



December 2022 Planning Commission Meeting Agenda Item No. 3

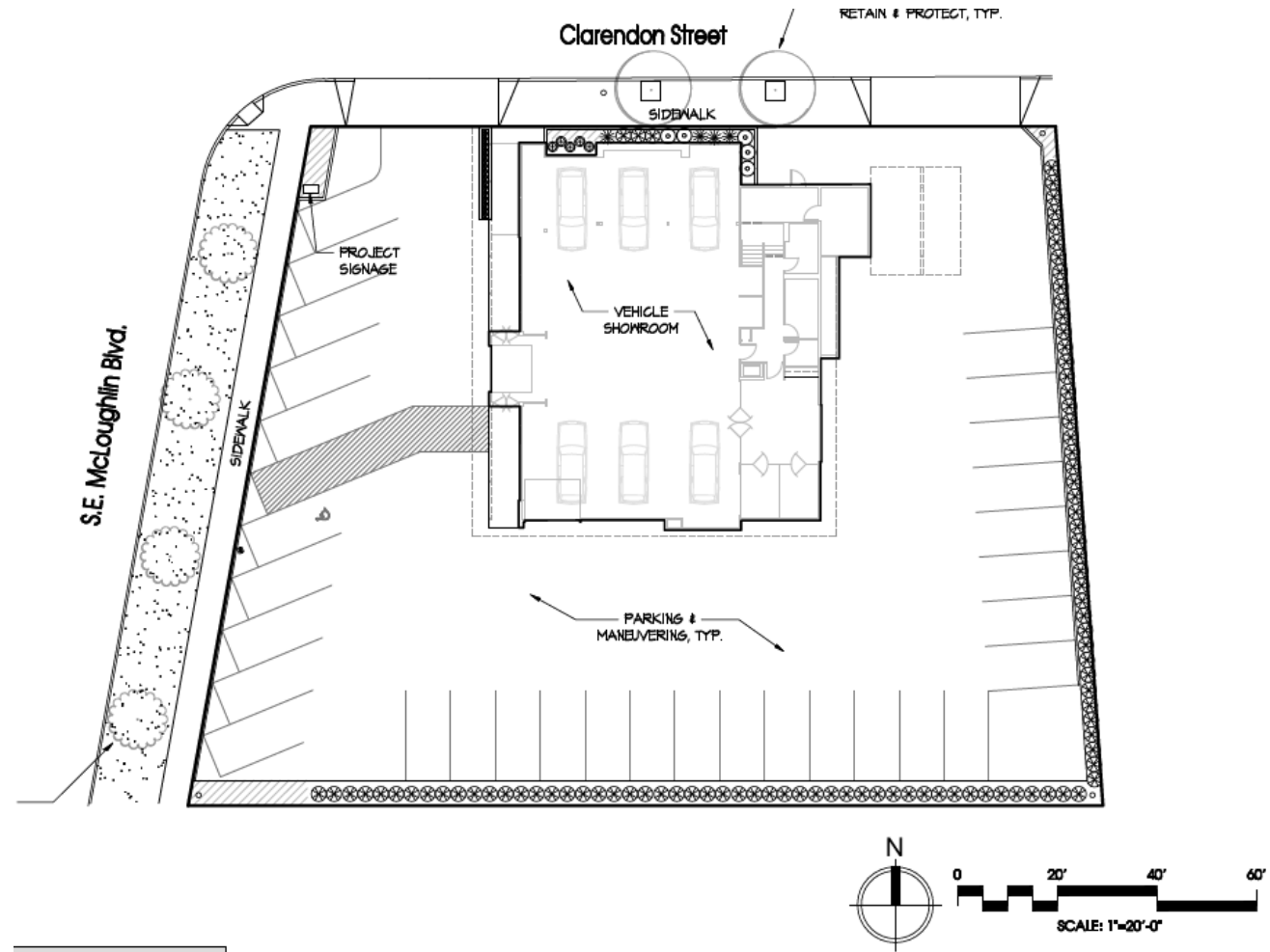
Design Review- 19900 McLoughlin Blvd



GLADSTONE
Oregon

Public Hearing

- Project overview
- Design Review
 - Key Findings for change of use and 92 square foot addition
- Next steps



Project Location: 19900 McLoughlin Blvd.

Proposed Project:

Construction of 92 square feet of showroom and site development. As proposed, the use of the building will change from a bank to a motor vehicle showroom and sales office with an addition of 92 square feet under the existing roof.



Project Site

- **Zoning Designation:** C-3 General Commercial
- **Comprehensive Plan Designation:** Commercial
- **Property size:** 0.52 acres



The site is not subject to any environmental overlays.

Proposed Plan:

- Change of use from bank to automobile sales and office
- Design review for addition to showroom



Public Noticing:















- Sent to the applicant, the owner of the subject property and owners of record as identified on the most recent Clackamas County property tax assessment roll of property located within two hundred fifty (250) feet of the subject property.
- City of Gladstone, Public Works, Gladstone Fire, Gladstone PD, Engineering, WES

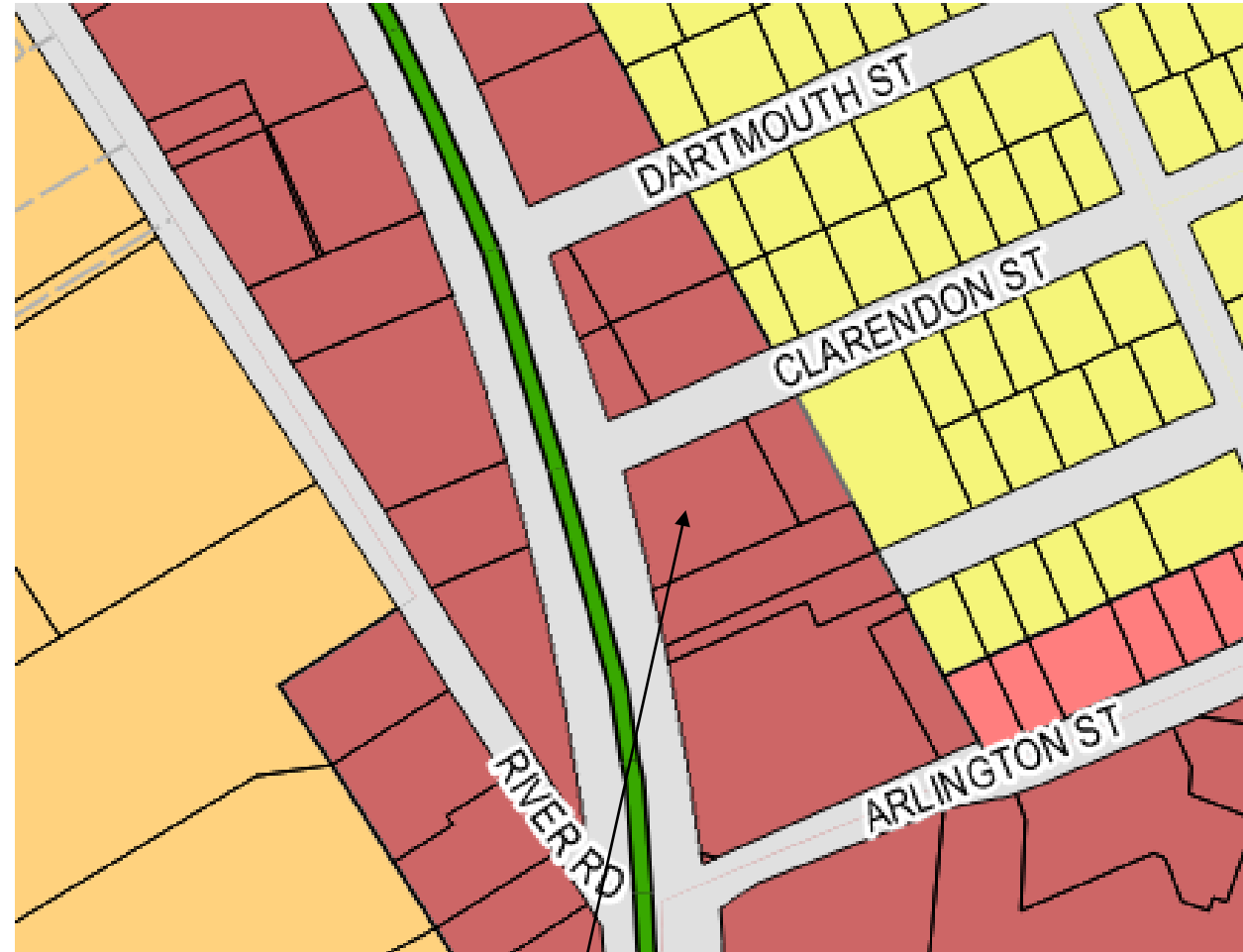


No Public Comments Received

Current Zoning Map- Excerpt showing C-3 Zoning District along SE McLoughlin Blvd

CITY OF GLADSTONE ZONING

- | | |
|--|---|
|  Local Commercial - C1 |  City Limits |
|  Community Commercial - C2 |  Urban Growth Boundary |
|  General Commercial - C3 |  Parcels |
|  Light Industrial - LI |  Railroad |
|  Multi-Family Residential - MR |  Rivers |
|  Office Park - OP | |
|  Open Space - OS | |
|  Single-Family Residential - R5 | |
|  Single-Family Residential - R7.2 | |



Subject Property

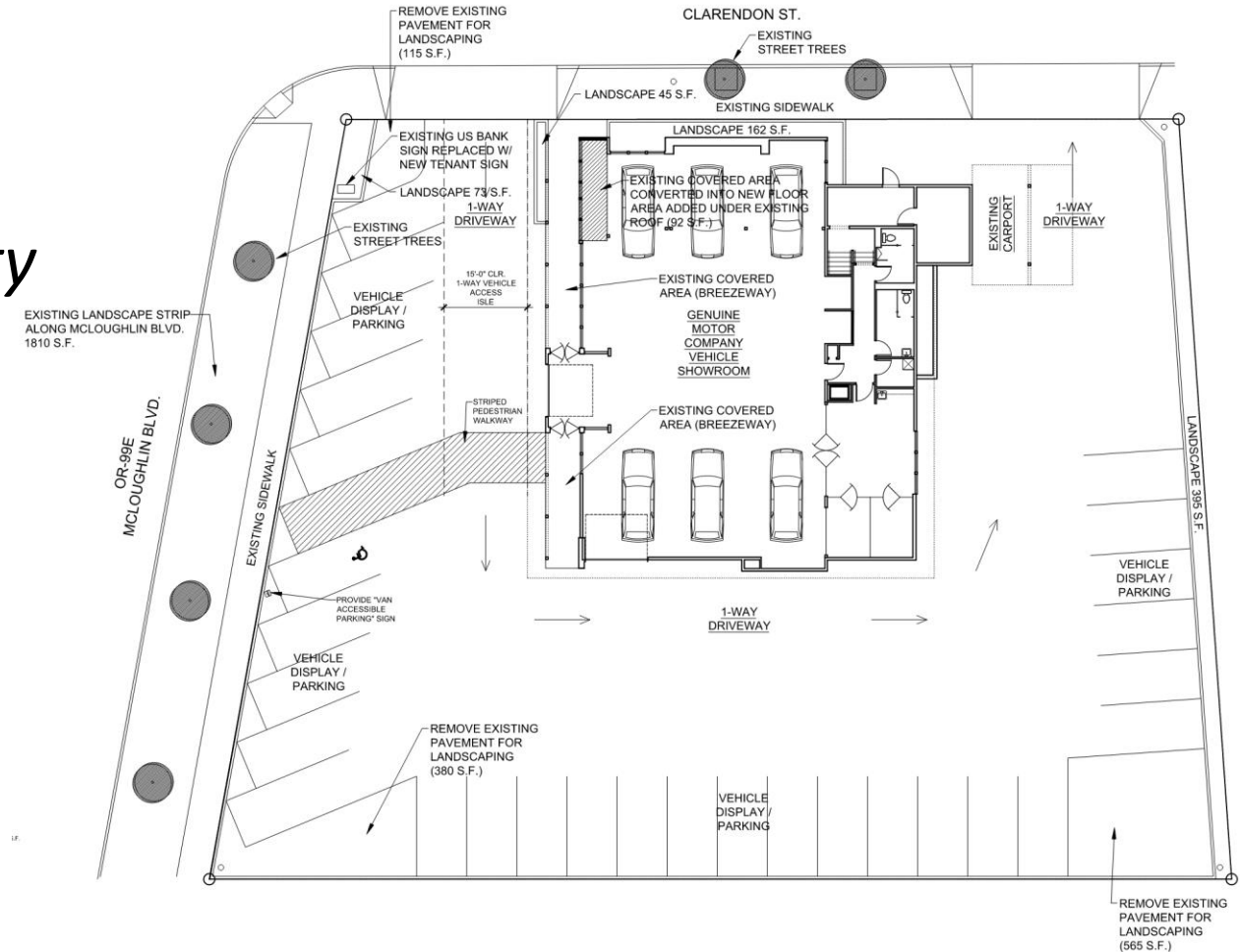
Section 17.18.020 Uses Allowed Outright (C-3)

(1) Automobile service station, car wash or repair garage, body and fender paint shop, sales of new and used vehicles.



Section 17.20.050 C-3 Dimensional standards

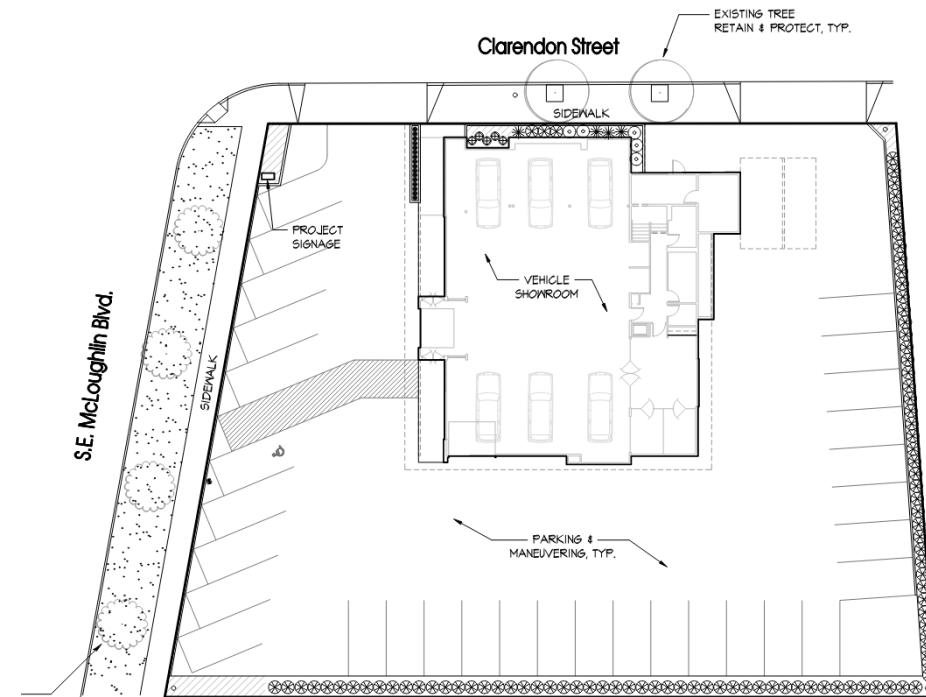
- (1)–(3): No minimum setbacks.
- (4) Off-street parking shall be a minimum of 5 feet from all property lines
- (5) N/A (architectural feature projection)
- (6) Maximum building height is 35 feet
- (7) No minimum equipment setbacks
- (8) N/A (hotels/motels)
- (9) N/A (portable storage)



Section 17.80 DESIGN REVIEW

DIVISION IV. DEVELOPMENT STANDARDS

- 17.42 General Provisions
- 17.44 Building Siting and Design
- 17.46 Landscaping
- 17.48 Off-Street Parking and Loading
- 17.50 Vehicular and Pedestrian Circulation
- 17.52 Signs
- 17.53 Billboards
- 17.54 Clear Vision
- 17.56 Drainage
- 17.58 Grading and Fill
- 17.60 Utilities
- 17.61 Wireless Communications Facilities
- 17.62 Special Uses
- 17.64 Design Standards for Land Divisions and Property Line Adjustments



RECOMMENDATION

The Gladstone Planning Staff are recommending Approval of the Design Review application with the following Special Conditions of Approval:

III. SPECIAL CONDITIONS OF APPROVAL 3

- 1. Signage 3
- 2. ADA Access..... 3
- 3. Bicycle Parking 4
- 4. Sanitary Sewer. 4
- 5. Storm Sewer..... 4
- 6. Construction Plans: 4
- 7. Pre-construction Conference..... 4
- 8. As-Built Submittals 4

RECOMMENDATION

- **The Gladstone Planning Staff are recommending Approval of the Design Review application as proposed with the 7 Special Conditions of approval.**