface Adapter (SA) (n/a with H1212EL, n/a with 347V)
			10L50K	10 Watt 5000K LED	LEL-SAA	LED Emergency Battery Backup with Marine Grade Aluminum Surface Adapter (SAA) (n/a with H1212EL, n/a with 347V)
Lens Type			20L35K	20 Watt 3500K LED	AL	Marine Grade Aluminum Baseplate (H1212FL only)
PP	Pearlescent Polycarbonate		20L40K	20 Watt 4000K LED	FS	Single Fuse & Holder
			20L50K	20 Watt 5000K LED	Accessory	
Finish (H1212EL, H1212FL-LEL-SA, H1212FL-LEL-SAA)			Voltage			
DB	Dark Bronze		347	347 Volts	SA-__	Surface Adapter (specify finish)
MB	Matte Black		DV	120-277 Volts	SAA-__	Marine Grade Aluminum Surface Adapter (specify finish)
MW	Matte White					
LG	Light Gray					
SL	Silver					
FG	Forest Green					
CC	Custom Color (Consult factory)					



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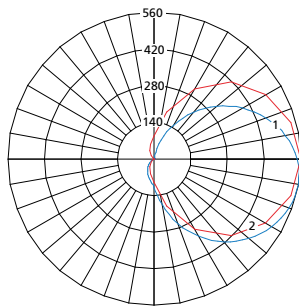
H1212 SERIES – LOW PROFILE HOUSING

PERFORMANCE

Model	Lamp Type	Initial Delivered Lumens		Input Power (W)	Drive Current (mA)	Estd. L70 LED Life (Hrs)
		@ 25°C	Efficacy (lm/W)			
H1212EL	10L35K	1042	79	13	47	85,000
	10L40K	1042	79	13	47	85,000
	10L50K	1136	86	13	47	85,000
	20L35K	2011	84	24	94	65,000
	20L40K	2011	84	24	94	65,000
	20L50K	2192	91	24	94	65,000
H1212FL	10L35K	1204	95	13	54	85,000
	10L40K	1204	95	13	54	85,000
	10L50K	1312	104	13	54	85,000
	20L35K	2324	101	23	94	65,000
	20L40K	2324	101	23	94	65,000
	20L50K	2533	110	23	94	65,000

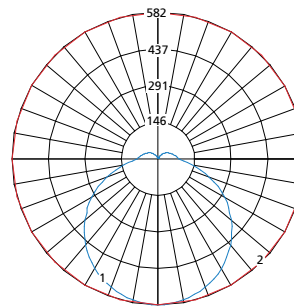
Information subject to change. Visit www.kenall.com for IES files and additional information.

Model: H1212EL-PP-MW-20L40K-DV



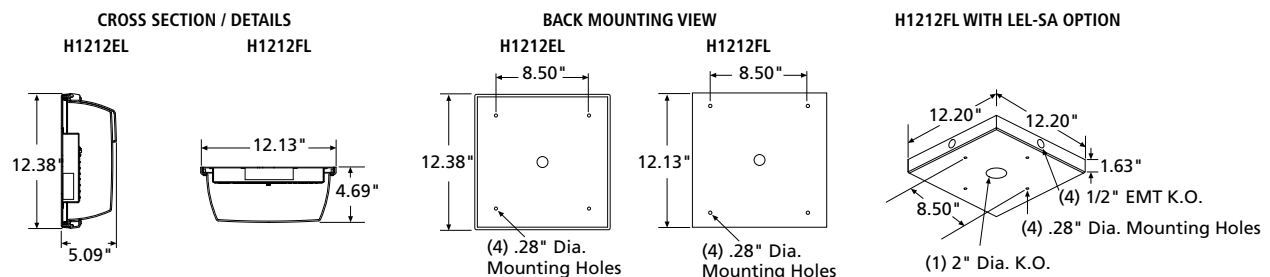
Max Candela = 560 Located At Horizontal Angle = 0, Vertical Angle = 80
 1 - Vertical Plane Through Horizontal Angles (0-180) (Through Max. Cd.)
 2 - Horizontal Cone Through Vertical Angle (80) (Through Max. Cd.)

Model: H1212FL-PP-MW-20L40K-DV

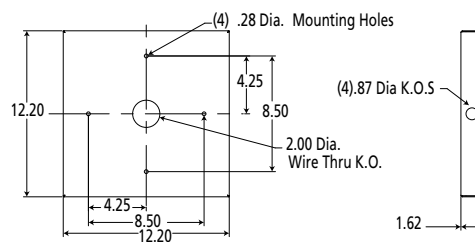


Max Candela = 582 Located At Horizontal Angle = 0, Vertical Angle = 0
 1 - Vertical Plane Through Horizontal Angles (0-180) (Through Max. Cd.)
 2 - Horizontal Cone Through Vertical Angle (0) (Through Max. Cd.)

DIMENSIONAL DATA



SURFACE ADAPTER



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H1212_EL_FL-101022



**NOTICE OF PUBLIC HEARING
GLADSTONE PLANNING COMMISSION**

DATE & TIME: 12/20/22. This item will not begin earlier than **6:30 p.m.** However, it may begin later depending on the length of preceding items.

PLACE: Per the Governor’s Executive Order 20-16 and House Bill 2560, regarding compliance with Oregon’s public meetings laws, the City of Gladstone is abiding by social distancing requirements during the coronavirus pandemic. This public hearing will be conducted in person at the Gladstone City Hall located at 18505 Portland Avenue | Gladstone, OR 97027, as well as virtually using the Zoom platform. The Zoom link to the public hearing and details on how to observe and testify online or by telephone will be available after December 13th, 2022 on our website: <https://www.ci.gladstone.or.us/bc-pc/page/planning-commission-meeting-81>.

FILE NO: Z0500-22-C

LOCATION 397 W Clackamas BLVD, located on the western side of W Clackamas BLVD where it turns and becomes Barton Ave.

DEVELOPMENT PROPOSAL: Applicant is proposing to upgrade existing resource recovery pump station with new equipment and some extremal improvements.

APPLICABLE REVIEW STANDARDS: Chapter 17.12, 17.25, 17.70, along with the DIVISION VII. Administrative Procedures, of Title 17 of the Gladstone Municipal Code.

All interested parties are invited to “attend” the hearing online or by telephone and will be provided with an opportunity to testify orally, if they so choose. Written testimony may be submitted by email, or regular mail. Please include the permit file number on all correspondence and address written testimony to the staff contact who is handling this matter. Any correspondence received in advance of the meeting will be forwarded to the Planning Commission.

A copy of the application, all documents and evidence submitted by or on behalf of the applicant, and applicable criteria are available for inspection at no cost. In addition, a staff report on the application will be available for inspection at no cost at least seven days prior to the hearing. Hard copies of documents will be provided at a cost of \$1 for the first page and 10 cents for each additional page or you may view or obtain these materials:

1. By emailing or calling staff, Joy Fields, at 503-742-4510 or jfields@clackamas.us; or
2. Online at <https://acela.clackamas.us/citizenaccess/>. After selecting the “Planning” tab, enter the permit file number to search. Then scroll down and select “Attachments,” where you will find the submitted application. For further information, contact Joy Fields at 503-742-4510 or jfields@clackamas.us.

Please note that failure to raise an issue in a hearing, in person, or by letter, or failure to provide statements or evidence sufficient to afford the decision maker an opportunity to respond to the issue precludes appeal to the Land Use Board of Appeals based on that issue.



Gladstone planning services are provided by Clackamas County. Submit all land use applications and correspondence to: Clackamas County Planning Division, 150 Beavercreek Road, Oregon City, OR 97045
Phone: 503-742-4510 E-Mail: jfields@clackamas.us

ACCEPTANCE OF COMPLETE LAND USE APPLICATION

ORIGINAL DATE RECEIVED: October 24, 2022

FILE NUMBER: Z0500-22

APPLICATION TYPE: Conditional Use, Gladstone

**This application has been reviewed by staff and determined to be complete
on November 17, 2022.**

Joy Fields, jfields@clackamas.us
Signature

Sr. Planner, Contract Planner for Gladstone
Title

120-DAY DEADLINE: March 17, 2023



Oct 24 2022

Z0500-22-C

Clackamas County
Planning & Zoning Division

Gladstone planning services are provided by Clackamas County. Submit all land use applications and correspondence to: Clackamas County Planning Division, 150 Beaver Creek Road, Oregon City, OR 97045
Phone: 503-742-4500 E-Mail: jfields@clackamas.us

CONDITIONAL USE INFORMATION SHEET

WHAT IS A CONDITIONAL USE?

The Gladstone Municipal Code (GMC) classifies certain uses in each zoning district as conditional uses. Such uses are subject to additional review and approval criteria than are uses permitted outright. Approval of a conditional use may be subject to conditions found necessary to protect the best interests of the surrounding area or the city as a whole.

WHAT IS NEEDED FOR APPROVAL?

All conditional uses are discretionary and may be permitted after evaluation according to criteria in the GMC. The city must make written findings to support the decision. The applicant is responsible for providing evidence to support a conditional use request, according to Chapter 17.70 of the GMC.

WHAT ARE CHANCES FOR APPROVAL?

Staff cannot predetermine the decision on any application. A decision will only be made after the complete application is processed. This includes review of citizen and agency comments. The decision is based on criteria appropriate to the application as listed in the GMC. To address the necessary criteria, the information provided in response to the application form should be as thorough as possible.

APPLICATION PROCESS

Conditional use permits are subject to the quasi-judicial process and public notice. Public comments received from property owners, agencies, and other interested parties may affect the decision on the application. Special conditions may be attached to an approval. All conditional use applications are reviewed at a public hearing before the Gladstone Planning Commission. The Planning Commission's decision may be appealed to the City Council, where an additional public hearing will be held. The City Council's decision may be appealed to the Oregon Land Use Board of Appeals.

HOW DO I MAKE A CONDITIONAL USE APPLICATION?

- Complete a City of Gladstone Land Use Application and Conditional Use Supplemental Application
- Provide a plot plan drawn to scale on 8 ½" x 11" or 8 ½" x 14" paper showing the property and your proposal, including buildings, driveways, setbacks, etc.
- Provide drawings of building elevations and floor plans.
- Submit the application form, plot plan, drawings and application fee of \$3,905 to the Clackamas County Planning Division. After your application is deemed complete, **submit a minimum of twelve copies of large plans or other items that cannot easily be reproduced by the Planning Division.**
- Although not required, it is strongly suggested that you attend the Planning Commission and, if applicable, the City Council hearings to speak on behalf of your proposal.



CONDITIONAL USE LAND USE APPLICATION

Gladstone planning services are provided by Clackamas County. Submit all land use applications and correspondence to: Clackamas County Planning Division, 150 Beaver Creek Road, Oregon City, OR 97045 Phone: 503-742-4510 E-Mail: jfields@clackamas.us

A completed application includes the APPLICATION FOR A CONDITIONAL USE LAND USE APPLICATION and the items identified in the SUPPLEMENTAL APPLICATION below.

- ✓ Please answer all questions. If a question is not applicable to your project, indicate "N.A."
- ✓ Incomplete applications will not be accepted for filing.
- ✓ All exhibits must be legible.

● FOR STAFF USE ONLY ●

File No: _____ Other Related Permit Applications: _____
 Pre-app: Staff _____ Date _____ Staff Member: _____
 Date Received: _____ Fee _____ Zone: _____
 Hearing Date: _____ Comp. Plan: _____

● APPLICANT INFORMATION ●

PLEASE TYPE OR PRINT IN BLACK INK ONLY

SECTION I. APPLICANT/ PROPERTY OWNER

NAME OF APPLICANT _____
LAST FIRST

MAILING ADDRESS _____ CITY _____ ST _____ ZIP _____

APPLICANT IS: LEGAL OWNER CONTRACT BUYER OPTION BUYER AGENT

NAME OF CONTACT PERON (if other than applicant) _____

MAILING ADDRESS OF CONTACT _____

PHONE NUMBERS OF: APPLICANT: WK _____ HM _____ CONTACT PERSON: WK: _____ HM _____

EMAIL OF APPLICANT: _____

SITE ADDRESS: _____ TOTAL LAND AREA: _____

LEGAL DESCRIPTION: T _____ R _____ SECTION _____ TAX LOT(S) _____

ADJACENT PROPERTIES UNDER SAME OWNERSHIP: T _____ R _____ SECTION _____ TAX LOT(S) _____

OTHER PERSONS (IF ANY) TO BE MAILED NOTICES REGARDING THIS APPLICATION:

NAME	ADDRESS	ZIP	RELATIONSHIP

NAME	ADDRESS	ZIP	RELATIONSHIP

I hereby certify the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge.

Jessica Rinner
OWNER'S SIGNATURE

Jessica Rinner
APPLICANT'S SIGNATURE

OWNER'S NAME (Print)

APPLICANT'S NAME (Print)

CONDITIONAL USE SUPPLEMENTAL APPLICATION

Describe your proposed development. Identify the number of people associated with the use (employees, students, congregation members, clients, etc.); days and hours of operation; building materials, including type and color, unless no new buildings or modifications of existing buildings are proposed; and buildings, vehicles, equipment and materials associated with the use:

Identify where in the GMC the use is listed as a conditional use in the underlying zoning district or explain why the use may be authorized pursuant to GMC Chapter 17.74 (authorization of similar uses).

Explain why the use is suitable for the proposed site, considering size, shape, location, topography, existence of improvements and natural features.

Explain why the use is timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use.



Instructions for PRELIMINARY STATEMENTS OF FEASIBILITY

Instructions to Applicant:

The attached *Preliminary Statement of Feasibility* form is to be completed by the applicable sanitary sewer service provider, surface water management authority, and water service provider. Where there is no surface water management service district for the subject property, this form is to be provided to the Clackamas County Department of Transportation and Development, Transportation Engineering Division. *Preliminary Statements of Feasibility* are not required for onsite wastewater treatment facilities (e.g., septic tanks) or water service by private well.

Completed *Preliminary Statement of Feasibility* forms must be submitted with a land use application for design review, a partition, a subdivision, conditional use permit, or zone change.

It is the responsibility of the applicant for a land use application to provide a copy of this form to each service provider for the subject property. A service provider may require the submission of detailed plans and/or engineering data prior to determining whether a *Preliminary Statement of Feasibility* will be issued. Contact the service providers for details.

The forms must be dated no more than one year prior to submittal of a complete land use application.

Instructions to Reviewing Service Provider or Surface Water Management Authority:

A development is proposed within your service area. Please complete the attached *Preliminary Statement of Feasibility* to indicate whether adequate service can be provided to this development.

If adequate service can be provided only with the implementation of certain conditions of approval, you may attach such conditions to the completed form. Completion of the *Preliminary Statement of Feasibility* does not imply that additional requirements (e.g., plan submittals) may not be imposed by your agency once a land use application for the prospective development is filed.

Clackamas County Planning & Zoning will continue to provide notice to you of land use applications for property within your service area. This will allow you to determine whether the submitted development proposal differs from the plans reviewed by your agency in conjunction with the completion of this statement. This will also allow you to provide additional comments as necessary.

Clackamas County is committed to providing meaningful access and will make reasonable accommodations, modifications, or provide translation, interpretation or other services upon request. Please contact us at 503-742-4545 or drenhard@clackamas.us.

503-742-4545: ¿Traducción e interpretación? | Требуется ли вам устный или письменный перевод?
翻译或口译? | Cần Biên dịch hoặc Phiên dịch? | 번역 또는 통역?



PRELIMINARY STATEMENT OF FEASIBILITY

TO BE COMPLETED BY APPLICANT		
Applicant name:	Applicant email:	Applicant phone:
Project engineer:	Project engineer email:	Project engineer phone:
Site address:		
Map and tax lot #: <div style="margin-left: 40px;"> Township: _____ Range: _____ Section: _____ Tax Lot: _____ Township: _____ Range: _____ Section: _____ Tax Lot: _____ Township: _____ Range: _____ Section: _____ Tax Lot: _____ </div>		

TO BE COMPLETED BY SERVICE PROVIDER / SURFACE WATER MANAGEMENT AUTHORITY	
Name of service provider / surface water management authority:	Name and title of authorized representative:
Representative email:	Representative phone:
Check all that apply: <ul style="list-style-type: none"> Water Service <input type="checkbox"/> Water service, <i>including fire flows</i>, is available in levels appropriate for the development and adequate water system capacity is available in source, supply, treatment, transmission, storage, and distribution, or such levels and capacity can be made available through improvements completed by the developer or the system owner. <input type="checkbox"/> Water service is adequate <i>with the exception of fire flows</i>. The applicant shall provide a statement from the fire district serving the subject property that states that an alternate method of fire protection, such as an on-site water source or sprinkler system, is acceptable. <input type="checkbox"/> Adequate water service <i>cannot</i> be provided. Sanitary Sewer Service <input type="checkbox"/> Sanitary sewer capacity in the wastewater treatment system and the sanitary sewage collection system is available to serve the development or can be made available through improvements completed by the developer or the system owner. <input type="checkbox"/> Adequate sanitary sewer service <i>cannot</i> be provided. Surface Water Management, Treatment, and Conveyance <input type="checkbox"/> Adequate surface water management, treatment, and conveyance is available to serve the development or can be made available through improvements completed by the developer or the system owner. <input type="checkbox"/> Adequate surface water management, treatment, and conveyance <i>cannot</i> be provided. 	
Is this statement issued subject to any conditions of approval? <div style="margin-left: 100px;"> <input type="checkbox"/> YES, and those conditions are attached. <input type="checkbox"/> NO </div>	
Signature of authorized representative:	Date of signature:
	10/19/2022

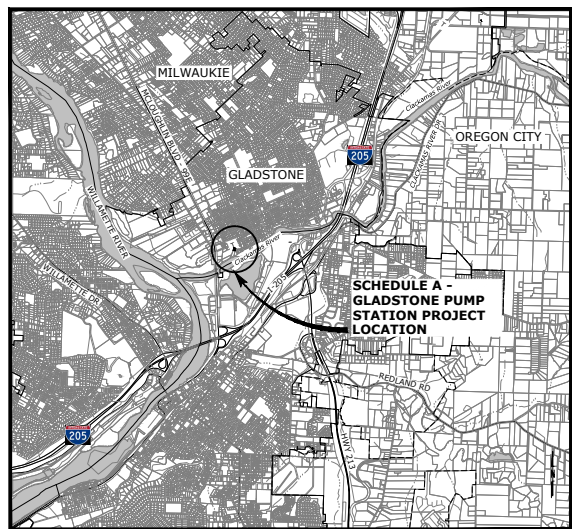
G:\PDX_Projects\19-2679 - Clackamas County - WES - Pump Station Rehabilitation and Upgrades\CAD\Figures\19-2679-OR-LAND USE FIGURES_Gladstone.dwg FIGURE 01 8/23/2022 1:48 PM ELLJEFFERSON, J.J. (S. Tech)



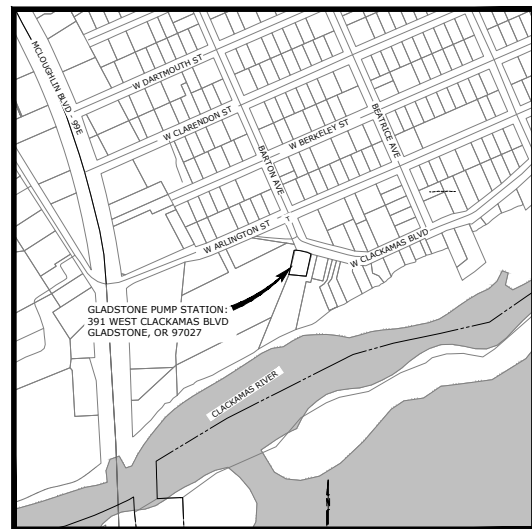
PUMP STATION REHABILITATION AND UPGRADES PROJECT

GROUP 2 - GLADSTONE PUMP STATIONS

AUGUST, 2022



VICINITY MAP
SCALE: 1"=2000'



SCHEDULE A LOCATION MAP
SCALE: 1"=200'

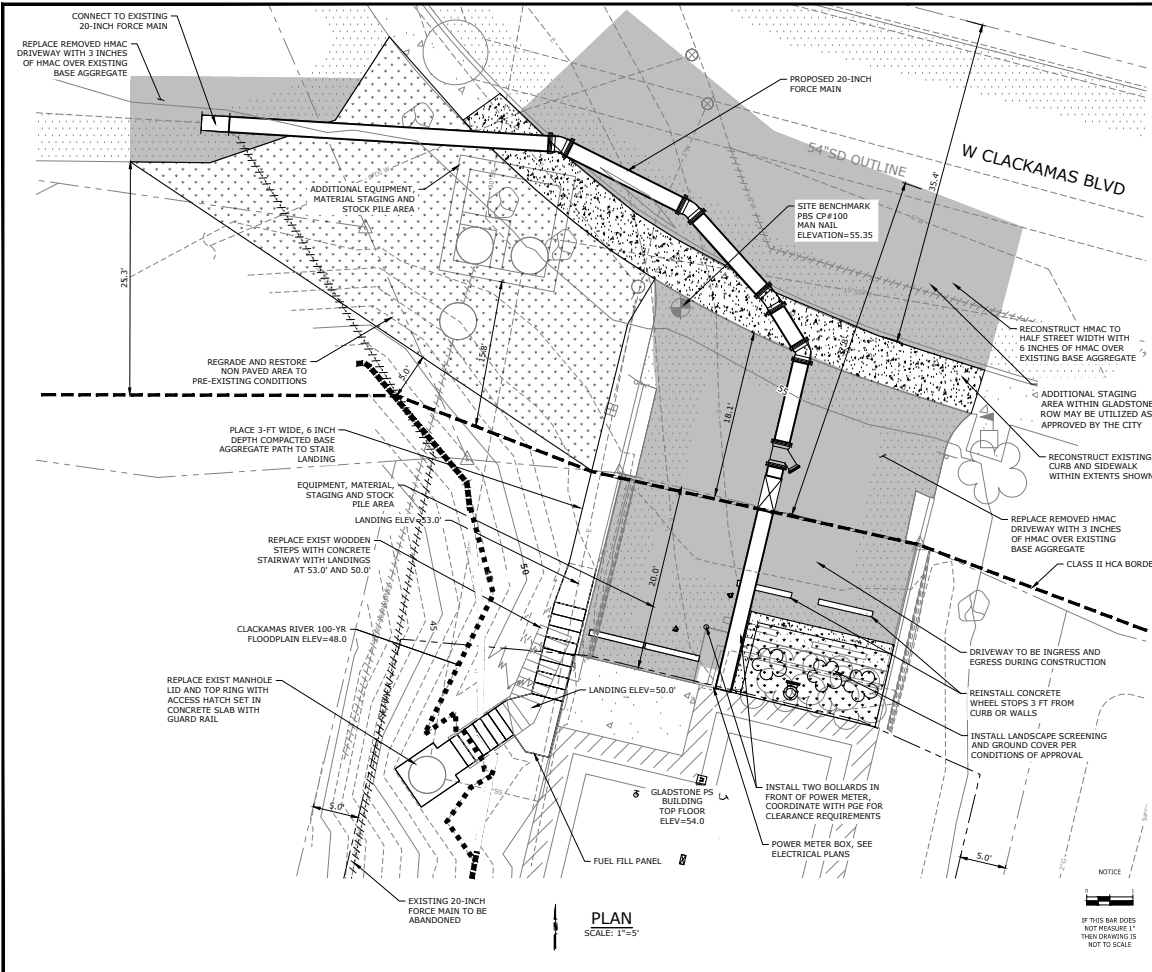
FIGURE 01

Gladstone Pump Station
Land Use Review
Cover Sheet

AUGUST, 2022

19-2679

G:\PDX_Projects\19\2679 - Gladstone Pump Station Rehabilitation and Upgrades\CAD\Figures\19-2679\OR-LAND USE FIGURES_GLADSTONE.dwg FIGURE 02 8/23/2022 2:12 PM ELLIJEFFERSON.dwg (LWS) (loc)




- SHEET NOTES:**
1. INSTALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES IN COMPLIANCE WITH CLACKAMAS COUNTY STANDARDS PRIOR TO DISTURBING SOIL AND SURFACING.
 2. INSTALL ORANGE CONSTRUCTION FENCING OUTSIDE OF THE WATER QUALITY RESOURCE AREA (WQRA) TO BE PROTECTED.
 3. TREES WITHIN THE WQRA SHALL NOT BE USED FOR ANCHORING OF EQUIPMENT.
 4. MAINTAIN EROSION CONTROL MEASURES UNTIL THE DEVELOPMENT IS COMPLETE.

FIGURE 02

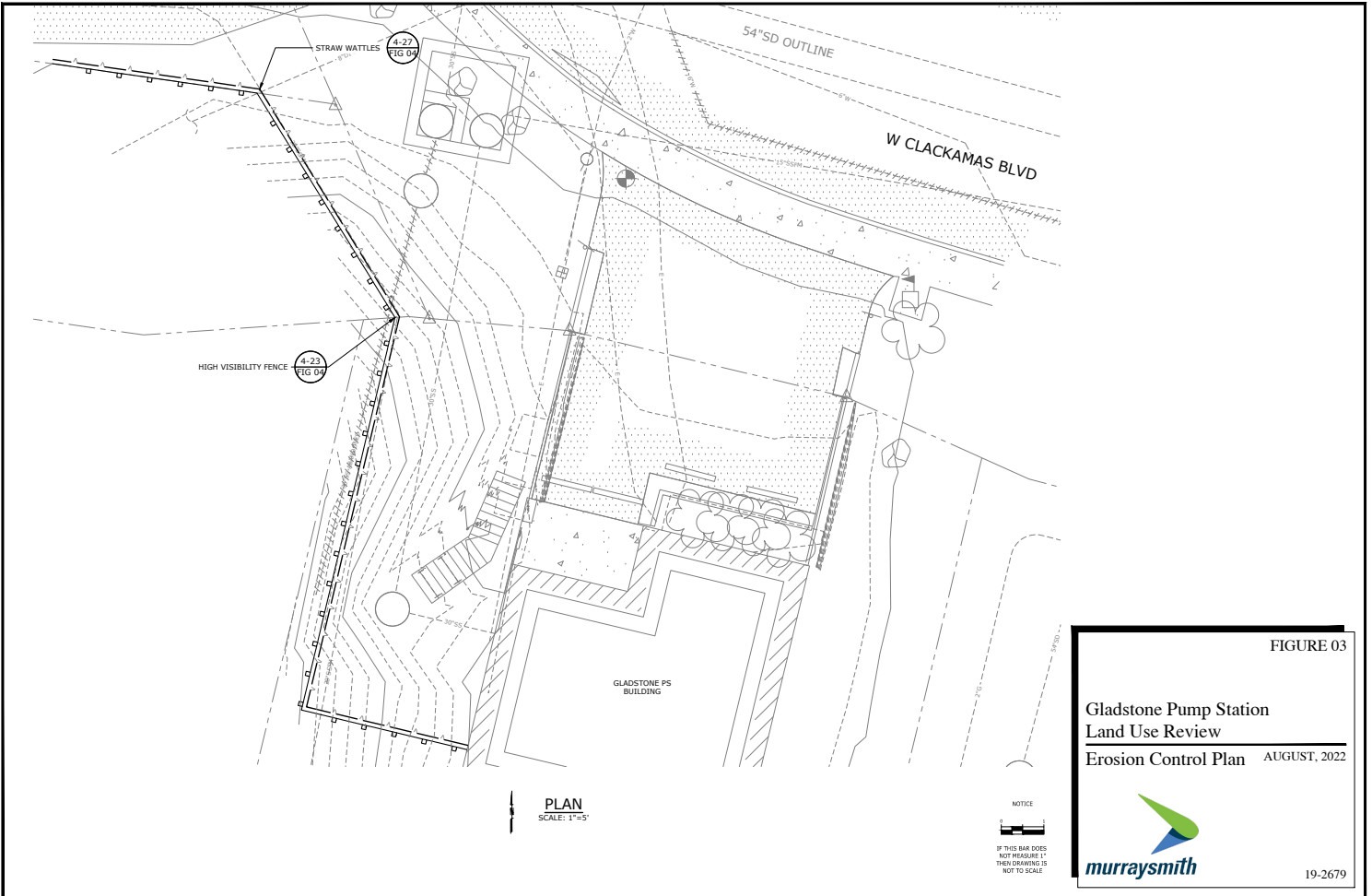
**Gladstone Pump Station
Land Use Review
Site Plan**

AUGUST, 2022

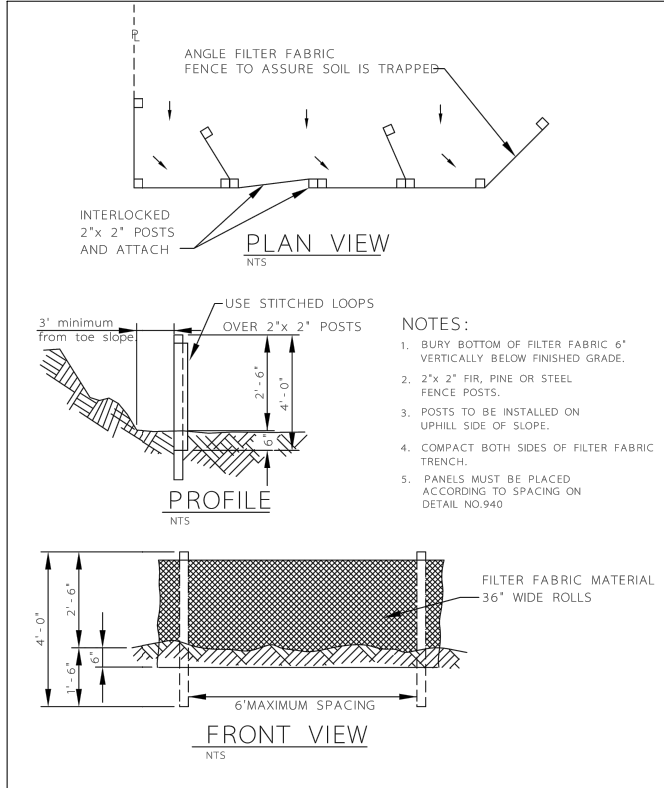


19-2679

G:\PDX_Projects\19-2679 - Clackamas County - WES - Pump Station Rehabilitation and Upgrades\CAD\Figures\19-2679\OR-LAND USE FIGURES_Gladstone.dwg FIGURE 03 8/23/2022 2:14 PM ELLIJEFFERSON, J.J. (ms) (loc)



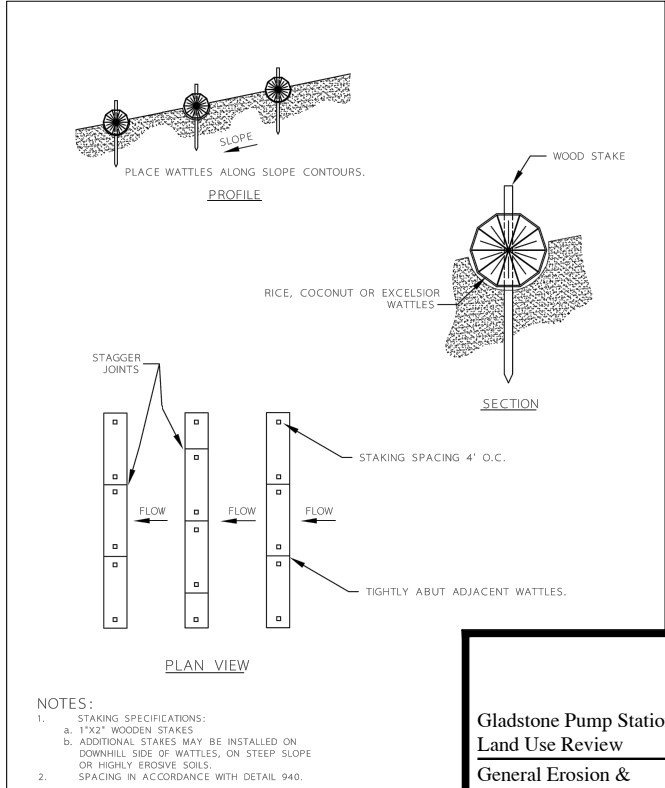
G:\PDX_Projects\19\2679 - Clackamas County - WES - Pump Station Rehabilitation and Upgrades\CAD\Figures\19-2679-OR-LAND USE FIGURES-GLADSTONE.dwg FIGURE 04 8/23/2022 1:52 PM ILLJEFFERSON 23.04 (LMS Tech)



HIGH VISIBILITY SEDIMENT FENCE

DETAIL DRAWING 4-23

REVISED 01-09



WATTLES

DETAIL DRAWING 4-27


REVISED 01-09

FIGURE 04

**Gladstone Pump Station
Land Use Review**

General Erosion & Sediment Control Details - 1

AUGUST, 2022



19-2679

G:\PDX_Projects\19\2679 - Clackamas County - WES - Pump Station Rehabilitation and Upgrade\CAD\Figures\19-2679\OR-LAND USE FIGURES_Gladstone.dwg FIGURE 05 8/23/2022 2:14 PM KLLJEFFERSON, J.J. (c)

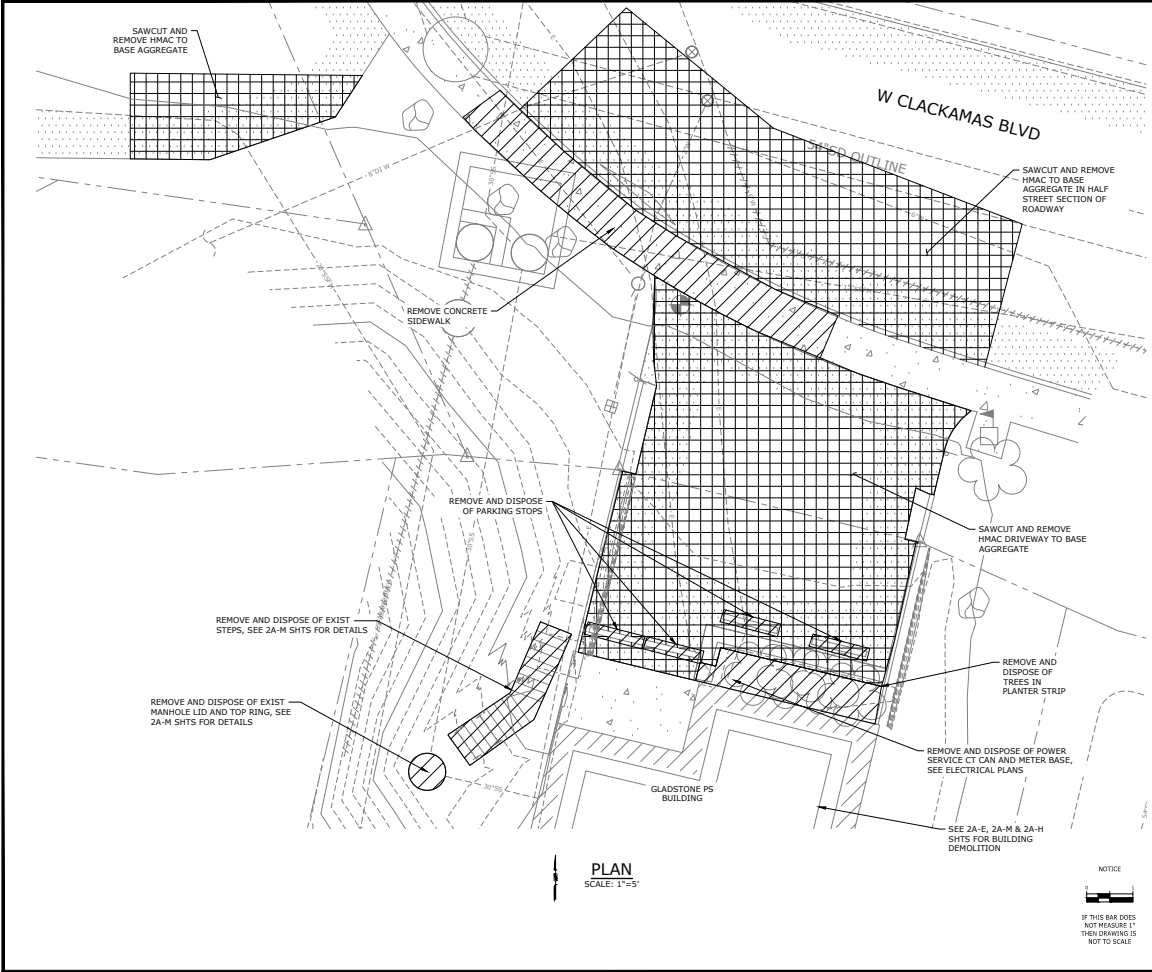



FIGURE 05

**Gladstone Pump Station
Land Use Review
Site Demolition Plan** AUGUST, 2022



19-2679

Gladstone Pump Station Rehabilitation Project



[Google image 2007](#)

Submitted by:

Clackamas Water Environmental Services (WES) And

Conсор Engineering

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Conditional Use Application: Land Use Narrative

Proposal

Clackamas Water Environment Services (WES) produces clean water and protects water quality. WES operates and maintains five resource recovery facilities, 23 pumping stations and more than 360 miles of pipes. The Gladstone Pump Station is one of the many important public infrastructure facilities WES operates and maintains.

The Gladstone Pump Station is located along West Clackamas Blvd., Gladstone, Oregon.¹ WES has determined that the Gladstone Pump Station requires reliability, operational safety, and efficiency upgrades. The improvements will replace old and failing equipment to increase the reliability of the facility and address specific maintenance and safety issues. The project will not increase the pumping capacity, building area, or classification. The applicant anticipated conditional use land use review and incorporated applicable land use regulations into the design process.

The facility serves the western portion of Gladstone and pumps flow across the Oregon Highway 99E Clackamas River Bridge to an interceptor in Main Street in Oregon City. The pump station was originally constructed in 1986 and appears to have most of its original equipment. The existing 20-inch diameter force main consists of concrete cylinder pipe for the buried section and exposed welded steel crossing the bridge. The facility has a firm pumping capacity of 5.7 MGD in a triplex configuration of flooded suction pumps located in a pump room.

The developed portion of the site is level and slopes downhill towards the Clackamas River. The pump station is a one-story structure constructed along W Clackamas Boulevard on the high ground above the Clackamas River. The site is within the 100-year flood management area and the existing pump station finish floor elevation is located 2.5 feet above the 100-year flood plain elevation published in the FEMA FIRMette floodway maps. The pump station and southern half of the driveway are within the Title 13 Class II boundary. Except for the existing influent manhole on the southwest side of the property, the developed portion of the site is above the 1996 flood elevation.

The facility is not staffed on a regular basis; however, the facility is subject to regular inspection and maintenance activity. The front yard parking area is adequate for routine maintenance use.

The proposed pump station remodeling is primarily an upgrade of existing mechanical and electrical equipment within the interior of the structure. Proposed external improvements within the disturbed portion of the site include construction of a bypass vault in the existing driveway and realignment of the landing to an influent manhole with an oversized hatch with top slab and with railings along three sides of the structure to improve both access and safety. The sewer line will reconnect to the force main in W. Clackamas Boulevard. On the west side of the existing structure, the proposed exterior work includes a

¹ Tax Map # and Property ID - 22E20CC07301; PN 01371820

concrete replacement of an existing stairway. See Figure 1, Existing Conditions and Figure 2, Proposed Site Plan.

Figure 1 – Existing Conditions

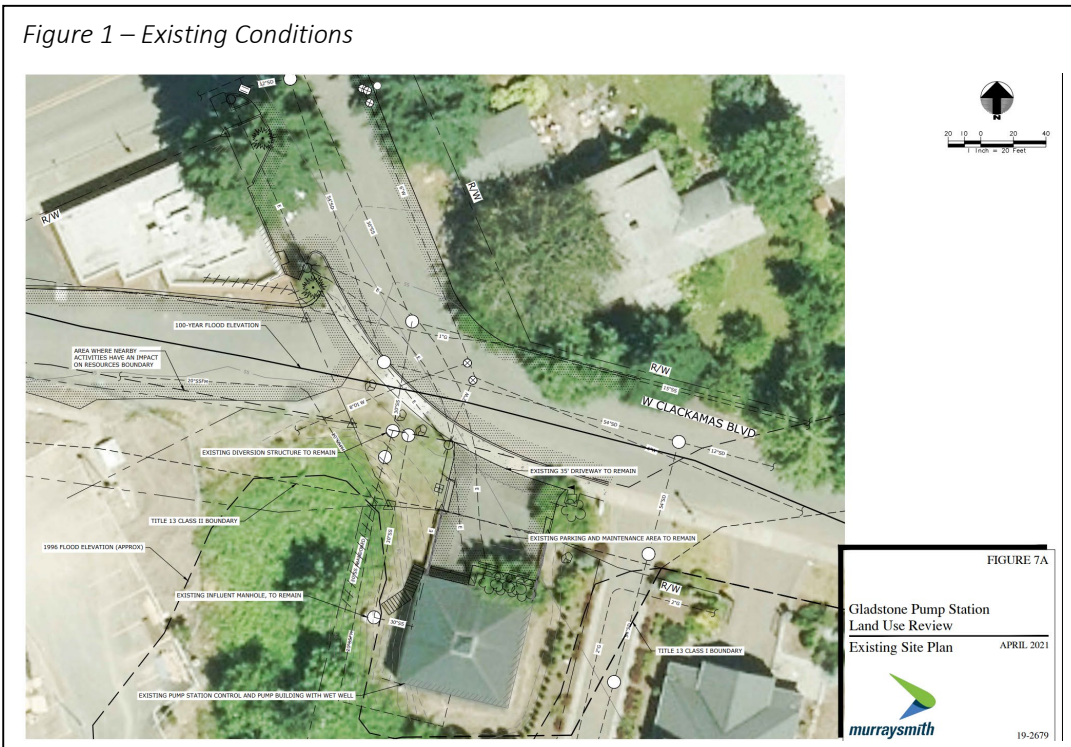
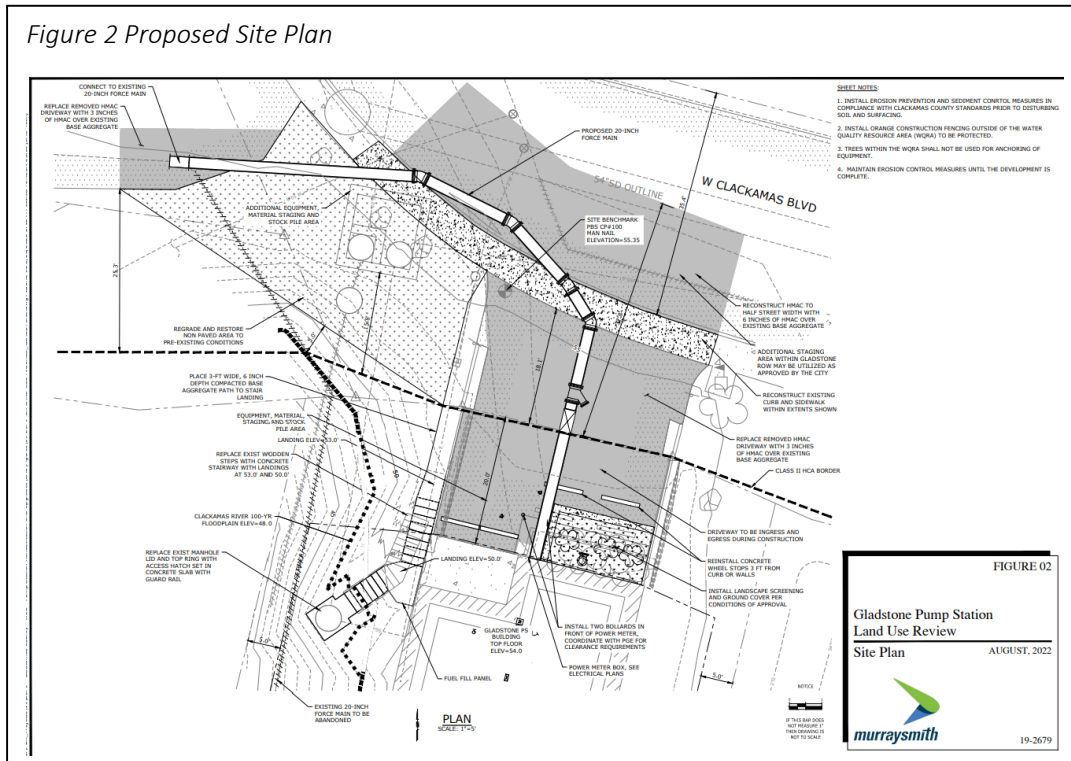


Figure 2 Proposed Site Plan



Pre-application Staff Notes

On July 24, 2021, Clackamas County conducted a pre-application conference via Zoom regarding the proposed upgrade of the W. Clackamas pump station. ZPAC0073-21. The conference staff report noted the following facts:

Zoning is R-5. Subject to Gladstone Municipal Code (GMC) 17.12.

Conditional Use. A utility facility, “provided, that no outside storage is involved” requires conditional use approval. (GMC 17.12.040(9) The application must address the approval criteria in GMC 17.70.010(1).

Applicable Environmental Overlays

- Flood Management Area (FM) (GMC 17.29)

The property is in the Floodplain Management Area District. (See pre-app staff report Map 13) **A flood management permit for the pump station maintenance may be required.** Provide a LOMA/LOMR or 1996 flood level data. Verify the 2-foot above Base Flood Elevation (BFE). Floodproof material may be used for non-residential buildings. No net fill in any floodplain is a requirement of the Gladstone Municipal Code per 17.29.100(4)(b)

- Habitat Conservation Areas (HCA) (GMC 17.25)

A Habitat Conservation Area (HCA) permit is required for:

- Grading that moves more than 10 cubic yards of soil.
- The expansion or replacement of an existing structure that intrudes more than 500 square feet into the HCA.
- Development in the HCA with a total disturbance area exceeding 120 square-feet.

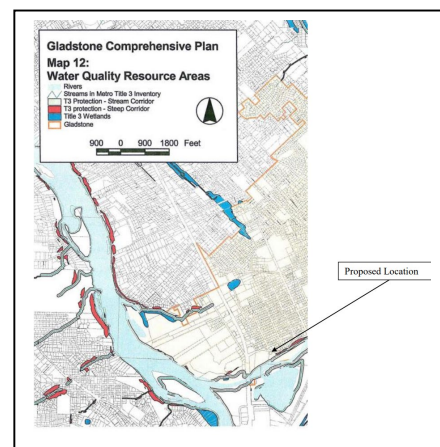
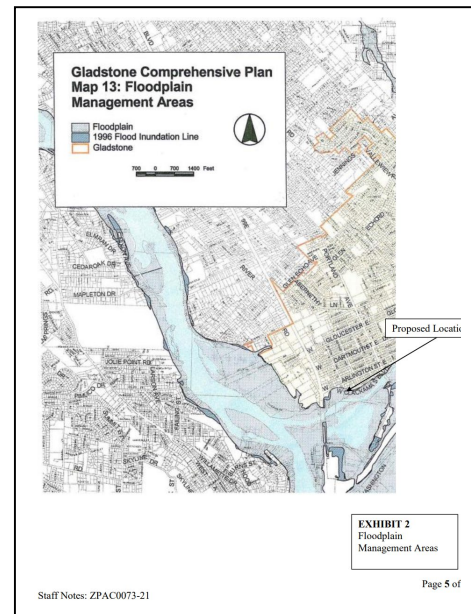
The proposed project is not anticipated to expand the existing structure or intrude more than 500 square feet into the HCA or disturb more than 120 square-feet in the HCA. **Therefore, HCA review is unlikely.**

- Water Quality Resource Area (WQRA) GMC 17

The proposed maintenance of the utility facility is near but not within the WQRA. **A WQRA permit is not required.**

Comprehensive Plan Goals

- LAND USE PLANNING Goal: To provide and maintain a high standard for Gladstone’s quality of life.
- FACILITIES AND SERVICES Goal: To provide and maintain needed facilities and services in a timely, orderly, and efficient manner to serve urban development in the Gladstone area



- Objectives
 - 1: To ensure the continuation of adequate water, sewer, police, fire, library, recreation, and school services.
 - 2. To ensure the coordinated approach to the delivery of services.
 - 3. To improve the effectiveness, efficiency and quality of services and service delivery

The proposal appears to be in support of the Comprehensive Plan goals and objectives, specifically the Facilities and Services Goals.

Conditions of approval

Potential conditions of approval could relate to maintaining screening from residential lots, design standards, easements for utility and access, etc. Chapter 17.70 of the GMC does not have clear standards for screening, easements, etc. Therefore, for special conditions of approval, staff may make recommendations to the Planning Commission in the staff report that utilize the standards found in *DIVISION IV. DEVELOPMENT STANDARDS* that apply to Design Review applications to have uniformity with other sections of the GMC. However, Design Review land use process is not required for the proposed upgrades to the utility. For example, Chapter 17.70 uses screening as a potential condition of approval, but the specifications for screening in the GMC can be found in 17.48.040(1)(b).

Fees Fee The City of Gladstone does not have a Hearings officer so the fee for a Conditional Use application will be: \$2,895. The fee, updated on July 1, 2021, will be paid by WES via Inter Department Transfer.

ANALYSIS

USE

“Utility facility” means buildings, structures or any constructed portion of a system that provides for the production, transmission, conveyance, delivery or furnishing of services including, but not limited to, heat, light, water, power, natural gas, sanitary sewer, stormwater, telephone, and cable television. Utility facilities do not include stormwater pretreatment facilities.” (GMC) 17.06.548.

The pump station is an existing that provides for the transmission and conveyance of sanitary sewer.

R-5 ZONING DISTRICT GMC 17.12

17.12.050 Dimensional standards.

Except as provided in GMC Chapters [17.38](#) (Planned Unit Development), [17.72](#) (Variances) and [17.76](#) (Exceptions), the following dimensional standards shall apply in an R-5 zoning district:

(1) Lot Area.

(c) For other uses, the minimum lot area shall be 5,000 square feet, or as established by the Planning Commission, as provided by GMC Chapter [17.70](#) (Conditional Uses).

Response

The existing property is 0.18 acres (7,840 s.f.)

(2) Setback Requirements.

- (a) *A front setback shall be a minimum of 20 feet except that a front porch may project a maximum of five feet into a required front setback area;*
- (b) *A side setback shall be a minimum of five feet;*
- (c) *A rear setback shall be a minimum of 15 feet;*
- (d) *A street side setback shall be a minimum of 20 feet;*
- (e) *Architectural features such as cornices, eaves, gutters, chimneys, and flues may project a maximum of two feet into a required setback area.*

Response

There are no changes proposed to the existing setbacks. See Murrysmith Figure 02.

- (3) *Building Height. Maximum building height shall be 35 feet. Vertical projections such as chimneys, spires, domes, elevator shaft housings, towers, aerials, flagpoles, and similar objects not used for human occupancy are not subject to building height limitations of this subsection.*

Response

There is no change to the existing building height.

- (4) *Minimum Vegetation. For multi-family dwellings, the minimum area that must be left or planted with trees, shrubs, grass, etc., shall be at least 20 percent of the total area of the lot.*

Response

The proposal is not for a multi-family building. Not applicable.

- (5) *Exceptions in Case of Large-Scale PUD.*

Response

The proposal is for a utility facility use. Not applicable.

- (6) *Minimum Density.*

Response

Not applicable to a utility facility.

17.12.060 *Design standards.*

- (2) *Main Entrance.*

Response

Proposal is for a utility facility not a residential use and is not applicable.

- (3) *Design Features.*

Response

Proposal is for a utility facility not a residential use and is not applicable.

OFF-STREET PARKING AND LOADING GMC 17.48

Off-street parking and loading standards shall apply to all development permits. GMC 17.48.010

Response

Off-street parking and loading standards apply to the proposed pump station upgrade.

Standards for developments subject to design review. GMC 17.48.030

Response

The staff pre-application notes state that, “[The] Design Review land use process is not required for the proposed upgrades to the utility.” However, staff indicated that the staff and Planning Conditions may recommend specific conditions of approval which may affect the layout of the site of design of the architecture or landscaping.

The provisions of GMC 17.48 do not apply because the pump station does not have any leasable space, is not a residential use and does not have employees working at the facility on a daily or peak use time of year.

The existing facility has two off-street parking spaces that are used by WES staff for regular maintenance activity. These spaces have proven to be adequate for the existing pump station use. WES does not anticipate the need for additional parking spaces.

LANDSCAPING GMC 17.46

Landscaping standards shall apply to all development that is subject to design review. GMC 17.46.010.

GMC 17.46.020. Landscaping requirements shall be as follows:

- (1) Minimum Requirement. A minimum of 15 percent of the lot area shall be landscaped, except when a greater percentage is required elsewhere in this title.*

Response

The staff pre-application notes state that, “[The] Design Review land use process is not required for the proposed upgrades to the utility.” However, staff indicated that the staff and Planning Conditions may recommend specific conditions of approval which may affect the layout of the site of design of the architecture or landscaping.

The existing site has side yard landscaping plantings, and the rear of the facility is a naturally vegetated area that slopes down toward the Clackamas River. 0.12 acres of the 0.18-acre site, approximately 66%, are vegetated.

The front yard contains a paved parking area and a vegetated planter that spans the eastern portion of the pump station. It is possible, though not yet confirmed, that the original land use decision approving

the pump station required landscape features along the side yards and in the front yard as a condition of approval.²

DESIGN REVIEW GMC 17.80

Applicability GMC 17.80.021

(1) This chapter shall apply to additions to existing structures.... and major remodeling, with the following exceptions:

(k) Normal maintenance of structures and premises provided there are no significant use or structural alterations. Normal maintenance may include painting, roofing, siding, interior remodeling, electrical work, plumbing work, re-paving of access roads and parking/loading areas, replacement of landscaping elements or other similar tasks. Normal maintenance does not include increasing the number of dwelling units, constructing new structures, or constructing additions to existing structures except to the extent that an addition is necessary to render a structure accessible to the disabled. Normal maintenance performed shall be consistent with previous design review approvals for the site.

Response

The staff pre-application notes state that, “[The] Design Review land use process is not required for the proposed upgrades to the utility.” However, staff indicated that the staff and Planning Commission may recommend specific conditions of approval which may affect the layout of the site of design of the architecture or landscaping.

The application materials contain an existing condition plan and a proposed site plan. A comparison of the two plans indicates that the only substantive above-ground changes to the site are to add new louvres to the south and east sides of the pump station building, replace the existing exterior stairway and manhole hatch in the western side yard with a concrete stairway, a metal hatch cover, and new safety railings. The applicant also proposes to refresh the existing landscape screen along the front of the pump station.



The replacement of the wooden stairs with concrete steps and the addition of handrails are an important safety issue WES would like to address. The replacement of the hatch is a *de minimus* change.

CONDITIONAL USE GMC 17.70

[Describe your proposed development.](#) Identify the number of people associated with the use (employees, students, congregation members, clients, etc.); days and hours of operation; building materials, including

² The applicant asked staff for help locating the original land use decision to confirm this point but at the time of this writing, the original decision is not yet available.

type and color, unless no new buildings or modifications of existing buildings are proposed; and buildings, vehicles, equipment and materials associated with the use:

Response

The Gladstone Pump Station is a “Utility Facility,” including “buildings, structures or any constructed portion of a system that provides for the production, transmission, conveyance, delivery or furnishing of services including, but not limited to, sanitary sewer,” GZO 17.06.548 A utility facility is classified as a conditional use in the R-5 zone.

The developed portion of the site is level and slopes downhill towards the Clackamas River. The pump station is a one-story structure constructed along W Clackamas Boulevard on the high ground above the Clackamas River. The site is within the 100-year flood management area. The existing pump station and southern half of the driveway are within the Title 13 Class II boundary. Except for the existing influent manhole on the southwest side of the property, the developed portion of the site is above the 1996 flood elevation.

The existing structure and site driveway are in a developed neighborhood, zoned R-5, and the pump station designed and constructed to reflect the residential character of the neighborhood.

The facility is not staffed on a regular basis; however, the facility is subject to regular inspection and maintenance activity.

The proposed pump station remodeling is primarily an upgrade of existing mechanical and electrical equipment within the interior of the structure. Proposed external improvements within the paved portion of the site include construction of a bypass pumping connection to the existing force main in the existing driveway and realignment of the force main and reconnection to the force main in W. Clackamas Boulevard. On the west side of the existing structure, the proposed exterior work includes a concrete replacement of an existing stairway leading to an influent manhole with an oversized hatch with top slab and with railings along three sides of the structure. See Figure 1, Existing Conditions. See Figure 2 – Proposed site Plan.

17.70.010 Authorization to grant or deny. (Conditional use)

(1) Approval Criteria. A conditional use may be approved, pursuant to GMC Division VII (administrative procedures), if the applicant demonstrates that the proposed use:

(a) Is listed as a conditional use in the underlying zoning district or is authorized pursuant to GMC Chapter 17.74 (authorization of similar uses);

Response

The Gladstone Zoning Ordinance (GZO) classifies a utility facility as a conditional use in the R-5 zone, “provided, that no outside storage is involved.” GZO 17.12.040(9). The applicant does not propose to use any portion of the site for outdoor storage.

(b) Is suitable for the proposed site, considering size, shape, location, topography, existence of improvements and natural features.

Response

The pump station is an existing facility. Primary construction activity will include mechanical and electrical upgrades within the existing structure. Existing force main connects the existing pump station to the sanitary sewer collection system.

The developed portion of the site is flat and the southern side of the site slopes downward towards the Clackamas River. The southern and western sides of the site are within the Clackamas River flood management area. The only exterior work proposed within the flood management area include construction of a concrete stairway leading down slope to an influent manhole and hatch.

Consequently, the size, shape, location, topography, presence of natural features, and improvements make the site suitable for the proposed utility facility use.

(c) Is timely, considering the adequacy of transportation systems, public facilities and services existing or planned for the area affected by the use.

Response

Proposed upgrades to the existing pump station will have no effect on the local transportation system because the use does not generate a meaningful amount of average daily or peak hour vehicle trips. The proposed upgrades are an element of the adopted general sewer plan and are necessary to maintain and improve reliable sanitary sewer service in the neighborhood. Therefore, the proposed improvements are timely.

(d) The location, size, and functional characteristics of the proposal are such that it can be made reasonably compatible with and have a minimal impact on livability and appropriate development of properties in the area and neighborhoods surrounding the subject site.

Response

The existing pump station was designed and constructed to blend into the residential neighborhood. The pump station is a single-story rectangular structure with a pyramidal roof. The proposed physical improvements include adding louvers to the south and east façade and enhancing the landscape feature on the north side.

(e) Satisfies the policies of the comprehensive plan that apply to the proposed use.

Response

A goal of the Facilities and Services element of the Gladstone Comprehensive Plan is to “Provide and maintain needed facilities and services in a timely, orderly and efficient manner to serve urban development in the Gladstone area.” Objective # 3 supporting this goal is “To improve the effectiveness, efficiency and quality of services and service delivery.”

The staff pre-application conference notes indicate the following goals, policies and objectives of the Gladstone Comprehensive Plan are applicable.

Comprehensive Plan Goals

- *LAND USE PLANNING Goal: To provide and maintain a high standard for Gladstone’s quality of life.*

- *FACILITIES AND SERVICES Goal: To provide and maintain needed facilities and services in a timely, orderly, and efficient manner to serve urban development in the Gladstone area*
- *Objectives*
 - 1: *To ensure the continuation of adequate water, sewer, police, fire, library, recreation, and school services.*
 2. *To ensure the coordinated approach to the delivery of services.*
 3. *To improve the effectiveness, efficiency and quality of services and service delivery.*

Maintenance and improvements of the city’s sanitary sewer collection system is essential to maintain a high standard of quality of life. Proper maintenance and upgrade of the city’s sanitary sewer collection system will ensure the continuation of effective, efficient sewer service in the area. Therefore, this proposal is consistent with the Facilities and Services element of the Gladstone Comprehensive Plan.

The staff pre-application conference notes state, “*The proposal appears to be in support of the Comprehensive Plan goals and objectives, specifically the Facilities and Services Goals.*”

FLOOD MANAGEMENT AREA DISTRICT (FM) [GMC 17.29](#)

Applicability GMC 17.29.020

- (1) *This chapter shall apply to development in the FM district. The FM district includes all flood management areas and is an overlay district.*

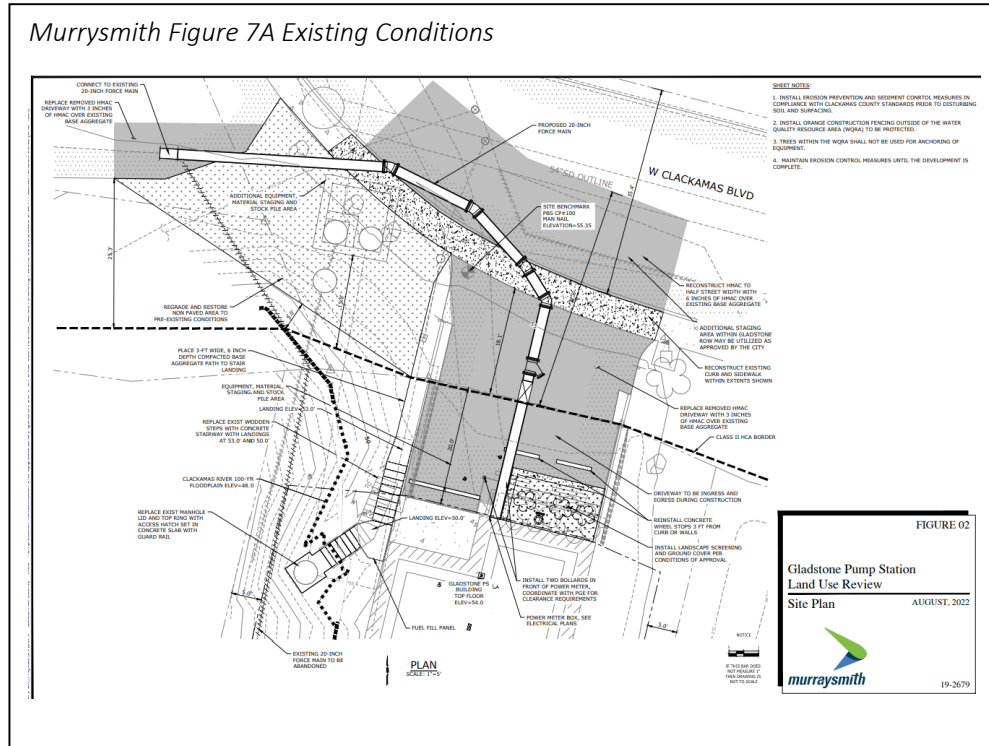
FM district development permits GMC 17.29.060

- (1) *An FM District development permit shall be obtained before construction or development begins within the FM district. A permit shall be required for all structures, including manufactured homes, and all other development, including fill and other activities.*
- (2) *Application for a development permit shall be made on forms furnished by the city. Requirements may include but are not limited to: plans in duplicate drawn to scale showing the nature, location, dimensions, and elevations of the area in question; existing or proposed structures, fill, storage of materials, drainage facilities and the location of the foregoing.*
- (3) *The following information is specifically required:*
 - (a) *Elevation in relation to mean sea level of the lowest floor (including basement) of all structures. Elevation data shall be submitted on current and effective FEMA Elevation Certificates.*
 - (b) *Elevation in relation to mean sea level to which any structure has been floodproofed.*
 - (c) *Certification by a registered professional engineer or architect that the floodproofing methods for any nonresidential structure meet the floodproofing criteria in GMC Subsection [17.29.100\(6\)\(b\)](#); and*
 - (d) *Description of the extent to which any watercourse will be altered or relocated as a result of proposed development.*

Response

As shown on Murrsmith Figure 02, Proposed Site Plan,

- A portion of the upgraded stair and manhole lid are within the 100-year flood elevation,
- The site waterward (south) from the middle of the parking area is within the HCA II boundary, and
- The force main improvements in the northern driveway and W Clackamas Blvd. are outside of the HCA boundary.



The finish grade at the upper floor of the pump station is at 54 feet and the bottom floor is at 19 feet. The upper floor is above the flood plain. The below grade walls are solid concrete that is 30-inches thick and have a waterproofing membrane. In addition, the pump station has redundant sump pumps that will drain any water entering the pump station. The proposed maintenance, repairs and minor alterations will not alter the course of the Clackamas River. Consistent with GMC 17.29.100, the applicant will restore all grades to pre-existing conditions. Consequently, there will no net increase in fill volume within the flood plain.

The pump station is supported on a pile foundation. The utilities lines have restrained joints. The pump station upgrades will increase the reliability of the pump station and reduce the likelihood of discharges from the system into the flood waters.

HABITAT CONSERVATION AREA (HCA) GMC 17.25

The following activities and uses are exempt from the requirements of Chapter 17.25, however, if a building or grading permit is required, a Construction Management Plan may be required.

- E Maintenance, alteration, expansion, repair, and replacement of existing structures, provided that the building footprint is not increased;*
- F. Expansion or replacement of an existing structure, provided that:*

1. *The expansion or replacement shall not intrude more than 500 square feet into the HCA in addition to the building footprint that lawfully existed on December 8, 2009. If more than one expansion or replacement of the same structure is undertaken—regardless of whether the work is done as one project or a series of projects—the total increase in the intrusion in the HCA shall not exceed this 500-square-foot limit;*
 2. *The new intrusion into the HCA shall be no closer to the protected water resource than the pre-existing structure; and*
 3. *Replacement is lawfully commenced within one year of destruction of the original structure. “Lawfully commenced” means the filing of an application for a land use, building, septic, grading, manufactured dwelling or residential trailer placement, plumbing, electrical, or other development permit required by the County or other appropriate permitting agency that is necessary to begin replacement of the structure.*
- K. *Maintenance, alteration, repair, and replacement of existing roads, railroads, and utilities, provided that there is no additional intrusion into the HCA;*

Response

The Gladstone pump station is a lawfully permitted existing utility structure. The footprint of the structure will not expand. The improvements to the exterior stair and hatch will not protrude further into the HCA. Replacement of stairway and hatch will not exceed 500 s.f. within the HCA. Therefore, the proposed upgrade of the Clackamas pump station is exempt from HCA review.

CONCLUSIONS

The reasons stated above, the proposed upgrades are consistent with the underlying R-5 zoning standards, Flood Management regulations, and the conditional use approval criteria for a utility facility.

EXHIBITS

- A. Existing Conditions – Murrysmith, May 2021
- B. Murrysmith Plan Set – August 2022
 - 01 Cover Sheet
 - 02 Site Plan
 - 03 Erosion Control Plan Detail
 - 04 General Erosion and Sediment Control – Details -1
 - 05 Site Demolition Plan
- C. Preliminary Statements of Feasibility (Clackamas County)
- D. Fee – Inter Department Transfer
- E. Application Form - signed