



**GLADSTONE PLANNING COMMISSION REGULAR AGENDA
GLADSTONE CIVIC CENTER, 18505 PORTLAND AVENUE
Tuesday, October 17, 2023 – 6:30 p.m.**

The City of Gladstone is abiding by guidelines set forth in House Bill 2560, which requires the governing body of the public body, to extent reasonably possible, to make all meetings accessible remotely through technological means and provide opportunity for members of general public to remotely submit oral and written testimony during meetings to extent in-person oral and written testimony is allowed. Therefore, this meeting will be open to the public both in person and virtually using the Zoom platform.

Please click the link below to join the webinar:

https://us06web.zoom.us/j/83160769537?pwd=5WwdMPMW_CnpWsrNU5sNLk77XymGZg.YDfnc26fVD_xBvAO

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Or One tap mobile :

+17207072699,,83160769537#,,,,*866434# US (Denver); +12532050468,,83160769537#,,,,*866434# US

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If members of the public would like to comment on an agenda item (either virtually or in person) please email your comments to bannick@ci.gladstone.or.us prior to 12:00 p.m. (noon) on October 17, 2023. Individuals attending in person may submit a speaker card to the City Recorder prior to the beginning of the meeting. Comments are limited to three (3) minutes.

The Planning Commission will also have *Business from the Audience* at the end of the meeting. To speak during this time, (either virtually or in person) please email bannick@ci.gladstone.or.us prior to 12:00 p.m. (noon) on October 17, 2023 with your name, topic of discussion, and city of residence. Individuals attending in person may submit a speaker card to the City Recorder prior to the beginning of the meeting. Comments are limited to three (3) minutes.

6:30 P.M. CALL TO ORDER

ROLL CALL

FLAG SALUTE

CONSENT AGENDA

All items listed below are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items unless a commission member or person in the audience requests specific items be removed from the Consent Agenda for discussion prior to the time the commission votes on the motion to adopt the Consent Agenda.

1. Approval of August 15, 2023 Meeting Minutes (no meeting in September)

REGULAR AGENDA

2. Monthly Planning Report – September & October 2023
3. **PUBLIC HEARING:** DR-23-06. Construction of a new 7,458 sq. ft. warehouse storage building. No proposed off-street parking or exterior storage. 6075 Duniway Avenue, Greg Philo.

BUSINESS FROM THE PUBLIC - Visitors: This is an opportunity for members of the audience to bring to the Commission's attention any item not otherwise listed on the Agenda. Comments will be limited to three (3) minutes per person. Speakers may not yield their time to others and must fill out a speaker card available in the back of the room prior to making a comment.

BUSINESS FROM THE PLANNING COMMISSION

ADJOURN

Upcoming Meeting Dates:

- No meeting in November – next meeting December 19, 2023 – Planning Commission Meeting

MEETING ACCESSIBILITY SERVICES AND AMERICANS WITH DISABILITIES ACT (ADA) NOTICE

The Civic Center is ADA accessible. Hearing devices may be requested from the City Recorder at least 48 hours prior to the meeting. Individuals requiring other assistance must make their request known 48 hours preceding the meeting by contacting the City Recorder at bannick@ci.gladstone.or.us. Staff will do their best to respond in a timely manner and to accommodate requests.



CONSENT AGENDA

GLADSTONE PLANNING COMMISSION MEETING MINUTES OF AUGUST 15, 2023

Meeting was called to order at 6:30 P.M. (In Person and via Zoom)

ROLL CALL:

Chair Natalie Smith, Commissioner Jennifer Volbeda, Commissioner Jacob Wease, Commissioner Andriel Langston, Commissioner Pat Smith, Commissioner Thomas Mersereau

ABSENT:

Commissioner Andrew Labonte

STAFF:

Tami Bannick, City Recorder; Heather Austin, Senior Planner; David Doughman, City Attorney

CONSENT AGENDA:

1. APPROVAL OF JUNE 20, 2023 MEETING MINUTES:

Commissioner Mersereau made a motion to approve the Consent Agenda. Motion was seconded by Commissioner Langston. Ms. Bannick took a roll call vote: Commissioner Mersereau – yes. Commissioner Pat Smith – yes. Commissioner Langston – yes. Commissioner Wease – yes. Commissioner Volbeda – yes. Chair Smith – yes. Motion passed with a unanimous vote.

REGULAR AGENDA:

2. MONTHLY PLANNING REPORTS – JUNE & JULY 2023:

Ms. Austin said the reports are included in the packet.

Chair Smith said she had a discussion with Ms. Betz regarding the recent changes to the Municipal Code and figuring out a way that everyone can be on the same page or be more educated, so they are fully aware of what's going on (referring to the "tree house" situation). Ms. Austin said they have the building permit section – she could add some narrative to each of those to explain the situation. Everyone agreed that was a good idea.

Commissioner Volbeda asked about why the Gladstone Library went back for re-review – Ms. Austin said there was nothing that she triggered for needing to review.

3. PUBLIC HEARING: TXT-23-02 – GLADSTONE MUNICIPAL CODE AMENDMENTS FOR PROPOSED NEW CHAPTER 17.81 - ANNEXATION:

Chair Smith opened the public hearing at 6:36 P.M.

Chair Smith went over the order/procedures they will be following. She said this is an item in which they will be receiving public testimony. Any interested person may present testimony concerning the proposed amendments. The public hearing is your opportunity to comment before the City makes a decision. She went over the procedures for testifying.

She asked if there were any abstentions from the Commissioners – there were none. She asked if there were any conflicts of interest – there were none.

Ms. Austin went over the staff report/slides.

The Planning Commission is considering the addition of a new chapter to the Gladstone Municipal Code (GMC), Chapter 17.81. They will be doing a text amendment to the Comprehensive Plan to be able to add this to the Development Code section of the GMC, which requires a recommendation of the Planning Commission to the City Council, who make the ultimate decision. This went before the City Council and they have had a chance to discuss it and direct staff to prepare these amendments to the code so they can address issues that have occurred with properties adjacent to the City and services and how the City can implement an annexation policy to make sure that it is growing appropriately and making sure that the services are available. Currently there is no language in the Development Code or GMC related to annexations, so they don't have a process in place for someone to request an annexation petition to the City. The staff report includes findings related to the proposed text amendments and they show compliance with the Oregon statewide planning goals that are applicable, the GMC, Metro's Functional Plan, and the Transportation Planning Rule. The report has been submitted to the LCD.

Staff is recommending that the Planning Commission recommend approval of the approved text amendments to the City Council and they will hold a public hearing on this matter on September 12th, 2023.

Commissioner Pat Smith asked how small a piece can be annexed to a City – the answer was a single lot. He asked (page 3-2) how staff sees an officially recognized committee for public involvement being structured. She said in a lot of cities the Planning Commission does tend to be the public involvement body where public hearings are held, so the City is already in compliance with the State laws regarding public involvement.

There has been no correspondence received pertaining to this matter.

PUBLIC TESTIMONY:

None.

Commissioner Pat Smith made a motion to close the public hearing. Motion was seconded by Commissioner Langston. Ms. Bannick took a roll call vote: Commissioner Mersereau – yes. Commissioner Pat Smith – yes. Commissioner Langston – yes. Commissioner Wease – yes. Commissioner Volbeda – yes. Chair Smith – yes. Motion passed with a unanimous vote.

Chair Smith closed the public hearing at 6:44 P.M.

Discussion:

None.

Commissioner Langston made a motion to approve TXT-23-02, New Gladstone Municipal Code Chapter 17.81, Annexation Code Amendments and recommend approval to the City Council. Motion was seconded by Commissioner Mersereau. Ms. Bannick took a roll call vote: Commissioner Volbeda – yes. Commissioner Wease – yes. Commissioner Langston – yes. Commissioner Pat Smith – yes. Commissioner Mersereau – yes. Chair Smith – yes. Motion passed with a unanimous vote.

BUSINESS FROM THE PUBLIC:

None.

BUSINESS FROM THE PLANNING COMMISSION:

Commissioner Wease:

He said at the last meeting Commissioner Pat Smith had brought up the inclusion of renters in the nearby establishments in the radius. He asked if they could propose potentially including renters in the code as a party to notify of upcoming changes (17.94.020). Mr. Doughman said legally it would be fine. He said it would be very difficult to determine who is renting/who isn't. He said the standard is generally looking at the latest County tax rolls, so that's how notices will typically work for communities. If they add this he would suggest having it tied to the address of the property itself (the residents of such property). Everyone agreed with the idea. Ms. Austen said the City charges a fee for someone applying that they pay for the notices – they just increased it slightly in July, so they may need to increase the fee if it's taking more time to compare postal addresses and make sure they aren't duplicating with ownership addresses, etc. She would like to discuss this with Ms. Betz and Ms. Bannick.

Commissioner Mersereau:

He thanked the staff for the work they do.

Commissioner Pat Smith:

He said the Mayor recently decided to disclose his personal financial interests, and the rest of the Council followed suit. He feels it was a good idea. He will do the same at the next meeting. He feels it's a good thing as far as transparency. Everyone else agreed to participate. There was discussion regarding the format to follow.

ADJOURN:

Commissioner Langston made a motion to adjourn the meeting. Motion was seconded by Commissioner Pat Smith. Ms. Bannick took a roll call vote: Commissioner Volbeda – yes. Commissioner Wease – yes. Commissioner Langston – yes. Commissioner Pat Smith – yes. Commissioner Mersereau – yes. Chair Smith – yes. Motion passed with a unanimous vote.

Meeting was adjourned at approximately 6:54 P.M.

Minutes approved by the Planning Commission this _____ day of _____, 2023.

Natalie Smith, Chair



REGULAR AGENDA



City of Gladstone Monthly Planning Report August 2023

PUBLIC CONTACTS/PLANNING ACTIONS

CUSTOMER CONTACT/ Planning Actions	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Oct	Nov	Dec	YEAR-TO-DATE TOTALS
Customer Service Counter Contacts	1	1	1	1	0	1	0	0					5
Customer phone/email Contacts	48	37	31	43	34	27	20	32					272
Building Permits with Land Use Review	4	6	2	4	8	4	2	3					33
Code Compliance Review	1	1	1	0	0	0	1	0					4
Pre-application Conferences	1	0	1	0	0	0	1	1					4
Administrative Decisions	2	2	0	0	0	0	2	0					6

PLANNING COMMISSION ACTIONS/DECISIONS

- Annexation Code Language- Recommendation of Approval to City Council for Public Hearing 9/12/23

CITY COUNCIL LAND USE ACTIONS/DECISIONS

- No Council Land Use Actions/Decisions in August

PRE-APPLICATION CONFERENCES

- PAC 23-03 Food Cart Pod and Commercial Building on Arlington

ADMINISTRATIVE PERMITS

- None in August

BUILDING PERMITS WITH LAND USE REVIEW

Date	Address	Building Permit #	Description
08/03/23	18595 Portland Ave	B0203923	Gladstone Public Works Building (approved by PC in April 2023)
08/03/23	275 Ipswich Street	B0210923	Triplex addition to site with 1 dwelling unit (total of 4 dwelling units/quadplex) Middle Housing- no design review required. Setbacks and maximum height met. No trees to be removed. Parking shown without dimensions.
08/07/23	19640 McLoughlin Blvd	B0341823	Wong's Building Supply (approved by PC in June 2023)- Demolition of existing building (old Pizza Hut)
08/21/23	275 Ipswich Street	B0210923	Same as above with parking dimensions added. Parking not required because site is within ½ mile of McLoughlin (high frequency transit) per CFEC rules. However, if parking is provided, it must meet city standards. Returned to applicant to revise parking to either meet city standards or remove one or more spaces.
08/21/23 and 08/28/23	19505 McLoughlin Blvd	B0198123	Gladstone Nissan Service Bay Expansion (approved by PC in February 2023)- addition to service bay in rear of property and a small shed to side of existing building. Small landscaping change. All PC Conditions met with submittal.
08/29/23	6665 Devonshire Drive	B0456823	Addition of 24' wide x 6' deep covered deck on rear of existing home. All minimum setbacks and maximum building height continue to be met.

FUTURE ITEMS/PROPERTY UPDATES

Date	Topic
September	9/12/23- Council Public Hearing on Annexation Municipal Code Update



City of Gladstone Monthly Planning Report September 2023

PUBLIC CONTACTS/PLANNING ACTIONS

CUSTOMER CONTACT/ Planning Actions	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Oct	Nov	Dec	YEAR-TO-DATE TOTALS
Customer Service Counter Contacts	1	1	1	1	0	1	0	0	0				5
Customer phone/email Contacts	48	37	31	43	34	27	20	32	42				314
Building Permits with Land Use Review	4	6	2	4	8	4	2	6	9				45
Code Compliance Review	1	1	1	0	0	0	1	0	0				4
Pre-application Conferences	1	0	1	0	0	0	1	1	1				5
Administrative Decisions	2	2	0	0	0	0	2	0	1				7

PLANNING COMMISSION ACTIONS/DECISIONS

- No Planning Commission in September 2023

CITY COUNCIL LAND USE ACTIONS/DECISIONS

- Annexation Code Update- Council Approved

PRE-APPLICATION CONFERENCES

- PAC 23-04 Toyota of Gladstone Expansion

ADMINISTRATIVE PERMITS

- Approval of sign replacement at Subway

BUILDING PERMITS WITH LAND USE REVIEW

Date	Address	Permit #	Description
09/06/23	18595 Portland Ave	B0203923	Gladstone Public Works Building (approved by PC in April 2023) Re-review. Conditions met.
09/06/23	18355 Cornell Pl	B0457023	Replace and expand existing deck attached to single-household detached residence. All setbacks and applicable standards met.
09/06/23	6665 Devonshire Dr	B0456823	Addition of a deck attached to single-household detached residence. All setbacks and applicable standards met.
09/13/23 09/20/23	275 Ipswich Street	B0210923	Triplex addition to site with 1 dwelling unit (total of 4 dwelling units/quadplex) Middle Housing- no design review required. Setbacks and maximum height met. No trees to be removed. Parking not required because site is within ½ mile of McLoughlin (high frequency transit) per CFEC rules. However, if parking is provided, it must meet city standards. Returned to applicant to revise parking to either meet city standards or remove one or more spaces on 09/13/23. Applicant revised to meet standards and was approved on 09/20/23.
09/13/23	19505 McLoughlin Blvd	B0198123	Gladstone Nissan Service Bay Expansion (approved by PC in February 2023)- addition to service bay in rear of property and a small shed to side of existing building. Small landscaping change. All PC Conditions met with submittal.
09/18/23 09/27/23	19405 McLoughlin Blvd	B0194023	Mazda of Gladstone addition. Approved by Planning Commission in March 2023. Submitted building permit complies with approval.
09/27/23	430 High Court	B0506123	Addition to an existing single-household detached residence which meets all setbacks and other dimensional standards of the R-7.2 zoning district.

FUTURE ITEMS/PROPERTY UPDATES

Date	Topic
10/17/23	Planning Commission Public Hearing- FIRE Warehouse Building Design Review at 6075 Duniway Avenue
10/24/23	City Council Work Session- Updating Home Occupation Code Language (GMC Chapter 17.78)



Agenda Item No. 3

PC Meeting Date: 10/17/2023

STAFF REPORT: DESIGN REVIEW

Application No.:	DR-23-06
Applicant/Owner:	Greg Philo, FIRE Restoration (greg@fireexperts.net) Raphael Goodblatt, AHHA Architect Inc. (rag@ahhapdx.com)
Project Location:	6075 Duniway Ave, Gladstone OR, 97027; 22E19AA00401
Project Description:	Construction of a new approximately 7,500 square foot warehouse storage building. No proposed off-street parking or exterior storage.

SUMMARY OF STAFF RECOMMENDATION

The planning staff recommend approval of the Design Review application DR-23-06 and recommend the following findings and standard conditions in support of approval, as well as 4 special conditions: (1) Revised Building Elevations, Site Plan and Narrative; (2) Construction Plans for Public Improvements; (3) Right-of-Way Dedication and (4) Easements.

The site is located at 6075 Duniway Ave, Tax Lot ID 22E19AA00401, a 0.51-acre site zoned LI- Light Industrial. The purpose of the Design Review is to add a warehouse building to the site. There is an existing single-household residential structure on the site which is proposed to remain.

As proposed and conditioned, Planning Staff found the application consistent with all applicable standards from Title 17 of the Gladstone Municipal Code (GMC). Therefore, staff recommend that the Planning Commission approve this Design Review application with the standard conditions and 4 special conditions of approval. The standard of review for the proposed project is the City of Gladstone's Municipal Code Zoning and Development Title 17.

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REQUEST FOR COMMENTS

Sent to: Property owners and residents within two hundred fifty (250) feet of the subject property, City of Gladstone Public Works, Police and Engineering as well as ODOT, Clackamas Fire, Water Environment Services (WES), Oak Lodge, and Gladstone Disposal.

Responses Received: The proposal was reviewed by Gladstone Public Works and Engineering who provided comments dated October 10, 2023 regarding public utilities and streets, which have been incorporated into this report. No comments were received from the public, Oak Lodge, Clackamas Fire District on behalf of Gladstone fire, ODOT or WES.

STANDARD CONDITIONS

- 1. Expiration. This approval shall remain valid for two years following the date of approval per 17.80.100. If the approved use has not commenced by that date, this approval shall expire unless a time extension is granted pursuant to GMC 17.66.015(4).**
- 2. Interpretation. Any questions of intent or interpretation of any condition will be resolved by the**

Planning Director for the City of Gladstone.

3. **Assignment.** The permit may be assigned to any qualified person, provided assignee files with the City Planning Department an affidavit accepting all terms and conditions of the permit.
4. **Terms and Conditions Run with the Land.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.
5. **The Oak Lodge Rules and Regulations and Design and Construction Standards** in effect on the date of complete application to OLWSD, not land use application date, shall apply to all utilities within the Oak Lodge Water Services Service Area.
6. **Construction Plans.** Plans detailing the installation of public and private utilities, site grading and other public and private improvements shall be submitted to the City of Gladstone Public Works Department for review and approval per GMC 17.60.010 and 17.42.030. The design, location and planned installation of all street and sidewalks, natural gas, power, street lighting, telephone, cable television, storm water, water and sanitary sewer provisions are subject to approval by the appropriate agency/utility service provider. Construction plans shall be designed and stamped by a Professional Engineer registered in the State of Oregon. Plan submittal shall include three (3) paper sets of plans, a pdf copy, an Engineer's Estimate for the public improvements, and a drainage report. The Gladstone Public Works Department provided detailed comments regarding the Construction Plans submittal in their memo dated October 10, 2023, included with this report.
7. **Pre-Construction Conference.** Once grading/construction plans are ready to be approved by the City of Gladstone, a Pre-Construction Conference with final sign-off on the Construction Plans is required per GMC 17.40.030. Review fees, SDC's and performance bonding may be required of the applicant prior to scheduling the pre-construction conference.
8. **Building Permits.** The applicant shall obtain required building permits from Clackamas County. The applicant shall comply with requirements of the permits.
9. **Signage.** All signs shall meet the provisions of Subsection 17.52 of the GMC. Sign designs were not included with the submittal package. If existing signage is to be replaced with signage in the future, a sign permit shall be filed separately at the time it is needed.
10. **ADA Access.** This approval is subject to the development complying with the provisions of the Americans with Disabilities Act (ADA) per GMC 17.50.020 (6)(f), including provisions for curb ramps, circulation within the site, and appropriate grades to the public entrances of the buildings.
11. **As-Built Submittals.** Prior to the approval of the Certificate of Occupancy, the applicant shall provide the City Public Works Department with copies of the as-built submittals per GMC 17.60.020(7).
12. **Stormwater Certification.** Prior to approval of the Certificate of Occupancy, the applicant shall provide the City Public Works Department with a recorded copy of the Storm Drainage Facilities Maintenance Agreement prepared using an approved City of Gladstone form, a signed

certification from the design engineer indicating that the surface water systems have been inspected and installed per the approved plans and that the systems are functioning as designed, and a maintenance bond in the amount of ten (10) percent of the cost of the public improvements.

SPECIAL CONDITIONS OF APPROVAL

- 1. Revised Building and Site Plans and Narrative.** Prior to building permit approval, submit revised building plans, building elevations, site plan and narrative to the Gladstone Planning Department that demonstrates:
 - a. skylights or clerestory windows to provide natural lighting and/or solar heating of interior spaces per GMC 17.44.020(2)(c); and
 - b. all mechanical equipment screened in accordance with GMC 17.44.020(3)(e)
 - c. all exterior materials and finishes are high-image such as masonry, architecturally treated tilt-up concrete, glass, wood or stucco and no metal siding is utilized unless specifically approved by the Planning Commission, acting as the design review committee, in accordance with GMC 17.44.020(4)
 - d. site photometrics, in accordance with GMC 17.44.020(5)-(6)
 - e. roof-mounted or other above ground equipment or facilities screened in accordance with GMC 17.44.020(7)
 - f. compliance with the trash disposal and recycling collection provisions of GMC 17.44.020(8)
 - g. a minimum of 3,333 square feet of landscaping on this 22,215 square foot site, in accordance with GMC 17.46.020(1)
 - h. a minimum 10-foot-wide landscaped strip containing the materials listed in GMC 17.46.020(2)(c) in accordance with GMC 17.48.020(2)(b). Any fences or walls along this landscaped strip shall be located behind the required landscaped strip in accordance with GMC 17.46.020(2)(d)
 - i. landscaping irrigation and maintenance, overall plant species and street tree details, all of which shall comply with GMC 17.46.020(3)-(5) and (8)
 - j. the loading area is constructed of asphalt or concrete and meets the provisions of GMC 17.48.040(1)
 - k. the two short-term bicycle parking spaces meet the design standards of GMC 17.48.050(2)
 - l. a pedestrian pathway a minimum 6-feet in width meeting the standards of the Americans with Disabilities Act (ADA) connecting the public sidewalk along Duniway Avenue with the main entry on the west end of the building. Such pedestrian pathway shall meet the provisions of GMC 17.50.020(6)(a)-(f)

- 2. Construction Plans for Public Improvements.** Prior to building permit approval, the applicant shall submit plans detailing the installation of public and private utilities and infrastructure, as detailed in the Public Works Comments dated 10.10.23 in compliance with the Provisions of GMC 17.50.030, 17.50.040, 17.56.020 and 17.60.020.

- 3. Right-of-Way Dedication.** Prior to issuance of a certificate of occupancy, adequate right-of-way shall be dedicated at the intersection of Portland Avenue and Duniway Avenue so that the new sidewalk improvements will be located within the public right-of-way per GMC 17.50.040.

4. Easements. Prior to issuance of a certificate of occupancy, 8-foot-wide public utility easements shall be recorded along both street frontages adjacent to this site unless a reduced width is approved due to existing structures, as noted in the Public Works Comments dated 10.10.23 and in accordance with Gladstone Public Works Standards.

NOTES

1. System Development Charges (SDCs). SDCs may be required due to the increased use of the property. The project shall provide all relevant information needed to calculate the SDCs to the Public Works Director.
2. Building Permits. Clackamas County Building Department will provide structural, mechanical, grading, and review of Fire & Life Safety, Plumbing, and Electrical Permits for this project.
3. Right of Way Permits. Prior to initiating work within the right of way, a permit from the Gladstone Public Works Department and ODOT are required as applicable.
4. Erosion Control permits are issued through Clackamas County Water Environment Services and are required for 800 sq. ft. or more of ground disturbance.

FINDINGS

Zoning Code Review & Findings

Below are applicable citations/review criteria from GMC Chapter 17 and findings in response to the criteria. Unless discussed below, the applicant has met the requirements of the applicable review criteria fully, and/or the Code's criteria are not applicable to this proposal and therefore do not warrant discussion. Where conditions are necessary for the proposal to meet the provisions of GMC Chapter 17, the provisions are included beneath the findings for the applicable section. Subsections of specific criteria not applicable to the proposal are omitted from this report and indicated with a triple asterisk (***)

Chapter 17.24 LI – LIGHT INDUSTRIAL DISTRICT

17.24.020 Uses allowed outright.

In an LI zoning district, the following uses and their accessory uses are allowed outright. Outside or open storage shall be an allowed accessory use.

(13) Uses permitted outright in C-3 district.

Finding: The LI zone permits outright “Wholesale distribution outlet, including warehousing and storage”. As these uses are permitted outright in LI per 17.24.020(15), this criterion is met.

17.24.045 Screening.

The following screening standards shall apply:

(1) Off-street parking and loading areas and business activities, such as service, repair, processing, storage and merchandise display, that are conducted outside of a wholly enclosed building, shall be

screened from abutting properties where such properties are in a residential zoning district and from abutting unimproved public street rights-of-way where property on the opposite side of the unimproved right-of-way is in a residential zoning district.

(2) Business activities, such as service, repair, processing, storage and merchandise display, that are conducted outside of a wholly enclosed building, shall be screened from abutting properties where such properties are in a C-1 or C-2 zoning district and from abutting unimproved public street rights-of-way where property on the opposite side of the unimproved right-of-way is in a C-1 or C-2 zoning district.

(3) Storage, with the exception of merchandise display, outside of a wholly enclosed building shall be screened from abutting improved public street rights-of-way. Off-street parking and loading areas for customer vehicles, employee vehicles and vehicles for sale are not required to be screened from improved public street rights-of-way. However, off-street parking and loading areas for other types of vehicle storage (e.g., towed vehicles, recreational vehicles being stored as a service) shall be screened from abutting improved public street rights-of-way.

(4) Required screening shall be accomplished by building placement, a landscaped earth berm or a sight-obscuring fence or hedge.

(5) Required screening shall be reviewed pursuant to GMC Chapter [17.80](#) (Design Review). When design review is not required, screening shall be reviewed by the City Administrator or designee.

(6) Required screening shall be a minimum of six feet high. With the exception of equipment and vehicles, stored merchandise and materials shall not exceed the height of required screening. Stored equipment and vehicles may exceed the height of the required screening provided such equipment and vehicles are not stacked on top of one another.

(7) Required screening shall be sited so that it does not conflict with GMC Chapter [17.54](#) (Clear Vision). In locations where perimeter landscaping adjacent to a street is required as a condition of land use approval, required screening shall be located behind such landscaping.

Finding: The proposed use does not include outdoor storage, business activities or parking. The south side of the site will include loading areas which will not abut residentially zoned properties. The eastern boundary of the site abuts Portland Ave with residential zoning across the street. No changes are proposed to this portion of the site. The screening requirements of 17.24.045 are not required of the proposed submittal. This standard is met.

17.24.060 Dimensional standards.

Except as provided in GMC Chapter [17.38](#) (Planned Unit Development), Chapter [17.72](#) (Variances) and Chapter [17.76](#) (Exceptions), the following dimensional standards shall apply in an LI zoning district:

*(1) **Building Height.** The maximum building height shall be 35 feet. This restriction may be varied as follows:*

(a) Maximum building height may be increased by one story if the building is provided with an approved automatic sprinkler system throughout as provided in Section 506 of the Oregon Structural Specialty Code or its successor;

(b) Vertical projections such as chimneys, spires, domes, elevator shaft housings, towers, aerials, flagpoles and similar objects not used for human occupancy are exempt from the maximum building height standard;

(c) Maximum building height may be increased if the city fire department reports that it possesses sufficient fire-fighting capability to provide emergency response to a structure of the height proposed.

*(2) **Side Setbacks.** There shall be no minimum side setback requirement except when a side lot line abuts a residential zoning district, in which case the minimum side setback shall be 20 feet.*

(3) Rear Setbacks. *There shall be no minimum rear setback requirement except when a rear lot line abuts a residential zoning district, in which case the minimum rear setback shall be 20 feet.*

(4) Front and Street Side Setbacks. *There shall be no minimum front or street side setback requirements.*

(5) Architectural Features. *Architectural features such as cornices, eaves, gutters, chimneys and flues may project a maximum of two feet into a required setback area.*

(6) Off-Street Parking. *The boundary of any area developed or intended for off-street parking shall be located a minimum of five feet from all property lines.*

(7) Equipment Setbacks. *There shall be no minimum setback requirements for central air conditioners, heat pumps and similar equipment except when a lot line abuts a residential zoning district, in which case the minimum setback requirement from the lot line abutting the residential zoning district shall be 10 feet.*

(8) Portable Storage Container Setbacks. *When a lot line abuts a residential district, a setback does not apply to portable storage containers as defined in Chapter 5.22.*

Finding: The proposed building height of 24' will not exceed the 35' maximum. Vertical projections are not proposed. There are no minimum setbacks for this proposal as the portion of the site abutting Portland Ave and across from residential zoning will not be developed. There is no off-street parking proposed with this development. The submitted narrative states that an HVAC unit will be on the ground as shown on the plans; however, the plans do not show the HVAC unit. Because the site is separated from the residential zoning by the width of Portland Avenue, which is greater than 10' in width, any on-site placement of the HVA unit will meet subsection (7), above. The site improvements meet the dimensional standards of the LI zoning district.

Chapter 17.80 DESIGN REVIEW

17.80.021 Applicability.

(1) This chapter shall apply to new structures; additions to existing structures; site development, such as grading, parking lot construction or commercial/industrial use of an undeveloped property; change of use; and major remodeling, with the following exceptions:***

Finding: The proposal is to add an approximately 7,500 SF warehouse building to the site that contains one residential structure. It is not clear the exact size of the building as some plan sheets indicate 7,450 sf, some plan sheets indicate 7,458 sf and the application form states 7,485 sf. The application requires design review. This criterion is met.

17.80.061 Submittal requirements.

(1) An application for design review shall include a minimum of twelve (12) copies of the following plans drawn to scale. A project summary shall accompany the application when necessary to describe special circumstances such as a request for a minor exception pursuant to GMC Section 17.80.090 (minor exceptions).

Finding: The applicant provided the application materials, including the narrative, site plan, landscaping plan and Architectural Plan. Copies needed to thoroughly assess the criteria used for evaluation were also provided. This standard is met.

17.80.090 Minor Exceptions.

(1) Authority. In conjunction with the design review plan approval, the Planning Commission may

grant minor exceptions from the following requirements:

(a) Dimensional standards for yards required in the primary district;

(b) Dimensional standards for off-street parking as required in GMC Chapter 17.48 (Off-Street Parking and Loading);

(c) Minimum and maximum number of off-street parking spaces required in GMC Chapter 17.48 (Off-Street Parking and Loading).

*(2) Limitations. No minor exceptions shall be greater than twenty-five percent (25%) of the requirement from which the exception is requested. Requests greater than twenty-five percent (25%) shall be subject to variance procedures. ****

Finding: The applicant is not requesting an exception. This is informational only. This criterion is not applicable as proposed.

17.80.100 Compliance.

(1) Approval of design review shall expire if construction has not begun within two years of the date of the final decision. Upon request and in accordance with GMC Section 17.66.015(4)(a), the two-year period may be renewed once by the City Administrator or designee for not more than one year.

(2) Prior to issuance of a final certificate of occupancy, the development site shall be checked by the City Administrator or designee to insure compliance with the approved design review plans. Approval of a final certificate of occupancy shall not be granted until all conditions of design review approval are met.

(3) Any departure from the approved design review plans may be cause for revocation of the building permit or denial of a final certificate of occupancy. Any changes in the approved design review plans shall be submitted to the City Administrator or designee for review and approval prior to execution. Changes to the substance of an approval or the substance of conditions of approval shall require the submittal of a new design review application.

Finding: This is informational only. The applicant has two years to begin construction from the date of the city's approval.

DIVISION IV. DEVELOPMENT STANDARDS

Chapter 17.42 GENERAL PROVISIONS

17.42.020 Use of public right-of-way. Use of public right-of-way for the sale, display or storage of goods and off-street parking is prohibited on interior side of curbs, however, this requirement may be waived upon City Council approval.

Finding: The proposal does not include sale, display or storage of goods or off-street parking in the public right-of-way. This standard is met.

17.42.030 Improvements. Improvements installed by a developer, either as a requirement or at his or her option, shall conform to the standards of this title, GMC Chapter 12.02 (street excavation requirements) and to any supplemental design and construction specifications adopted by the city for such improvements. Improvements shall be installed in accordance with the following procedure:

(1) Improvement work shall not begin until plans have been checked for adequacy and approved by the city.

(a) To the extent necessary for evaluation of the proposal, the plans may be required before land use approval is issued.

(b) Plans shall be prepared in accordance with the requirements of the city.

(2) Improvement work shall not begin until the city has been notified, and if work has been discontinued for any reason, it shall not be resumed until the city has been notified.

(3) Improvements shall be constructed under the inspection and to the satisfaction of the city.

(a) The city may require changes in typical sections and details in the public interest if unusual conditions arise during construction to warrant the change.

Finding: Improvements to the site will conform to the standards of this title. Compliance of street and utility improvements is discussed and conditioned, if necessary, in Chapters 17.50, 17.56, 17.58 and 17.60. This standard is met.

Chapter 17.44 BUILDING SITING AND DESIGN

17.44.020 General standards. Building siting and design standards are as follows:

(1) Siting. Where there are no conflicts with other design standards or requirements in this Title, site buildings to maximize solar access where practical, using such techniques as:

(a) Maximizing east-west street length so that principal building façades will face south;

(b) Orienting buildings within twenty degrees of true south as well as maximizing their south-facing dimension;

(c) Placing higher buildings on the north portion of the site, while protecting solar access for adjacent sites;

(d) Placing major yard spaces on south side of buildings.

Finding: The proposed warehouse building is longer in the east-west dimension so that the building openings are oriented south. This standard is met.

(2) Energy Efficient Design. Where there are no conflicts with other design standards or requirements in this Title, design buildings that are conducive to energy efficiency and conservation, using techniques including, but not limited to, those listed below which are most appropriate to the development:

(a) Concentrate window areas on the south side (within twenty degrees of true south) of buildings where there is good southern exposure, and provide overhangs, balconies, or other shading devices to prevent excessive summer heat gains;

(b) Use architectural features, shapes or buildings, fences, natural landforms, berms and vegetation to catch and direct summer breezes for natural cooling and minimize effects of winter winds;

(c) Provide skylights or clerestory windows to provide natural lighting and/or solar heating of interior spaces.

Finding: The windows on the building are primarily on the southern frontage. The large roll-up doors on the southern frontage may be used for summer breezes for natural cooling. The structure is built to be closed to winter winds. The applicant has not demonstrated conflict with other design standards or requirements in this Title and has not provided skylights or clerestory windows to provide natural lighting and/or solar heating of interior spaces. This standard can be met as conditioned below.

Condition: Prior to building permit approval, submit revised building plans to the Gladstone Planning Department that include skylights or clerestory windows to provide natural lighting and/or solar heating of interior spaces.

(3) Compatibility. Arrange structures and use areas to be compatible with adjacent developments and surrounding land uses, considering the following design and siting techniques:

(a) Locate and design structures to protect scenic views or vistas from adjacent properties and public thoroughfares. Setbacks, building height and bulk should be considered;

(b) Design structures to provide visual order and avoid monotony in layout and design;

(c) Orient major service activity areas (e.g., loading and delivery areas) of the proposed project away from existing residences;

(d) Provide opaque enclosures and gates for all refuse storage areas;

(e) Screen mechanical equipment, except solar collection apparatus, from view or place such equipment in locations where it will not be viewed by the public. Screening shall be accomplished by the use of a sight-obscuring fence or hedge, a landscaped earth berm, building placement or other design techniques;

(f) Buffering and/or screening shall be used to mitigate adverse visual impacts, dust, noise and pollution, and to provide for compatibility between dissimilar adjoining uses. Special consideration will be given to the buffering, screening and siting of commercial and industrial uses to ensure that noise and odors are not detectable to normal sensory perception on adjacent residential properties. All development shall comply with GMC Chapter 8.12 (noise control).

Finding: The existing building placement, orientation and height will not change. The proposed warehouse structure will be placed on the site so that the large, blank wall (north side) will be adjacent to an existing large, blank wall on the adjacent property. The proposed loading access is across Duniway Avenue from Gladstone City Hall, a non-residential use. The narrative states that all refuse storage areas will be within the structure. The narrative points to the plans for HVAC placement; however, the plans do not indicate HVAC placement. Additional buffering and screening of the use is not necessary as it will be entirely within an enclosed building. This standard can be met as conditioned below.

Condition: Prior to building permit approval, submit a revised site plan to the Gladstone Planning Department that demonstrates all mechanical equipment screened in accordance with GMC 17.44.020(3)(e).

(4) Building Materials. Buildings shall be constructed using high-image exterior materials and finishes such as masonry, architecturally treated tilt-up concrete, glass, wood or stucco. Buildings shall not be constructed with metal siding material, except as approved by the design review committee for specific high-image materials, except for:

(a) Canopies, awnings, screening for roof-mounted fixtures, or other architectural features:

(b) Utility equipment cabinets:

(c) Structures no greater than two hundred (200) square feet in floor area and ten (10) feet in height: and,

(d) Buildings, the portions of buildings, that are not visible from a road or adjacent property.

Finding: The submitted narrative states, "The use of metal materials has to be explicitly approved by the Planning Commission". It is unclear from the narrative or the submitted plans if metal is proposed. Given the lack of information on the exterior materials proposed, this standard can be met as

conditioned below.

Condition: Prior to building permit approval, submit revised building elevations to the Gladstone Planning Department that demonstrates all exterior materials and finishes are high-image such as masonry, architecturally treated tilt-up concrete, glass, wood or stucco and no metal siding is utilized unless specifically approved by the Planning Commission, acting as the design review committee, in accordance with GMC 17.44.020(4).

(5) Lighting. Adequate exterior lighting shall be provided to protect public safety and shall be deflected so as not to shine on a lot in a residential district.

(6) On-site Lighting. All on-site lighting shall be designed, located, shielded, or deflected so as not to shine into off-site structures or impair the vision of the driver of any vehicle. When required, engineered site lighting plans shall be developed consistent with Illuminating Engineering Standards (IES) including, but not limited to, average maintained illumination and maximum to minimum ratios. A master plan for on-site lighting shall include the design, height, and location of all proposed exterior lights, including:

- (a) Parking and loading area lighting;***
- (b) Pedestrian walkway lighting;***
- (c) Internal access road lighting;***
- (d) Lighting of public entrances into buildings;***
- (e) Flood lights illuminating buildings or significant natural features.***

Finding: The submitted narrative and site plan fail to demonstrate compliance with this criterion. A photometric plan or other site lighting plan was not included with this submittal. Staff cannot determine if the proposal complies with these standards. These standards can be met as conditioned below.

Condition: Prior to building permit approval, submit a revised site plan to the Gladstone Planning Department that demonstrates site photometrics in accordance with GMC 17.44.020(5)-(6).

(7) Equipment and Facilities. All utility lines shall be placed underground. All roof-mounted fixtures and utility cabinets or similar equipment which must be installed above ground shall be visually screened from public view.

Finding: The submitted site plan shows all new utility lines placed underground. The narrative and site plan do not indicate roof-mounted fixtures and utility cabinets or similar equipment. This standard can be met as conditioned below.

Condition: Prior to building permit approval, submit a revised site plan and building elevations to the Gladstone Planning Department that demonstrate roof-mounted or other above ground equipment or facilities screened in accordance with GMC 17.44.020(7).

(8) Trash Disposal and Recycling Collection. In addition to the preceding standards, new construction requiring full site plan review shall incorporate functional and adequate space for on-site storage and efficient collection of mixed solid waste and source separated recyclables prior to pick-up and removal

by haulers.

(a) Minimum storage area for trash and recyclables shall be established by one of the following methods: minimum standards method or franchise hauler review method.

- (A) Franchise Hauler Review Method. The applicant shall submit plans for storage and collection of solid waste and recyclables that are acceptable to the city's franchise solid waste hauler; acceptance may be indicated on the site plan and/or by separate attachment; or**
- (B) (B) Minimum Standards Method. The applicant shall submit plans for storage of solid waste and recyclables in accordance with the following:**
 - (i) Multi-family complexes containing ten (10) or fewer dwelling units shall provide a minimum fifty (50) square feet; developments containing more than ten (10) residential units shall provide an additional five (5) square feet per dwelling unit above ten (10).**
 - (ii) Nonresidential developments shall provide a minimum storage area of ten (10) square feet plus:**
 - (aa) office – 4 square feet /1,000 square feet gross floor area (GFA)**
 - (bb) retail – 10 square feet /1,000 square feet GFA**
 - (cc) wholesale/warehouse/manufacturing – 6 square feet /1,000 square feet GFA**
 - (dd) educational & institutional – 4 square feet / 1,000 square feet GFA**
 - (ee) Other – 4 square feet /1,000 square feet GFA**

Finding: The submitted narrative states that “trash will be stored inside the building”. No further information is provided. This standard can be met as conditioned below.

Condition: Prior to building permit approval, submit a revised site plan to the Gladstone Planning Department that demonstrates compliance with the trash disposal and recycling collection provisions of GMC 17.44.020(8).

17.44.024 Nonresidential design standards.

New nonresidential buildings, with the exception of buildings housing institutional, warehouse or manufacturing uses, shall be subject to the following design standards:

- (1) Ground Floor Windows.** Ground floor windows shall be required on walls fronting a public street and shall comply with the following standards:
 - (a) The windows shall cover at least fifty percent (50%) of the length and twenty-five percent of the ground level wall area. Ground level wall areas include all exterior wall areas up to nine feet (9') above the finished grade. The bottom of required windows shall be no more than four feet (4') above the adjacent exterior finished grade.**
 - (b) Required windows shall be windows that allow views into work areas or lobbies, pedestrian entrances or display windows set into the wall. Display cases attached to the outside wall shall not qualify.**
- (2) Distinct Ground Floor.** The ground level of primary buildings shall be visually distinct from upper floors. This separation shall be provided by one of the following mechanisms:
 - (a) A cornice above ground level;**
 - (b) An arcade;**
 - (c) Change in material or texture or architectural design; or**
 - (d) A row of clerestory windows on the building's street-facing elevation.**

Finding: GMC 17.44.024 specifically exempts buildings housing warehouse uses, such as the building

proposed with this design review. Therefore, the provisions of GMC 17.44.024 are not applicable to this proposal.

Chapter 17.46 LANDSCAPING

Chapter 17.46 of the GMC regulates landscaping standards applicable to all development that is subject to design review.

17.46.020 Standards. Landscaping requirements shall be as follows:

(1) Minimum Requirement. A minimum of 15 percent of the lot area shall be landscaped, except when a greater percentage is required elsewhere in this title.

Finding: The proposed improvement area "project area" is approximately 22,215 square feet (0.51 ac). Sheet AS-001 identifies 3,935 square feet of landscape area which is 17.7%, exceeding the minimum 15% required. However, Sheet C2.00 identifies 2,420 square feet of landscape area in different locations on the site from AS-001, not meeting the requirements of this section. It is unclear exactly where the landscaping will be provided to meet this requirement. This standard can be met as conditioned below.

Condition: Prior to building permit approval, submit a revised site plan to the Gladstone Planning Department that demonstrates a minimum of 3,333 square feet of landscaping on this 22,215 square foot site, in accordance with GMC 17.46.020(1).

(2) Parking and Loading Areas. The following landscape requirements shall apply to off-street parking and loading areas:

(a) An off-street parking and loading area providing 10 or more parking spaces shall be improved with defined landscaped areas totaling no less than ten square feet per parking space;

(b) A parking or loading area shall be separated from any lot line adjacent to a street by a landscaped strip at least 10 feet in width, and any other lot line by a landscaped strip at least five feet in width;

(c) A landscaped strip separating a parking or loading area from a street shall contain:

(A) Street trees spaced as appropriate to the species, not to exceed 25 feet apart, on the average,

(B) Low shrubs not to reach a height greater than three feet spaced no more than five feet apart, on the average, and

(C) Vegetative ground cover;

(d) If a fence or wall is required or proposed, it shall be located behind required landscaped strips where such strips are adjacent to a street;

(e) In parking areas three acres and larger intended for use by the general public, pedestrian walkways shall be raised or separated from parking, parking aisles, and travel lanes by a raised curb, concrete bumpers, bollards, landscaping, or other physical barrier. If a raised pathway is used, curb ramps shall be provided in accordance with the Americans with Disabilities Act Accessibility Guidelines.

Finding: The site proposes an off-street loading area; however, the off-street loading area does not provide 10 or more parking spaces and is therefore not required to include a minimum of 10 square feet of landscaping per parking space, per subsection (a), above. The loading area is not shown on the submitted plans to be separated from the lot line adjacent to Duniway Avenue by a landscaped strip at least 10 feet in width. The submitted narrative and plans do not indicate a fence or wall separating the loading area from Duniway Avenue. This standard can be met as conditioned below.

Condition: Prior to building permit approval, submit a revised site plan to the Gladstone Planning Department that demonstrates a minimum 10-foot-wide landscaped strip containing the materials listed in GMC 17.48.020(2)(c) in accordance with GMC 17.46.020(2)(b). Any fences or walls along this landscaped strip shall be located behind the required landscaped strip in accordance with GMC 17.46.020(2)(d).

(3) Irrigation. Provision shall be made for watering planting areas where such care is required.

(4) Maintenance Required. Landscaping shall be continuously maintained.

(5) Plant Species. The general characteristics of tree species shall be considered when planting under overhead utility lines or near sidewalks or curbs to assure that damage will not result when maturity is reached.

(6) Grading. The natural form of the site shall be preserved insofar as practicable unless berming or contouring of land is required.

(7) Public Rights-of-Way. Land within the public road right-of-way, not developed as sidewalks or driveways, shall be landscaped and maintained by the abutting property owners. Landscaping will be of the variety that would not create a road hazard or impair sight distance.

(8) Street Trees. Street tree planting may be required of any development and, if planted, shall be according to city requirements and of a species compatible with the width of the planting strip, and nearby street tree species.

(9) Exceptions. The following exceptions apply to properties with frontage on McLoughlin Blvd.:

(a) The use of sod along McLoughlin Blvd. shall be encouraged in landscape plans for development of McLoughlin Blvd.;

(b) The use of sod along McLoughlin Blvd. may be allowed in lieu of required street trees;

(c) The 10-foot-wide landscape strip along McLoughlin Blvd. may be allowed in the right-of-way if applicant agrees to relocate the 10-foot strip whenever the right-of-way is improved. This strip may be included in total landscape area calculations.

(10) Nonconforming Uses and Nonconforming Development. Additions or alterations to nonconforming uses and nonconforming development on a commercial or industrial site which does not comply with the landscaping requirements of this title must provide landscaping in a scale with the modification, as follows:

(a) Major remodeling, or structural additions of less than 1,000 square feet, require at least an additional three percent landscaping, up to the minimum landscaping requirements for new development in the district.

(b) Structural additions of 1,000 to 1,999 square feet are required to landscape at least an additional five percent of the developed site area, up to the minimum landscaping requirements for new development in the district.

(c) Structural additions of 2,000 to 4,999 square feet are required to landscape at least an additional 10 percent of the developed site area, up to the minimum landscaping requirements for new development in the district.

(d) Structural additions of 5,000 square feet or more are required to meet the current minimum landscape requirements for new development.

(e) Where successive structural additions occur the landscape requirement shall accumulate until total conformance is reached.

Finding: No details provided regarding landscaping irrigation or maintenance, overall plant species or street trees is provided. Sheet C3.00 identifies grading preserving the natural form of the site without berming or contouring of the land. There is no land within the public right-of-way that will not be developed. This site is not along McLoughlin Blvd. The proposed addition to the site exceeds 5,000 square feet and must therefore meet the current minimum landscaping standards, regardless of existing development on the site. These standards can be met as conditioned below.

Condition: Prior to building permit approval, submit a revised site plan to the Gladstone Planning Department that demonstrates landscaping irrigation and maintenance, overall plant species and street tree details, all of which shall comply with GMC 17.46.020(3)-(5) and (8).

Chapter 17.48 OFF-STREET PARKING AND LOADING

Chapter 17.48 of the GMC regulates off-street parking and loading for all development permits.

17.48.030 Standards for developments subject to design review.

At the time of construction, enlargement, or change of use of any structure or development subject to GMC Chapter 17.80 (Design Review), except as provided in the C-2 district, off-street parking spaces shall be provided as follows unless greater requirements are otherwise established under this title***

Finding: Oregon Administrative Rule 660-012-0440(3) states,

“(3) Cities and counties may not enforce parking mandates for developments on a lot or parcel that includes lands within one-half mile of frequent transit corridors, including:

- (a) Priority transit corridors designated under OAR 660-012-0710;
- (b) Corridors with bus service arriving with a scheduled frequency of at least four times an hour during peak service; and
- (c) Corridors with the most frequent transit route or routes in the community if the scheduled frequency is at least once per hour during peak service.

This site is within one-half mile of McLoughlin Blvd., a corridor with bus service arriving with a scheduled frequency of at least four times an hour during peak service. For this reason, the city may not mandate parking on this site. The developer has elected not to provide vehicle parking on this site and, as such, the provisions of 17.48.030 are not applicable to this development.

17.48.040 Design requirements for permanent off-street parking and loading.

1) Parking and Loading:

(a) Parking and loading areas shall be paved with asphalt and/or concrete meeting city standards, maintained adequately for all weather use and so drained as to avoid flow of water across public sidewalks;

(b) Off-street parking and loading areas shall be screened from abutting properties located in a residential zoning district unless such abutting properties are developed with nonresidential uses.

Required screening shall be accomplished by building placement, a landscaped earth berm or a sight-obscuring fence or hedge. Required screening shall be a minimum of six feet high and shall not conflict with GMC Chapter 17.54 (clear vision).

(c) Areas for standing and maneuvering vehicles, other than for the off-street parking and storage of truck tractors and/or semitrailers, shall be paved with an asphalt and/or concrete surface meeting city standards. The parking of truck tractors and/or semitrailers in off-street parking areas used exclusively for the parking and/or storage of said vehicles may be allowed utilizing a durable and dustless surface other than an asphalt and/or concrete surface. Such surface must be graded, compacted and surfaced in such a manner that it will adequately support these vehicles, including trailer standing gear, will not produce dust, will not produce tracking of mud or other materials onto adjoining streets or properties, and otherwise complies with other applicable provisions of this code.

Finding: It is unclear from the submitted plans if the loading area will be paved with concrete or asphalt. Gravel is noted for the loading bays; however, there is no indication that this meets the provisions of this section. Drainage is indicated on Sheet C3.00 and does not flow across the public sidewalk. There are no residential properties abutting the proposed loading area.

Condition: Prior to building permit approval, submit a revised site plan to the Gladstone Planning Department that demonstrates that the loading area is constructed of asphalt or concrete and meets the provisions of GMC 17.48.040(1).

(2) Parking***

Finding: No off-street parking is proposed or required with this development and, as such, the provisions of 17.48.040(2) are not applicable.

(3) Loading:

(a) A driveway designed for continuous forward flow of passenger vehicles for the purpose of loading and unloading passengers shall be located on the site of any school having a capacity greater than 25 students;

(b) Buildings or structures to be built or substantially altered which receive and distribute material or merchandise by truck shall provide and maintain off-street loading berths in sufficient numbers and size to adequately handle the needs of the particular use. If loading space has been provided in connection with an existing use or is added to an existing use, the loading space shall not be eliminated if elimination would result in less space than is required to adequately handle the needs of the particular use;

(c) Off-street parking areas used to fulfill the requirements of this section shall not be used for loading and unloading operations except during periods of the day when not required to take care of parking needs;

(d) Loading facilities shall be located at least 20 feet from residential property. Loading spaces shall be located on the site and directly accessible to the main structure.

(e) Exceptions and Adjustments. Loading areas within a street right-of-way in areas zoned mixed-use commercial in the C-2 zoning district may be approved when all of the following conditions are met:

N/A –LI Zoning District

Finding: The amount of loading on this site appears sufficient to support the particular needs of the use. This site is not a school, is not in C-2 zoning, is not within 20 feet of residential property and does not

propose shared vehicle parking and loading areas. This standard is met.

17.48.050 Bicycle parking standards.

(1) General Provisions.

(a) Applicability. *Standards for bicycle parking apply to full-site design review of new construction for multi-family residential (four units and larger) and new commercial/industrial developments. The Planning Commission may grant exemptions to bicycle parking requirements in connection with temporary uses or uses that are not likely to generate the need for bicycle parking.*

(b) Types of Spaces. *Bicycle parking facilities shall be provided in terms of short-term bicycle parking and long-term bicycle parking. Short-term bicycle parking is intended to encourage customers and other visitors to use bicycles by providing a convenient and readily accessible place to park bicycles. Long-term bicycle parking provides a weather-protected place to park bicycles for employees, students, residents, commuters, and others who generally stay at a site for at least several hours.*

(c) Minimum Number of Spaces. *All developments required to comply with this section shall provide a minimum five percent bicycle parking spaces based on the city's required minimum number of automobile parking spaces. In addition, the following applies:*

(A) *All development shall have a minimum two short-term bicycle parking spaces; and*

(B) *If more than seven bicycle parking spaces are required, at least 50 percent of the spaces shall be provided as long-term bicycle parking.*

(C) *Notwithstanding subsection (1)(a)(A) of this section, 100 percent of all bicycle parking spaces for multi-family development of four units and more shall be provided as long-term bicycle parking.*

(2) Location and Design.

(a) Short-Term Bicycle Parking. *Short-term bicycle parking facilities are lockers or racks that meet the standards of this section and that are located inside a building, or located outside within 30 feet of the main entrance to the building or at least as close as the nearest vehicle parking space, whichever is closer;*

(b) Long-Term Bicycle Parking. *Long-term bicycle parking includes:*

(A) *Racks, storage rooms, or lockers in areas that are secure or monitored (e.g., visible to employees or customers or monitored by security).*

(B) *Covered outside bicycle parking spaces that meet the requirements of subsection (2)(g) of this section and are located within 100 feet of an entrance to the building;*

(c) Signs. *If the bicycle parking is not visible from the street or main building entrance, then a sign conforming to the city's standards for on-site traffic control, GMC Section 17.52.060(1), shall be posted indicating the location of the parking facilities;*

(d) Rack Type and Dimensions.

(A) *Bicycle racks must hold bicycles securely by the frame and be securely anchored;*

(B) *Bicycle racks must accommodate:*

(i) *Locking the frame and one wheel to the rack with a high-security U-shaped shackle lock, or approved substitute; or*

(ii) *Locking the frame and both wheels to the rack with a chain or cable not longer than six feet;*

(C) *The Planning Commission may approve alternate bicycle racks provided they are convenient and secure;*

(e) *Bicycle parking spaces must be at least six feet long and two feet wide. An aisle five feet wide for bicycle maneuvering must be provided;*

(f) Areas set aside for required bicycle parking must be clearly marked and reserved for bicycle parking only;

(g) Covered Parking (Weather Protection).

(A) When required, covered bicycle parking shall be provided in one of the following ways: inside buildings, under roof overhangs or awnings, in bicycle lockers, or within or under other structures.

(B) Where required covered bicycle parking is not proposed to be located within a building or locker, the cover must be permanent and designed to protect the bicycle from rainfall and provide seven-foot minimum overhead clearance.

(C) Where required bicycle parking is provided in lockers, the lockers shall be securely anchored.

Finding: A short-term bicycle parking rack for 2 spaces is provided on the site plan to the west of the new warehouse, within 30 feet of the main entrance to the building. The details of the bicycle parking rack are not provided and therefore this standard can be met as conditioned below.

Condition: Prior to building permit approval, submit a revised site plan to the Gladstone Planning Department that demonstrates that the two short-term bicycle parking spaces meet the design standards of GMC 17.48.050(2).

Chapter 17.50 VEHICULAR AND PEDESTRIAN CIRCULATION

17.50.010 Applicability. Vehicular and pedestrian circulation standards shall apply to all land divisions and to all development that is subject to design review.

Finding: The provisions of Chapter 17.50 apply to this design review application.

17.50.020 Vehicular and pedestrian circulation generally.

Vehicular and pedestrian circulation facilities, including walkways, provisions for the handicapped, interior drives and parking as provided under GMC Chapter 17.48 (off-street parking and loading), shall be designated as follows:

(1) Impervious Surface. Provide for least amount of impervious surface necessary to adequately serve the type and intensity of proposed land uses within developments as well as providing adequate access for service vehicles.

(2) Traffic Separation. Provide when feasible, a separation of motor vehicular, bicycle and pedestrian traffic.

(3) Curbs and Sidewalks. Provide curbs, associated drainage, and sidewalks within the right-of-way or easement for public roads and streets.

(4) Traffic Volume Expansion. Provision shall be made to accommodate any increased volume of traffic resulting from the development consistent with GMC Section 17.50.050. If streets adjacent to or serving the site are inadequate, widening, dedication of property for future widening, or other street improvements may be required. The development shall be designed to minimize traffic volume increases on minor streets and underdeveloped streets.

(5) Handicapped Needs. Provide for the special needs of the handicapped such as wheelchair ramps and Braille signs.

(6) Pedestrian Circulation Standards. An on-site pedestrian circulation system shall be provided for new nonresidential and multi-family developments and for new buildings added to existing nonresidential and multi-family developments. The system may include sidewalks as part of the

public rights-of-way, walkways, and multi-use paths. (Walkways only provide for pedestrian circulation; multi-use pathways accommodate pedestrians and bicycles.) The system shall comply with the following standards:

(a) The system shall connect all adjacent streets to the main entrances of nonresidential buildings and to unit and/or building entrances of multi-family developments;

(b) The system shall connect all buildings and other areas of the site, such as parking areas, bicycle parking, recreational areas, common outdoor areas and any pedestrian amenities;

(c) The system shall be hard-surfaced and constructed in accordance with the public works standards. For nonresidential development, the walkways shall be a minimum of six feet wide. For multi-family residential development, walkways shall be a minimum of five feet wide;

(d) The system and off-street parking and loading areas shall be designed to avoid, to the maximum extent possible, the system's crossing off-street parking and loading areas. Where the system crosses driveways or off-street parking and loading areas, the system shall be clearly identifiable through the use of elevation changes, speed bumps, a different paving material or other similar method. Striping shall not fulfill this requirement;

(e) Where the system is parallel and adjacent to an auto travel lane, the system shall be a raised path or be separated from the auto travel lane by a raised curb, bollards, landscaping or other physical barrier. If a raised path is used, the ends of the raised portions shall be equipped with curbsramps;

(f) The system shall comply with the Americans with Disabilities Act (ADA);

(g) Walkways or multi-use paths shall be provided at or near midblock where the block length exceeds the length required by GMC Section 17.64.020. Multi-use paths shall also be provided where cul-de-sacs or dead-end streets are planned, to connect the ends of the streets together, to other streets, and/or to other developments, as applicable. Multi-use paths used to comply with these standards shall conform to all of the following criteria:

(A) Multi-use paths are required to be no less than 10 feet wide and located within a 20-foot-wide right-of-way or easement that allows access for emergency vehicles.

(B) The city may require landscaping within the pathway easement/right-of-way for screening and the privacy of adjoining properties.

(C) The Planning Commission may determine, based upon facts in the record, that a walkway or multi-use pathway is impracticable due to: physical or topographic conditions (e.g., freeways, railroads, extremely steep slopes, sensitive lands, and similar physical constraints); buildings or other existing development on adjacent properties that physically prevent a connection now or in the future, considering the potential for redevelopment; and sites where the provisions of recorded leases, easements, covenants, restrictions, or other agreements recorded as of the effective date of this code prohibit the pathway connection.

Finding: The submitted narrative and site plan do not demonstrate pedestrian connectivity. While the proposed use is unlikely to generate a great number of pedestrian customer trips, the site will have employees, customers or other visitors who, if arriving by vehicle will park on the street or if arriving on foot will arrive on the public sidewalk, and who will need safe entry to the building. This standard can be met as conditioned.

Condition: Prior to building permit approval, submit a revised site plan to the Gladstone Planning Department that demonstrates a pedestrian pathway a minimum 6-feet in width meeting the standards of the Americans with Disabilities Act (ADA) connecting the public sidewalk along Duniway Avenue with the main entry on the west end of the building. Such pedestrian pathway shall meet the

provisions of GMC 17.50.020(6)(a)-(f).

(7) Proposed new industrial, institutional, multi-family retail and office developments requiring full site design review that are adjacent to or incorporate transit streets shall provide transit improvements at any existing or planned transit stop located along the site's frontage consistent with the transit operator's adopted long-range plan.

(a) Transit facilities include bus stops, shelters, and related facilities. Required transit facility improvements may include the dedication of land or the provision of a public easement.

(b) Development shall provide reasonably direct pedestrian connections between building entrances and adjacent transit facilities and between buildings on the site and streets with adjoining transit stops.

(c) Improvements at Major Bus Stops. A proposed development that is adjacent to or includes an existing or planned major bus stop will be required to plan for access to the transit stop and provide for transit improvements, in consultation with TriMet and consistent with an agency adopted or approved plan at the time of development.

(A) Major bus stops are identified as part of the regional transit system and depicted in the Gladstone transportation system plan transit plan as "major bus stops."

(B) Requirements apply where the subject parcel(s) or portions thereof are within 200 feet of a transit stop. Development requirements and improvements may include the following:

(i) Intersection or mid-block traffic management improvements to allow for pedestrian crossings at major transit stops.

(ii) Building placement within 20 feet of the transit stop, a transit street or an intersection street, or a pedestrian plaza at the stop or at street intersections.

(iii) Transit passenger landing pads accessible to disabled persons to transit agency standards.

(iv) An easement or dedication for a passenger shelter and an underground utility connection to a major transit stop if requested by TriMet.

(v) Lighting to TriMet standards.

(d) Any land divisions where further divisions are possible and multiple-family developments, community services uses, and commercial or industrial uses located on an existing or future planned frequent bus route shall meet the TriMet transit facility requirements. Applicants shall consult with TriMet to determine necessary transit facility improvements in conjunction with the proposed development. Proposals shall be consistent with the road crossing improvements that are identified in the transportation system plan on streets with existing or planned transit service.

Finding: There is no existing or planned transit stop along the site's frontage. Therefore, this standard is not applicable.

17.50.030 Streets and roads generally.

(1) The location, width and grade of streets shall be considered in their relation to existing and planned streets, to the topographical conditions, to public convenience and safety, and to the proposed use of land to be served by the streets. The street system shall assure an adequate traffic or circulation system with intersection angles, grades, tangents and curves appropriate for the traffic to be carried considering the terrain. Where location is now shown in a development plan, the arrangement of streets shall either:

(a) Provide for the continuation or appropriate projection of existing principal streets in surrounding areas; or

(b) Conform to a plan for the neighborhood approved or adopted by the Planning Commission to meet

a particular situation where topographical or other conditions make continuance or conformance to existing streets impractical.

(2) For new residential and mixed-use development on vacant land of five acres or more in the R-5, R-7.2, MR and C-2 zoning districts, street connections and access ways shall be provided as follows:

(a) Full street connections shall be provided at intervals that are consistent with the adopted transportation system plan for the identified street classification, except where prevented by topography, barriers such as railroads or freeways, or environmental constraints such as major streams and rivers;

(b) Access ways for pedestrians, bicycles or emergency vehicles shall be provided on public easements or right-of-way where full street connections are not possible, with spacing between full streets or access way connections of not more than 330 feet, except where prevented by topography, barriers such as railroads or freeways, or environmental constraints such as major streams and rivers;

(c) A variance to street spacing standards may be granted pursuant to GMC Chapter 17.72 if resources are present that are mapped on the Natural Resources Map, where street spacing can be achieved at a minimum of 800 feet and no greater than 1,200 feet. Where habitat quality or the length of the crossing required prevents a full street connection, an exception to the street spacing standards may be granted, pursuant to GMC Chapter 17.72.

17.50.040 Street and road standards.

The design and improvement of streets within a development and streets adjacent but only partially within the development shall comply with improvement specifications adopted pursuant to GMC Section 17.42.030 and with the following standards:

(1) Right-of-Way and Roadway Widths.

(a) Minimum right-of-way and roadway widths shall conform to the standards found in Table 16 of the Gladstone transportation system plan, consistent with a street's functional classification.

(b) The street cross-sections found in the Gladstone transportation system plan may be modified to accommodate alternative stormwater management methods subject to the approval of the Public Works Supervisor. The Public Works Supervisor may require modification of the typical cross section to accommodate alternative stormwater management methods when associated with development proposals. Such modifications may be applied as conditions of development approval.

(2) Alignment. All streets other than minor streets or cul-de-sacs, as far as practical, shall be in alignment with existing streets by continuations of the center lines thereof. The staggering of street alignments resulting in T intersections shall, wherever practical, leave a minimum distance of two hundred feet between the center lines of streets having approximately the same direction and otherwise shall not be less than 100 feet.

(3) Future Extension of Streets. Where necessary to give access to or permit a satisfactory future subdivision of adjoining land, streets shall be extended to the boundary of the subdivision. The point where the streets temporarily end shall conform to the standards below:

(a) Extended streets or street stubs to adjoining properties are not considered to be cul-de-sacs since they are intended to continue as through streets when the adjoining property is developed.

(b) A barricade (e.g., fence, bollards, boulders, or similar vehicle barrier) shall be constructed at the end of the street by the subdivider and shall not be removed until authorized by the city or

other applicable agency with jurisdiction over the street.

(c) Temporary turnarounds (e.g., hammerhead or bulb-shaped configuration) shall be constructed for stub streets over 150 feet in length.

(d) Temporary turnarounds shall be formed as an easement and will not affect building setback lines. The removal of a temporary turnaround shall occur when the street is extended and shall be paid for

by the person extending the street. Reserve strips (street plugs) may be required to preserve the objectives of street extensions.

(e) In the case of dead-end stub streets that will connect to streets on adjacent sites in the future, notification that the street is planned for future extension shall be posted on the stub street until the street is extended and shall inform the public that the dead-end street may be extended in the future.

(4) Reserve Strips. Reserve strips or street plugs controlling the access to streets will not be approved unless necessary for the protection of the public welfare or of substantial property rights and in these cases they may be required. The control and disposal of the land composing such strips shall be placed within the jurisdiction of the city under conditions approved by the Planning Commission.

(5) Intersection Angles. Streets shall be laid out to intersect at angles as near to right angles as practical, except where topography requires lesser angles, but in no case less than 60° unless a special intersection design is approved. Streets shall have at least 50 feet of tangent adjacent to intersections unless topography requires lesser distances. Intersections which are not at right angles shall have minimum corner radii of 15 feet along right-of-way lines which form acute angles. Right-of-way lines at intersections with arterial streets shall have minimum curb radii of not less than 35 feet. Other street intersections shall have curb radii of not less than 20 feet. All radii shall maintain a uniform width between the roadway and the right-of-way lines. Ordinarily, the intersection of more than two streets at any one time will not be allowed.

(6) Existing Streets. Whenever existing streets adjacent to or within a tract are of inadequate widths, additional right-of-way shall be provided at the time of development.

(7) Cul-de-sacs and Hammerheads. The use of cul-de-sac designs and closed-end street systems shall be limited to situations where topography, existing development, barriers such as railroads or freeways, or environmental constraints such as major streams and rivers prevent full street extensions. If cul-de-sacs are used, they shall be as short as possible and shall have maximum lengths of 200 feet except where topography, existing development, barriers such as railroads or freeways, or environmental constraints such as major streams and rivers prevent full street extensions. Closed-end street systems shall serve no more than 25 single-family dwellings and terminate with adequate vehicle turnaround.

(8) Street Names. No street names shall be used which will duplicate or be confused with the names of existing streets. Street names and numbers shall conform to the established pattern in or near the city and shall be subject to the approval of the Planning Commission.

(9) Grades and Curves. Grades shall not exceed 10 percent on major or minor arterials, 15 percent on connector streets, or twenty percent on any other street unless specifically approved. In fault areas, finished street grades shall have a minimum slope of 0.5 percent. Center line radii of curves shall not be less than 300 feet on major arterials, 200 feet on minor arterials, or 100 feet on other streets. On arterials there shall be a tangent of not less than 100 feet between reversed curves.

(10) Marginal Access Streets. Where a land division abuts or contains an existing or proposed arterial street, the Planning Commission may require marginal access streets, reverse frontage lots with suitable depth, screen planting contained in a nonaccess reservation along the rear or side property line, or such other treatment as may be necessary for adequate protection of residential

properties and for separation of through and local traffic.

(11) **Alleys.** Alleys may be provided in commercial and industrial districts unless other permanent provisions for access to off-street parking and loading facilities are made as approved by the Planning Commission. While alley intersections and sharp changes in alignment shall be avoided, the corners of necessary alley intersections shall have radii of not less than 10 feet.

(12) **Private Streets.** Private streets may serve development where a finding can be made that such streets are of adequate width, alignment, grade and restricted length to afford the same degree of public safety as public streets and that extension of the public street system is impractical due to lot size or shape, topography, the location of existing structures to be retained or other similar circumstances and where no more than six dwelling units will take access from the private streets. In no case shall a private street be less than 20 feet in width. Greater width may be required where necessary to provide for public safety, accommodate traffic volume, or provide for underground utilities. A street maintenance agreement, acceptable to the city and duly recorded, shall be required.

(13) **Painting of Curbs and Sidewalks.** Except where required for safety purposes or for the identification of house numbers, painting of curbs and sidewalks is prohibited. All such painting must be approved by the city.

(14) **Curbs and Driveways.** Curb cuts and driveway installations shall be installed, according to city standards.

(15) **Sidewalks.** Sidewalks shall be installed on both sides of a public street and at any special pedestrian way within a development. The Planning Commission may approve a development with sidewalks on one side only of a local street if special site conditions exist or if alternative pedestrian routes are available, or if the proposed sidewalk is not likely to become part of a complete pedestrian route in the foreseeable future.

(16) **Bicycle and Pedestrian Routes.** Bicycle/pedestrian routes shall be required when consistent with Map 5 of the comprehensive plan and when necessary to provide a system of interconnecting walkways and safe, convenient access to a transit stop for a school, park, church, day care center, library, commercial center, community center or similar facility. Separate bicycle/pedestrian ways not located in a street right-of-way shall include a 10-foot wide paved surface within a 12-foot wide right-of-way, unless conditions warrant otherwise and shall be illuminated as required in GMC Section 17.44.020(6).

(17) **Street Signs.** Street name signs shall be installed at all street intersections. Specifications for signs shall be submitted and approved prior to their erection.

(18) **Street Lights.** Street lights shall be installed and shall be served from an underground source of supply.

(19) **Storm Sewers.** Catch basins shall be installed and connected to drainage tile leading to storm sewers or drainage ways.

(20) **Monuments.** Upon completion of street improvements, monuments shall be reestablished and protected in monument boxes at every street intersection and all points of curvature and points of tangency of street center lines. Elevation bench marks shall be established at each street intersection monument with elevations to U.S. Geological Survey datum. All lot corners will be marked by a metal rod.

Finding: The Public Works Comments dated 10.10.23 identify the following regarding public streets and right-of-way:

1. Lighting. Street lighting along the Portland Avenue and Duniway Avenue frontage is adequate for the development of the site. No further lighting analysis is required.

2. Sidewalks and ADA. Sidewalks along Portland Avenue and Duniway Avenue shall be installed to conform to current City of Gladstone and ADA PROWAG standards. New sidewalks shall be constructed as follows:

- The project shall install curb ramps at the curb return from Portland Avenue to Duniway Avenue that comply with ADA PROWAG standards. The existing utility pole at the intersection may have to be moved to accommodate the new improvements. If the existing utility pole can not be moved, or the applicant chooses not to move the pole, the existing curb ramp on the Civic Center side of the street may have to be reconstructed for the intersection to conform to PROWAG standards.
- The sidewalk on Portland Avenue shall match the width of the sidewalk to the north, with a 5-foot minimum width. The sidewalk shall be placed curb tight, like the sidewalk to the north.
- The sidewalk on Duniway Avenue shall be 6-feet in width and curb-tight, matching the width and the location of the sidewalk to the west. Where the sidewalk swings around objects, the width of the sidewalk shall not be reduced.
- New sidewalks shall have a scoring pattern conforming to City of Gladstone Public Works Standards.

3. Streets. The proposed development shall address all street improvement requirements of the Gladstone Public Works Design Standards. New street improvements shall be constructed as follows:

- Curbing along Portland Avenue and Duniway Avenue shall conform to existing improvements at the ends of the project.
- On Portland Avenue, the street shall be widened with a concrete curb installed to match the curb alignment of the curb in front of the Civic Center.
- On Duniway Avenue, half street improvements will be required. The new concrete curb line in front of this site shall be installed 34-feet from the existing curb in front of the Civic Center. The curb profile shall match the southern curb line in front of the Civic Center. New driveway curb cuts shall be constructed to commercial approach standards.
- On Duniway Avenue, the applicant is requesting two driveway curb cuts having throat widths of 68 feet and 22 feet. Typically, one driveway curb cut is permitted per lot, with a maximum width of 36 feet (measured from top of wing to top of wing). There are multiple Public Works Department Design Standards not being met with the two driveways proposed by the applicant:
 - i. 5.070.D.2 – The maximum curb cut width shall be 36 feet.
 - ii. 5.0070.D.3.c – The minimum distance between any two curb cuts on the same lot on local street is 30 feet.
 - iii. 5.0070.D.4 – Curb cuts shall be kept to a minimum; consolidation of driveways is preferred.
 - Requested deviations from the Public Works Design Standards (a Design Modification) shall be submitted to the Public Works Director in writing. For each standard not being met, the applicant shall note the standard, the reason why a Design Modification is necessary, and how the deviation from the design standard has been minimized to the extent possible. The Public Works Director may approve or deny requests for Design Modifications or may agree to relax certain applicable standards on a case-by-case basis. It is recommended that requests for Design Modifications be submitted to the Public Works Director as soon as possible, & prior to submittal of construction plans.
 - In no case will any portion of a vehicle backed into the loading docks be allowed to overhang the Duniway Avenue sidewalk.

- The construction plans for the project shall include a plan demonstrating the necessary turning movements for the size of truck to be used by the applicant. The turning movements shall demonstrate how the design vehicle will be able to back into the project when the parallel parking stalls on the southern side of Duniway Avenue are occupied.
- Street trees are required to be installed along the Portland Avenue and Duniway Avenue frontages.
- The trees may be behind the sidewalk but shall be in front of the loading area. Tree spacing shall be as required by the Municipal Code.
- It is the applicant's responsibility to relocate mailboxes, signage, and utilities that may interfere with new right-of-way improvements.
- The applicant may be required to install new signage and/or pavement markings. Signage and pavement markings shall conform to the requirements of the MUTCD and the Gladstone Public Works Design Standards.
- Prior to any work in the right-of-way, a City Right-of-Way Permit will be required from Public Works.

4. Easements.

- Any backflow prevention vault shall be completely contained in a public water easement.
- Public utility easements 8 feet in width shall be granted along the street frontages. Where existing or approved structures reduce the width available, a reduced width is acceptable.
- Easements shall be prepared using an approved City of Gladstone easement form. A copy of the recorded easement shall be provided to City of Gladstone Public Works prior to the pre-construction meeting.

5. Right-of-way Dedication. Adequate right-of-way shall be dedicated at the intersection of Portland Avenue and Duniway Avenue so that the new sidewalk improvements will be located within the public right-of-way.

Condition: Prior to building permit approval, the applicant shall submit plans detailing the installation of public and private utilities and infrastructure, as detailed in the Public Works Comments dated 10.10.23 in compliance with the Provisions of GMC 17.50.030 and 17.50.040.

17.50.050 Traffic impact analysis (TIA).

Finding: The proposal does not meet the city's threshold for requirement of a Traffic Impact Analysis and, as such, this standard is not applicable to the proposal.

Chapter 17.52 SIGNS

Finding: Sign designs for the replacement of the current signs, or any additional signage, was not included in the application. This standard is not applicable to the proposal and all future signs will be required to obtain a sign permit meeting the provisions of GMC 17.52.

Chapter 17.54 CLEAR VISION

17.54.020 Clear vision area.

(1) Obstruction Prohibited. On property at any corner formed by the intersection of two streets, or a street and a railroad, it is unlawful to install, set out or maintain, or to allow the installation, setting out or maintenance of any sign, fence, hedge, shrubbery, natural growth or other obstructions to the view higher than three feet above the level of the center of the adjacent intersection with that triangular area between the property line and a diagonal line joining points on the property lines at the distance from the intersection specified in this regulation. In the case of rounded corners, the triangular areas shall be between the lot lines extended in a straight line to a point of intersection and so measured, and a third side which is a line across the center of the lot joining the nonintersecting ends of the other two sides. The following measurements shall establish clear-vision areas:

Right-of-Way (in feet)	Measurement Each Lot Line (in feet)
80'	20'
60'	30'
50' or less	40'

(2) Exceptions. Provisions set out in Subsection (1) of this section shall not apply to:

(a) Public utility poles; trees trimmed (to the trunk) to a line at least eight feet (8') above the level of the intersection; provided, that the remaining limbs and foliage of the trees must be trimmed as to leave, at all seasons, a clear and unobstructed cross-view of the intersection; saplings, or plant species of open growth habits and not planted in the form of a hedge, which are so planted and trimmed as to leave at all seasons a clear and unobstructed cross-view of the intersection, supporting members of appurtenances to permanent buildings existing on the date when this ordinance in this Chapter becomes effective; official warning signs or signals; places where the contour of the ground is such that there can be no cross-visibility at the intersection; or to signs mounted ten or more feet above the ground and whose supports do not constitute an obstruction as described in Subsection (1) of the section.

(b) At a driveway serving a parking lot with capacity of more than eight automobiles and at corners of an intersection of a street controlled by stop signs or a traffic signal if the street intersection or driveway has an unobstructed sight distance specified in a 2001 publication titled "A Policy on Geometric Design of Highways and Streets" prepared by the American Association of State Highway and Transportation Officials (AASHTO), summarized in the table below; however, the Planning Commission may approve a driveway location with less than minimum intersection sight distance if no other suitable location is available:

Posted Speed Limit	Minimum Intersection Sight Distance
20	225 ft.
25	280 ft.
30	335 ft.
35	390 ft.
40	445 ft.
45	500 ft.

Finding: The applicant does not propose structures or sight-interfering vegetation within the clear vision areas. The proposed building (warehouse) does not impact this minimum sight distance. The

applicant has indicated that the permitted residence is partially located within the clear vision triangle; however, the fencing at the corner of Portland Ave and Duniway Ave will be replaced with fencing at a maximum of 3' in height meeting this standard. This standard is met.

Chapter 17.56 DRAINAGE

17.56.020 Standards.

Adequate provisions shall be made to ensure proper drainage of surface waters, to preserve natural flow of watercourses and springs and to prevent soil erosion and flooding of neighboring properties or streets. Such provisions shall include but not be limited to the following:

(1) Generally. All development shall be planned, designed, constructed and maintained to:

(a) Protect and preserve existing drainage channels to the maximum practicable extent;

(b) Protect development from flood hazards;

(c) Provide a system by which water within the development will be controlled and managed without causing damage or harm to the natural environment, or to property or persons within the drainage basin;

(d) Assure that waters drained from new or redevelopment sites are substantially free of pollutants, including sedimentary materials, through the use of stormwater treatment facilities as referenced herein and appropriate erosion and sediment control practices;

(e) Assure that runoff drained from new and redevelopment sites is managed in accordance with criteria outlined in the City of Gladstone Stormwater Treatment and Detention Standards as to not cause erosion to any greater extent than would occur in the absence of development;

(f) Avoid placement of surface detention or retention facilities in road rights of way.

(2) Watercourses. Where culverts cannot provide sufficient capacity without significant environmental degradation, the city may require the watercourse to be bridged or spanned.

(3) Easements. In the event that a development or any part thereof is traversed by any watercourse, channel, stream or creek, gulch or other natural drainage channel, adequate easements for storm drainage purposes shall be provided to the city. This does not imply maintenance by the city.

(4) Obstructions. Channel obstructions are not allowed, except as approved for the creation of a detention or retention facility. Fences with swing gates may be utilized.

(5) Surface Drainage and the Storm Sewer System.

(a) Stormwater treatment and detention facilities shall be designed and installed in accordance with criteria outlined in the Gladstone Public Works Design Standards and the Gladstone Public Works Standard Construction Specifications.

(b) The street cross-sections found in the Gladstone transportation system plan may be modified to accommodate alternative stormwater management methods subject to the approval of the Public Works Supervisor. The Public Works Supervisor may require modification of the typical cross section to accommodate alternative stormwater management methods when associated with development proposals. Such modifications may be applied as conditions of development approval.

Finding: The subject property does not contain any known drainage ways, floodplains, or watercourses. The Public Works comments dated 10.10.23 identify the following regarding storm drainage:

Storm Drainage. The proposed development shall meet all storm drainage design requirements pursuant to the Gladstone Public Works Design Standards. Private storm drainage improvements onsite shall be permitted through Clackamas County Building Department. New storm drainage improvements shall be constructed as follows:

- A public catch basin shall be installed on Portland Ave. uphill of the curb return.
- On Duniway Avenue, the catch basin at the sag curve in the street shall be removed and a new inlet shall be installed to match the new curb line.
- On Duniway Avenue, existing catch basins that will not be located within the pavement area of the street shall be removed. If a catch basin structure acts as a junction and needs to remain, a manhole or junction box having a solid lid shall be installed in place of the existing catch basin.
- A storm drainage analysis and report shall be submitted to City of Gladstone Public Works for review and approval demonstrating how the proposed storm water quality, quantity, infiltration, and conveyance systems are meeting the requirements of the Gladstone Public Works Design Standards.
- Due to a downstream deficiency noted in the Storm Drainage Master Plan, the water quantity detention requirements for this site will be as follows:
 - i. Reduce the 2-year, 24-hour post development peak runoff rate to 50% or less of the 2-year, 24-hour pre-development peak runoff rate.
 - ii. Reduce the 25-year, 24-hour post development peak runoff rate to equal or less than that of the 2-year, 24-hour pre-developed peak runoff rate.
- The applicant will be responsible for maintaining the water quality and quantity systems for this project and shall complete & record a Storm Water Facilities Maintenance Agreement. The document shall be submitted to Gladstone Public Works for review, adjusted if necessary, and then recorded with Clackamas County. A copy of the recorded document shall be submitted to Gladstone Public Works prior to the Certificate of Occupancy being issued.

Condition. Prior to building permit approval, the applicant shall submit plans detailing the installation of public and private utilities and infrastructure, as detailed in the Public Works Comments dated 10.10.23 in compliance with the Provisions of GMC 17.56.020.

Chapter 17.58 GRADING AND FILL

17.58.020 General provisions.

(1) Grading of Building Sites. Grading and fill of building sites shall conform to Chapter 70 of the Uniform Building Code. The character of soil for fill and the characteristics of lots and parcels made usable by fill shall be suitable for the purpose intended. When deemed necessary, the building official may require geological studies to determine the suitability of the site.

(2) U.B.C. Requirements. The building official shall enforce Chapter 70 of the U.B.C. and shall require soils reports and/or engineering studies before issuing a building permit for fill, excavation, construction or related activities involving soils with restrictive features such as instability, wetness, flooding or other limitations.

Finding: Any applicable Building permits and grading permits are required to ensure the requirements in the Uniform Building Code, or current predecessor, will be met through the building permit review process. This criterion is met with the standard building permit condition identified previously.

Chapter 17.60 UTILITIES

17.60.020 Standards.

Utility services and facilities shall be appropriate to the scale and type of development and

consideration shall include, but not be limited to the following standards:

(1) Site Disturbance. *The location, design, installation and maintenance of all utility lines and facilities shall be carried out with minimum feasible disturbances of soil and site.*

(2) Electricity. Gas. Communications. *All development which has a need for electricity, gas and communications services shall install them pursuant to the requirements of the district or company servicing the development. Except where otherwise prohibited by the utility district or company, all such facilities shall be underground.*

(3) Underground Facilities. *The developer shall make necessary arrangements with utility companies or other persons or corporations affected for the installation of underground lines and facilities. Electrical lines and other wires, including but not limited to communication, street lighting and cable television, shall be placed underground.*

(4) Sanitary Sewers. *All development which has a need for sanitary sewers shall install the facilities.*

(5) Water Services. *All development which has a need for water service shall install water facilities and grant necessary easements pursuant to the requirements of the utility district serving the development. In addition, requirements for development shall include the following:*

(a) Water lines to serve residential developments shall be a minimum six inch (6") nominal diameter and water lines to service commercial and industrial developments shall be a minimum eight inch nominal diameter with valves and fire hydrants serving each building site in the development and connecting the development to city mains shall be installed. Prior to starting building construction, the design shall take into account provisions for extension beyond the development and to adequately grid the city system. Hydrant spacing to be based on accessible area served according to A.I.A. recommendations and as approved by the Fire Chief;

(b) If the city determines that a water line size greater than the required minimum in diameter is required to provide for future extension of the water system, the city will reimburse the developer the difference in cost of pipe and valves between that of the minimum diameter and the size stipulated by the city.

(6) Coordination with Street Surfacing. *All underground utilities, sanitary sewers and storm drains installed in streets by the developer or by any utility company shall be constructed prior to the surfacing of the streets. Stubs for service connections for underground utilities and sanitary sewers shall be placed to a length minimizing the necessity for disturbing the street improvements when service connections are made.*

(7) As-Built Submittals. *A map showing all public improvements, as built, shall be filed with the city engineer upon completion of the improvements.*

(8) Conditions for Refund to Developer.

(a) If required water mains or sewer facilities will without further construction other than individual laterals, directly serve properties outside the development, the city may enter into an agreement with the developer to require owners of the other benefiting properties to refund to the developer, a pro rata portion of the cost of the extension prior to allowing the benefiting property to connect thereto;

(b) Any such agreement shall contain a provision that the developer agrees to completely indemnify and hold harmless the city for any claim or injury or action arising from the city's administration of such agreement;

(c) The right to require such a refund shall not continue for more than 10 years after the date of installation of the extension;

(d) The amount to be refunded and the individual proration of the same shall be determined by the city and such determination shall be final.

Finding: The Public Works Comments dated 10.10.23 identify the following regarding water and sanitary sewer:

1. Water. The proposed development shall meet all water system requirements pursuant to the requirements of the Gladstone Public Works Design Standards. With the widening of Duniway Avenue, the existing water meter boxes shall be moved to the proper location behind the curb per Std. Dwgs. 402 or 403. Water meter sizing calculations will be required to verify that the water meter(s) are adequately sized to serve the proposed development. These calculations are typically based on a fixture count and shall be submitted to the City at the time of plan review. Backflow prevention devices in underground vaults will be required for fire mains and oversized water services. Public water easements will be required around fire main vaults on private property.

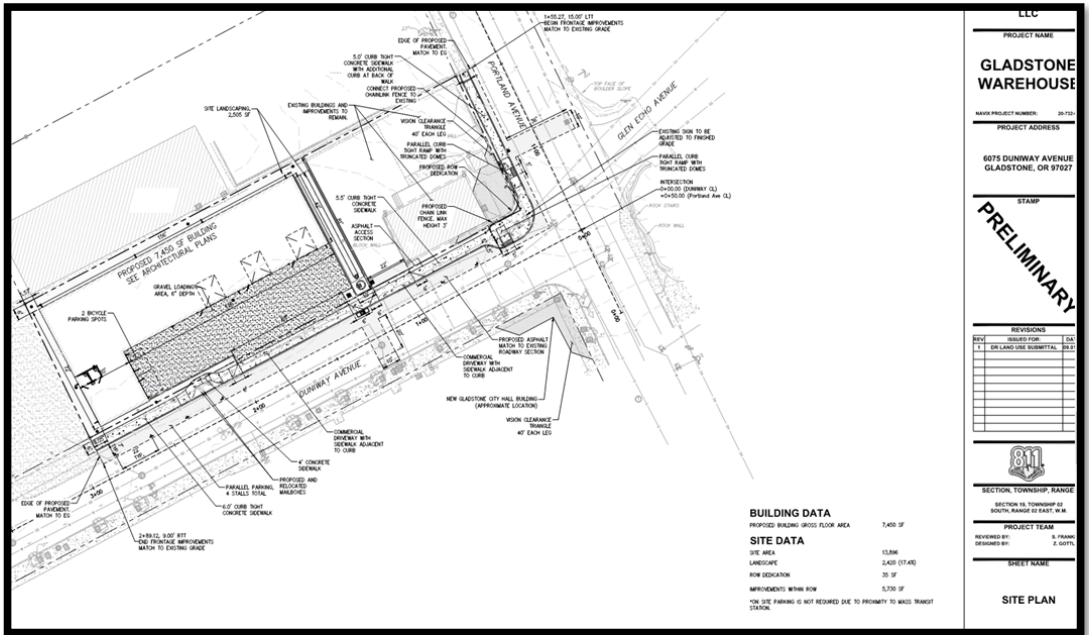
2. Sanitary Sewer. The proposed development shall meet all sanitary sewer requirements pursuant to the Gladstone Public Works Design Standards. The existing sanitary sewer lateral shall have a cleanout installed in the sidewalk, or at the back of sidewalk, to designate the dividing point between public and private maintenance responsibility. The existing sanitary sewer lateral condition shall be verified by television inspection. A copy of the inspection shall be submitted to the Public Works Department for review. Following review, if the existing sewer lateral is determined to be in poor condition by City of Gladstone Public Works, the sewer lateral shall be repaired or replaced to the current standards of the City of Gladstone. The new sanitary sewer lateral shall be installed consistent with City of Gladstone standards and shall have a cleanout installed in or at the back of the new sidewalk.

Condition. Prior to building permit approval, the applicant shall submit plans detailing the installation of public and private utilities and infrastructure, as detailed in the Public Works Comments dated 10.10.23 in compliance with the Provisions of GMC 17.60.020.

As such, the Planning Staff are recommending the Planning Commission APPROVE the Design Review Application DR-23-06 as conditioned.

Pursuant to Section 17.92.020 of the Gladstone Municipal Code, the decision of the Planning Commission may be appealed to the City Council within 15 days of the mailing of the Planning Commission's written decision. In order to appeal a decision of the Planning Commission, a party must have appeared orally or in writing before the Planning Commission. The filing fee for the appeal is \$250.00. If no appeal is filed within 15 days, the decision of the Planning Commission shall be final.

EXHIBITS- Site and Utility Plan and Proposed Building Elevations



LLC

PROJECT NAME
GLADSTONE WAREHOUSE

MAXIMUM PROJECT NUMBER: 30170

PROJECT ADDRESS
6075 DUNWAY AVENUE
GLADSTONE, OR 97027

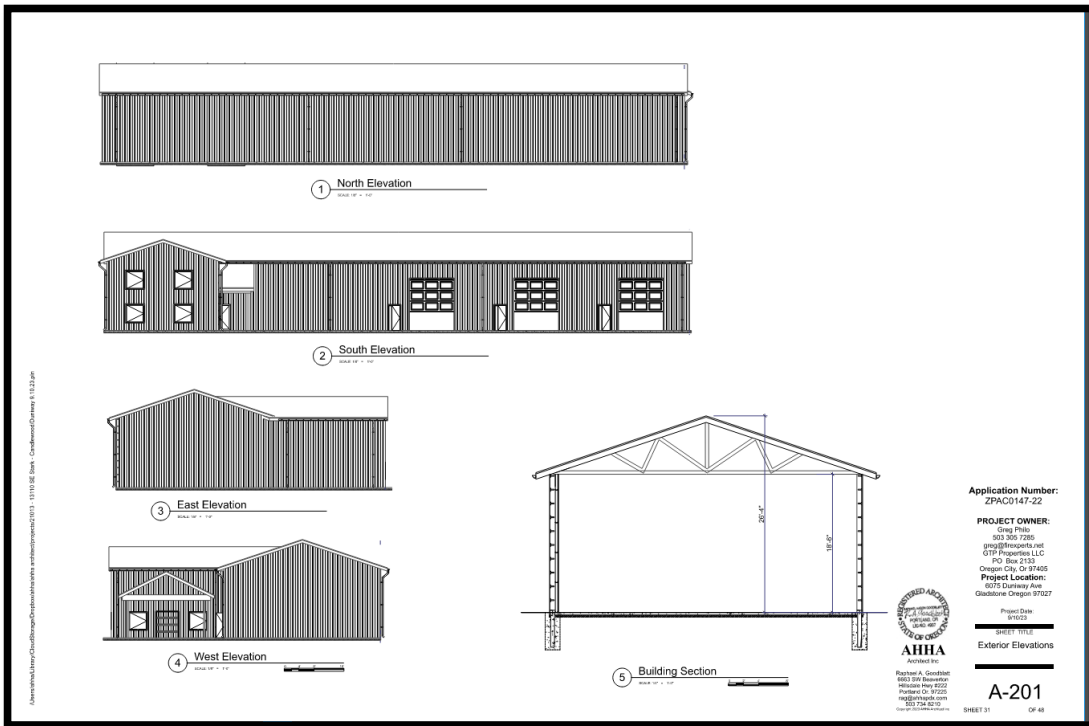
STAMP
PRELIMINARY

REVISIONS		
NO.	DESCRIPTION FOR	DATE
1	DEVELOPER SUBMITTAL	03/13

SECTION, TOWNSHIP, RANGE
SECTION 16, TOWNSHIP 33
RANGE 02 EAST, N.W. 1/4

PROJECT TEAM
REVIEWED BY: S. PARRIS
DRAWN BY: S. GORTS

SHEET NAME
SITE PLAN





1. **Lighting.** Street lighting along the Portland Avenue and Duniway Avenue frontage is adequate for the development of the site. No further lighting analysis is required.
2. **Sidewalks and ADA.** Sidewalks along Portland Avenue and Duniway Avenue shall be installed to conform to current City of Gladstone and ADA PROWAG standards. New sidewalks shall be constructed as follows:
 - The project shall install curb ramps at the curb return from Portland Avenue to Duniway Avenue that comply with ADA PROWAG standards. The existing utility pole at the intersection may have to be moved to accommodate the new improvements. If the existing utility pole can not be moved, or the applicant chooses not to move the pole, the existing curb ramp on the Civic Center side of the street may have to be reconstructed for the intersection to conform to PROWAG standards.
 - The sidewalk on Portland Avenue shall match the width of the sidewalk to the north, with a 5-foot minimum width. The sidewalk shall be placed curb tight, like the sidewalk to the north.
 - The sidewalk on Duniway Avenue shall be 6-feet in width and curb-tight, matching the width and the location of the sidewalk to the west. Where the sidewalk swings around objects, the width of the sidewalk shall not be reduced.
 - New sidewalks shall have a scoring pattern conforming to City of Gladstone Public Works Standards.
3. **Water.** The proposed development shall meet all water system requirements pursuant to the requirements of the Gladstone Public Works Design Standards. With the widening of Duniway Avenue, the existing water meter boxes shall be moved to the proper location behind the curb per Std. Dwgs. 402 or 403. Water meter sizing calculations will be required to verify that the water meter(s) are adequately sized to serve the proposed development. These calculations are typically based on a fixture count and shall be submitted to the City at the time of plan review. Backflow prevention devices in underground vaults will be required for fire mains and oversized water services. Public water easements will be required around fire main vaults on private property.
4. **Sanitary Sewer.** The proposed development shall meet all sanitary sewer requirements pursuant to the Gladstone Public Works Design Standards. The existing sanitary sewer lateral shall have a cleanout installed in the sidewalk, or at the back of sidewalk, to designate the dividing point between public and private maintenance responsibility. The existing sanitary sewer lateral condition shall be verified by television inspection. A copy of the inspection shall be submitted to the Public Works Department for review. Following review, if the existing sewer lateral is determined to be in poor condition by City of Gladstone Public Works, the sewer lateral shall be repaired or replaced to the current standards of the City of Gladstone. The new sanitary sewer lateral shall be installed consistent with City of Gladstone standards and shall have a cleanout installed in or at the back of the new sidewalk.
5. **Storm Drainage.** The proposed development shall meet all storm drainage design requirements pursuant to the Gladstone Public Works Design Standards. Private storm drainage improvements onsite shall be permitted through Clackamas County Building Department. New storm drainage improvements shall be constructed as follows:
 - A public catch basin shall be installed on Portland Ave. uphill of the curb return.

- On Duniway Avenue, the catch basin at the sag curve in the street shall be removed and a new inlet shall be installed to match the new curb line.
 - On Duniway Avenue, existing catch basins that will not be located within the pavement area of the street shall be removed. If a catch basin structure acts as a junction and needs to remain, a manhole or junction box having a solid lid shall be installed in place of the existing catch basin.
 - A storm drainage analysis and report shall be submitted to City of Gladstone Public Works for review and approval demonstrating how the proposed storm water quality, quantity, infiltration, and conveyance systems are meeting the requirements of the Gladstone Public Works Design Standards.
 - Due to a downstream deficiency noted in the Storm Drainage Master Plan, the water quantity detention requirements for this site will be as follows:
 - i. Reduce the 2-year, 24-hour post development peak runoff rate to 50% or less of the 2-year, 24-hour pre-development peak runoff rate.
 - ii. Reduce the 25-year, 24-hour post development peak runoff rate to equal or less than that of the 2-year, 24-hour pre-developed peak runoff rate.
 - The applicant will be responsible for maintaining the water quality and quantity systems for this project and shall complete & record a Storm Water Facilities Maintenance Agreement. The document shall be submitted to Gladstone Public Works for review, adjusted if necessary, and then recorded with Clackamas County. A copy of the recorded document shall be submitted to Gladstone Public Works prior to the Certificate of Occupancy being issued.
6. **Streets.** The proposed development shall address all street improvement requirements of the Gladstone Public Works Design Standards. New street improvements shall be constructed as follows:
- Curbing along Portland Avenue and Duniway Avenue shall conform to existing improvements at the ends of the project.
 - On Portland Avenue, the street shall be widened with a concrete curb installed to match the curb alignment of the curb in front of the Civic Center.
 - On Duniway Avenue, half street improvements will be required. The new concrete curb line in front of this site shall be installed 34-feet from the existing curb in front of the Civic Center. The curb profile shall match the southern curb line in front of the Civic Center. New driveway curb cuts shall be constructed to commercial approach standards.
 - On Duniway Avenue, the applicant is requesting two driveway curb cuts having throat widths of 68 feet and 22 feet. Typically, one driveway curb cut is permitted per lot, with a maximum width of 36 feet (measured from top of wing to top of wing). There are multiple Public Works Department Design Standards not being met with the two driveways proposed by the applicant:
 - i. *5.070.D.2 – The maximum curb cut width shall be 36 feet.*
 - ii. *5.0070.D.3.c – The minimum distance between any two curb cuts on the same lot on local street is 30 feet.*
 - iii. *5.0070.D.4 – Curb cuts shall be kept to a minimum; consolidation of driveways is preferred.*
 - Requested deviations from the Public Works Design Standards (a Design Modification) shall be submitted to the Public Works Director in writing. For each standard not being met, the applicant shall note the standard, the reason why a Design Modification is necessary, and how the deviation from the design standard has been minimized to the extent possible. The Public Works Director may approve or deny requests for Design Modifications or may agree to relax certain applicable standards on a case-by-case basis. It is recommended that requests for Design Modifications be submitted to the Public Works Director as soon as possible, & prior to submittal of construction plans.

- In no case will any portion of a vehicle backed into the loading docks be allowed to overhang the Duniway Avenue sidewalk.
- The construction plans for the project shall include a plan demonstrating the necessary turning movements for the size of truck to be used by the applicant. The turning movements shall demonstrate how the design vehicle will be able to back into the project when the parallel parking stalls on the southern side of Duniway Avenue are occupied.
- Street trees are required to be installed along the Portland Avenue and Duniway Avenue frontages. The trees may be behind the sidewalk but shall be in front of the loading area. Tree spacing shall be as required by the Municipal Code.
- It is the applicants responsibility to relocate mailboxes, signage, and utilities that may interfere with new right-of-way improvements.
- The applicant may be required to install new signage and/or pavement markings. Signage and pavement markings shall conform to the requirements of the MUTCD and the Gladstone Public Works Design Standards.
- Prior to any work in the right-of-way, a City Right-of-Way Permit will be required from Public Works.

7. Easements.

- Any backflow prevention vault shall be completely contained in a public water easement.
- Public utility easements 8 feet in width shall be granted along the street frontages. Where existing or approved structures reduce the width available, a reduced width is acceptable.
- Easements shall be prepared using an approved City of Gladstone easement form. A copy of the recorded easement shall be provided to City of Gladstone Public Works prior to the pre-construction meeting.

8. **Right-of-way Dedication.** Adequate right-of-way shall be dedicated at the intersection of Portland Avenue and Duniway Avenue so that the new sidewalk improvements will be located within the public right-of-way.

9. **Construction Plans Submittal.** Plans detailing the installation of public and private utilities, site grading, and other public and private improvements shall be submitted to the City of Gladstone Public Works Department for review and approval. The design, location, and planned installation of all street and sidewalks, natural gas, power, street lighting, telephone, cable television, storm water, water, and sanitary sewer provisions are subject to approval by the appropriate agency/utility service provider. Construction plans shall be designed and stamped by a Professional Engineer registered in the State of Oregon. The Construction Plan submittal shall include (3) paper sets of plans, a pdf copy, an Engineer's Estimate for the public improvements, and a drainage report.

10. **Pre-Construction Conference.** Once grading/construction plans are ready to be approved by the City of Gladstone, a Pre-Construction Conference with final sign-off on the Construction Plans is required. Review fees, SDC's and performance bonding may be required of the applicant prior to scheduling the pre-construction conference.

11. **As-Built Submittals and Stormwater Certification.** Prior to approval of the Certificate of Occupancy, the applicant shall provide the City with the following:

- As-built plans.
- A recorded copy of the Storm Drainage Facilities Maintenance Agreement. The Maintenance Agreement shall be prepared using an approved City of Gladstone form.
- A signed certification from the design engineer indicating that the surface water systems have been inspected and installed per the approved plans and that the systems are functioning as designed.
- A maintenance bond in the amount of ten (10) percent of the cost of the public improvements.



NOTICE OF PUBLIC HEARING- OCTOBER 17, 2023
GLADSTONE PLANNING COMMISSION
DR 23-06 FIRE Restoration Warehouse Design Review

- DATE & TIME:** 10/17/23. This item will not begin earlier than **6:30 p.m.** However, it may begin later depending on the length of preceding items.
- PLACE:** The public hearing will be conducted in person at the Gladstone City Hall located at 18505 Portland Avenue | Gladstone, OR 97027, as well as virtually using the Zoom platform. The Zoom link to the public hearing and details on how to observe and testify online or by telephone will be available after October 10, 2023 on our website: <https://www.ci.gladstone.or.us/bc-pc/page/planning-commission-meeting-84>
- LOCATION** 6075 Duniway Avenue, Gladstone, OR 97027
Tax Lot 22E19AA 00401
- DEVELOPMENT PROPOSAL:** Construction of a new 7,458 square foot warehouse storage building. No proposed off-street parking or exterior storage.
- APPLICABLE REVIEW STANDARDS:** Gladstone Municipal Code (GMC) Chapters: 17.24 (LI- Light Industrial Zoning); 17.42 (General Provisions); 17.44 (Building Siting and Design); 17.46 (Landscaping); 17.48 (Off-Street Parking and Loading); 17.50 (Vehicular and Pedestrian Circulation); 17.54 (Clear Vision); 17.56 (Drainage); 17.60 (Utilities); 17.80 (Design Review); 17.94 (Hearings); & 17.96 (Improvement Guarantees).

All interested parties are invited to “attend” the hearing online or by in person and may testify orally, if they so choose. Written testimony may be submitted by email, or regular mail.

Please include the permit file number on all correspondence and address written testimony to the staff contact who is handling this matter. Any correspondence received in advance of the meeting will be forwarded to the Planning Commission.

A copy of the application, all documents and evidence submitted by or on behalf of the applicant, and applicable criteria are available for inspection at no cost. In addition, a staff report on the application will be available for inspection at no cost at least seven days prior to the hearing. Hard copies of documents will be provided at a cost of 25 cents per page or you may view or obtain these materials:

1. By contacting Heather Austin, at 503.946.9365 x206 or heather.austin@3j-consulting.com; or
2. By requesting a copy of the application at City Hall located at 18505 Portland Avenue Gladstone.

Please note that failure to raise an issue in a hearing, in person, or by letter, or failure to provide statements or evidence sufficient to afford the decision maker an opportunity to respond to the issue precludes appeal to the Land Use Board of Appeals based on that issue.



Gladstone planning services are provided by 3J Consulting. Submit all land use applications and correspondence to:
 City of Gladstone Attn: Heather Austin 18505 Portland Ave. Gladstone, OR 97027
 Email: heather.austin@3j-consulting.com or permit.review@3j-consulting.com • Phone: 503-946-9365 x206

DESIGN REVIEW INFORMATION SHEET

WHAT IS DESIGN REVIEW?

Design review is required for all institutional, commercial, industrial and multifamily developments except as specifically exempted by Section 17.80.021 of the Gladstone Municipal Code (GMC). Design review provides a process for evaluating such elements as building design, landscaping, parking, street improvements and utilities.

WHAT IS NEEDED FOR APPROVAL?

All design review applications are discretionary and may be approved after evaluation according to criteria in the GMC. The city must make written findings to support the decision. The applicant is responsible for providing evidence to support a design review request, according to the following chapters of the GMC: Chapter 17.80, the chapter regulating the underlying zoning district of the subject property and the chapters of Division IV of Title 17.

WHAT ARE CHANCES FOR APPROVAL?

Staff cannot predetermine the decision on any application. A decision will only be made after the complete application is processed. This includes review of citizen and agency comments. The decision is based on criteria appropriate to the application as listed in the GMC. To address the necessary criteria, the information requested in the application form and required to be included on submitted plans should be as thorough as possible.

APPLICATION PROCESS

Design review applications are subject to the quasi judicial process and public notice. Public comments received from property owners, agencies, and other interested parties may affect the decision on the application. Special conditions may be attached to an approval. All design review applications are reviewed at a public hearing before the Gladstone Planning Commission. The Planning Commission's decision may be appealed to the City Council, where an additional public hearing will be held. The City Council's decision may be appealed to the Oregon Land Use Board of Appeals.

HOW DO I MAKE A DESIGN REVIEW APPLICATION?

- Complete a City of Gladstone Land Use Application- attached.
- Provide plans according to the requirements of Chapter 17.80.061 of the GMC.
- Submit the application form, plans, narrative, required supporting documentation and application fee of 0.384% of the construction cost (minimum fee is \$1,340 & no more than \$36,835) to the City of Gladstone. Provide a statement giving the estimated cost of construction (labor and materials). Once your application is deemed complete, **submit a minimum of twelve copies of large plans or other items that cannot easily be reproduced by the Planning Division.**
- Although not required, it is strongly suggested that you attend the Planning Commission and, if applicable, the City Council hearings to speak on behalf of your proposal.



DESIGN REVIEW LAND USE APPLICATION

Gladstone planning services are provided by 3J Consulting.
 Submit all land use applications and correspondence to: City of Gladstone
 Attn: Heather Austin 18505 Portland Ave. Gladstone, OR 97027
 Email: heather.austin@3j-consulting.com or permit.review@3j-consulting.com
 Phone: 503-946-9365 x206

• FOR STAFF USE ONLY •

File No: _____ Other Related Permit Applications: _____
 Pre-app: Staff _____ Date _____ Staff Member: _____
 Date Received _____ Fee _____ Zone: _____
 Hearing Date _____ Comp. Plan: _____

• APPLICANT INFORMATION •

PLEASE TYPE OR PRINT IN BLACK INK ONLY

Contact Information:	<input type="checkbox"/> Owner	<input checked="" type="checkbox"/> Applicant	<input type="checkbox"/> Consultant	<input type="checkbox"/> Other
Contact/Applicant's Name: AHHA Architect Inc				
Mailing Address: 6663 SW Beaverton Hillsdale Hwy		City/State/Zip: Portland, Or 97225		
E-Mail: rag@ahhapdx.com		Phone: 503 734 8210		
Contact Information:	<input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Applicant	<input type="checkbox"/> Consultant	<input type="checkbox"/> Other
Contact/Applicant's Name: Greg Philo				
Mailing Address: PO Box 2133		City/State/Zip: Oregon City Or 97405		
E-Mail: greg@firexperts.net		Phone: 503 305 7285		
Property Information				
Site Address: 6075 Duniway Gladstone Or 97027				
Total Land Area: 22,215				
Legal Description: T _____ S, R _____ E/W/Q, Section _____ Tax Lot(s) Tax Lot 22E19AA00401 (For property legal description, contact Planning at 503-742-4500)				
Adjacent Properties under Same Ownership: T _____ S, R _____ E/W/Q, Section _____ Tax Lot(s) _____				
Project Description: 				
Current Zoning: LI - Light Industrial		Existing Use of Site: _____		
Construction Cost: 400,000		Proposed Square Footage: 7,485		

Method of Sewage Disposal: Sewer connection to City sewer

Water Supply: City water supply

Commercial/Industrial/Institutional Development:

Number of employees/students/occupants: 1 Days of operation: Mon - Fri

Estimated hours of daily operation: 7 am - 6 pm

Is the property under enforcement action for a violation of the Gladstone Municipal Code?

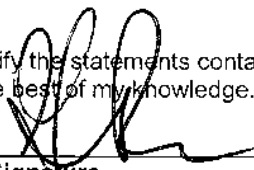
No Yes

Other Persons (If Any) To Be Mailed Notices Regarding This Application:

Name	Address	Zip	Relationship
------	---------	-----	--------------

Name	Address	Zip	Relationship
------	---------	-----	--------------

I hereby certify the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge.





Owner's Signature
Greg Philo

Applicant's Signature
AHHA Architect Inc - R. Goodblatt

Owner's Name (Print)

Applicant's Name (Print)

• SUPPLEMENTAL QUESTIONS •

Describe your proposed development. Identify the number of people associated with the use (employees, students, congregation members, clients, etc.); days and hours of operation; building materials, including type and color; and additional information about the buildings, vehicles, equipment, and square footage associated with the use:

The project is very simple.

A new storage building. Please see narrative that was submitted with the Architectural/Civil drawings and the site survey for answers to these supplemental questions.

Identify how your proposal meets the building siting and design standards pursuant to GMC Chapter 17.44.

Identify how your proposal meets the landscaping requirements pursuant to GMC Chapter 17.46.

Identify how your proposal meets the off-street parking and loading standards pursuant to GMC Chapter 17.48

Identify how your proposal meets the vehicular and pedestrian circulation standards pursuant to GMC Chapter 17.50.

If your proposal includes the installation or modification of a sign, identify the dimensions and explain how it meets the standards pursuant to GMC Chapter 17.52.

Explain why the use is suitable for the proposed site, considering size, shape, location, topography, existence of improvements and natural features:

Explain why the use will not alter the character of the surrounding area in a manner that substantially limits, impairs or precludes the use of surrounding properties for the primary uses listed in the underlying zoning district:

Provide additional information regarding clear vision, drainage, grading, utilities, or other items relevant to new construction or site development:

(Use additional sheets to answer questions if necessary)

PROJECT DESCRIPTION:
 New Storage Building = 7,425 sq ft
 Site Area = 22,215 sq ft
 Landscape Area = 3,332 sq ft

Site Description:
 Legal Description: 7,425 sq ft
 Map Number: Z2E19AA
 Parcel Number: 22E19AA00401
 Parcel Number: 00518932
 County: Clackamas

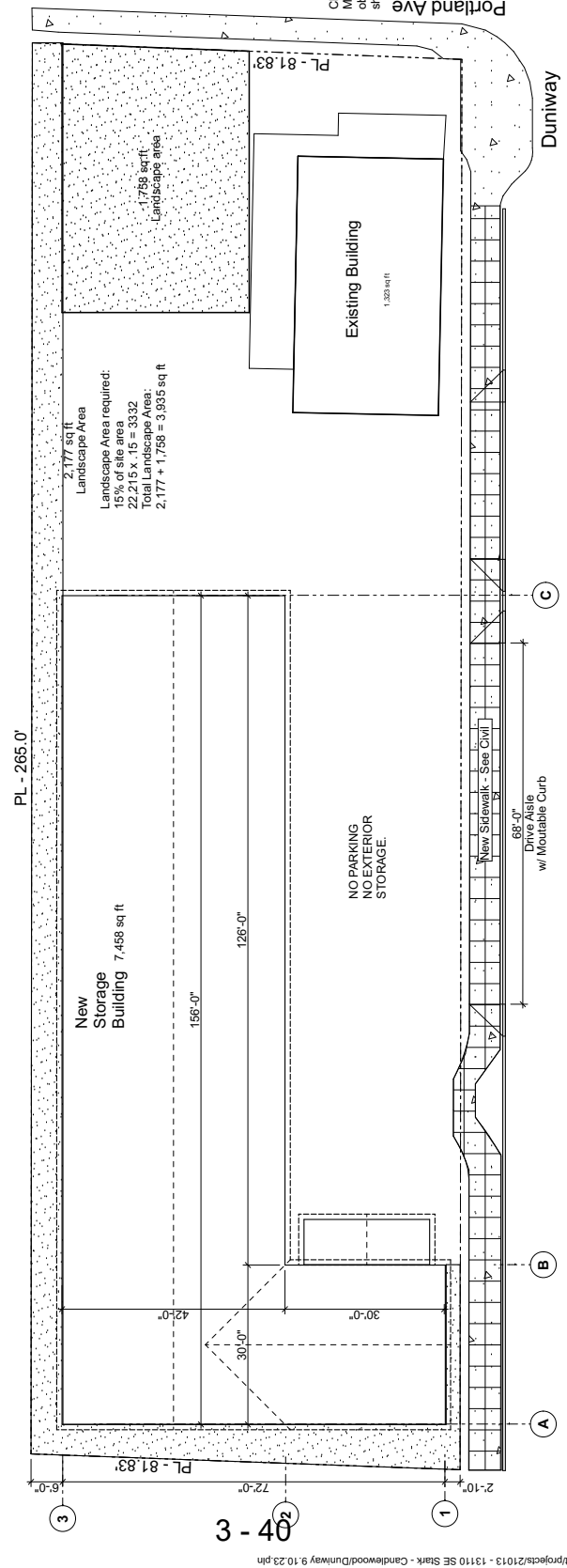
Building Code: OSSC 2021
Occupancy: S1
Stories: 1
Exits: 2
Alarms: Not required
Sprinklers: Not required

Site Information:
 Seismic Zone: D1
 Wind Speed: 120 MPH
 Exposure: B
 Snow Load: 25 PSF

Zoning District: U - Light Industrial (Gladstone)
Overlays: Urban Growth Boundary
Jurisdiction: Clackamas County

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Architectural Drawings:
 AS - 109 Site Plan
 A - 109 Floor Plan
 A - 201 Elevations/Section
Civil Drawings:
 C0.00 Cover Sheet
 C1.00 Survey - Existing
 C2.00 Site Plan
 C3.00 Grading & Drainage
 C4.00 Site Utility Plan



Rehbeek A. Goodblatt
 6663 SW Beaverton
 Hillsdale Hwy #222
 Portland, OR 97225
 Phone: 503.724.8210
 Fax: 503.724.8210
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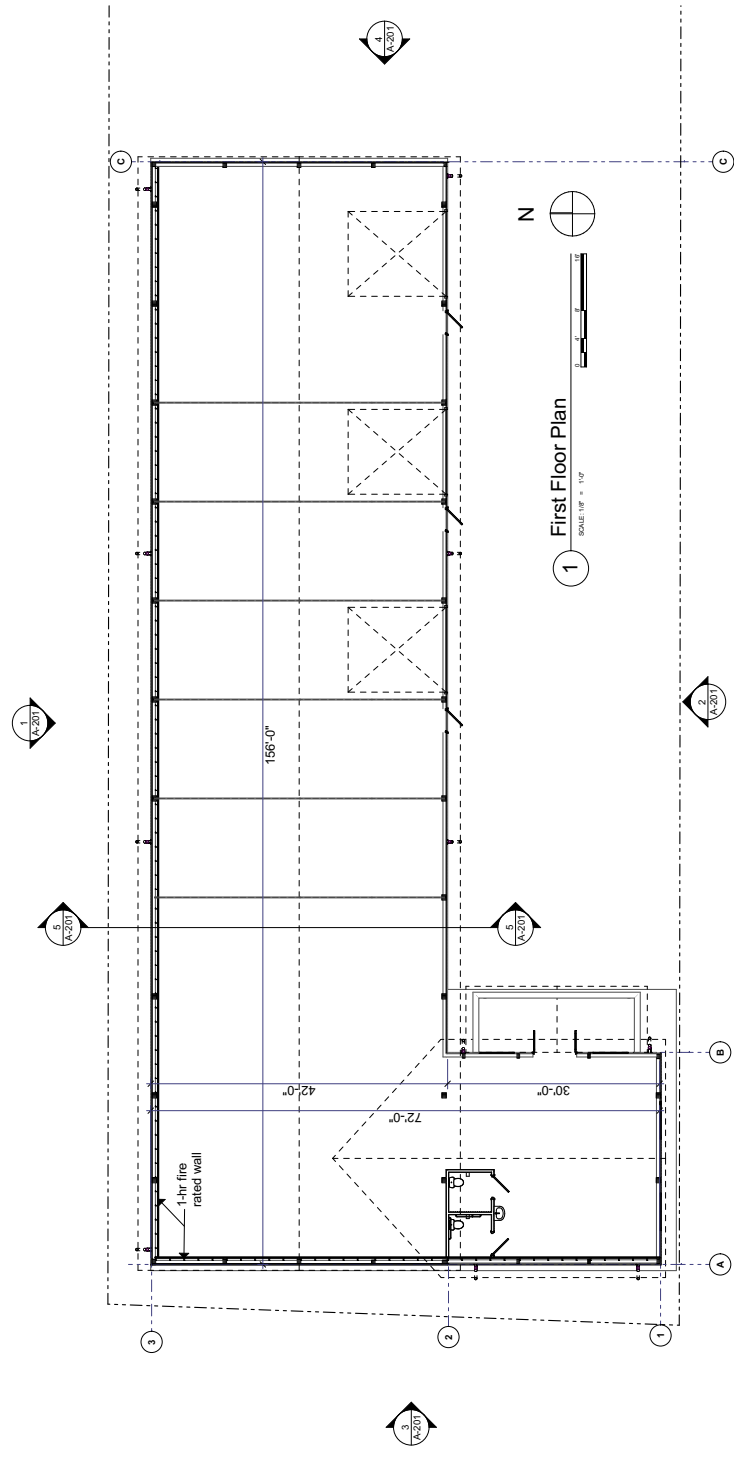
PROJECT OWNER:
 Greg Pils
 503.305.7285
 greg@firepixels.net
 GFP Properties LLC
 PO Box 2133
 Oregon City, Or 97405
Project Location:
 6075 Dunway Ave
 Gladstone Oregon 97027

Project Date: 9/10/23
 SHEET TITLE
Architectural Site Plan

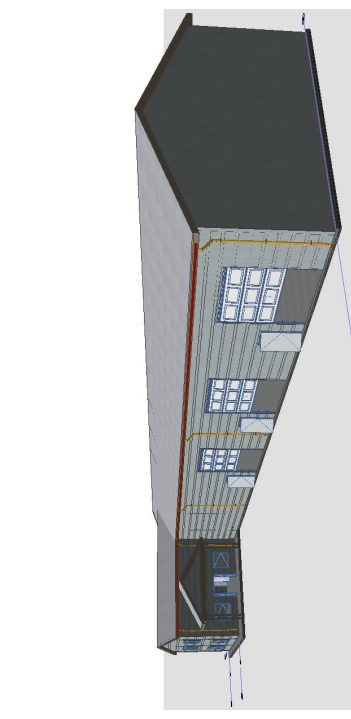
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 SHEET 15 OF 48

Application Number:
ZPAC0147-22

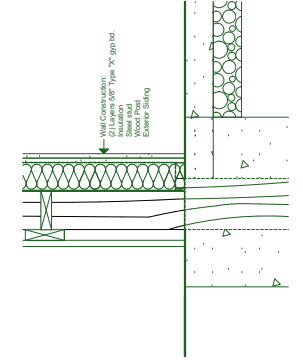
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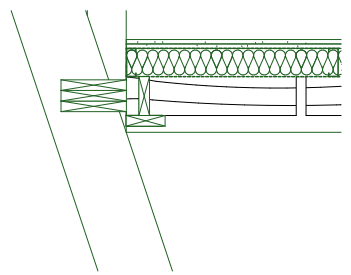
1 First Floor Plan
SCALE: 1/8" = 1'-0"



4 Generic Perspective
SCALE: 1/64"



2 1hr rated wall @ base
SCALE: 1 1/2" = 1'-0"



3 1hr rated wall @ roof
SCALE: 1 1/2" = 1'-0"



AHHA
Architect Inc.

Richard A. Gosholt
6663 SW Beaverton
Hillsdale Hwy #222
Portland, OR 97225
Phone: 503.724.8210
Fax: 503.724.8210
Copyright © 2017 AHHA/Architect Inc.

Application Number:
ZPAC0147-22

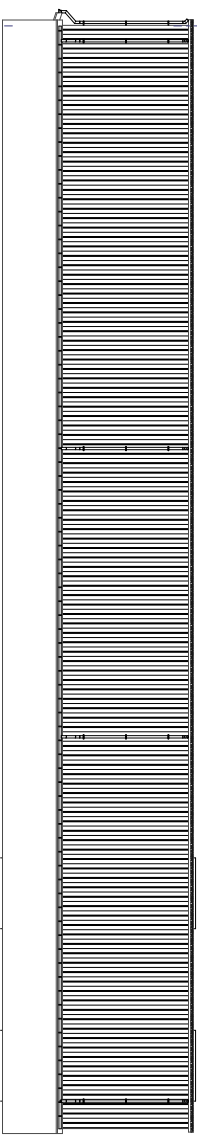
PROJECT OWNER:
Greg Pils
503.305.7285
greg@afreprints.net
GTP Properties, LLC
PO Box 2133
Oregon City, Or 97405
Project Location:
6075 Dunway Ave
Gladstone Oregon 97027

Project Date:
9/10/23

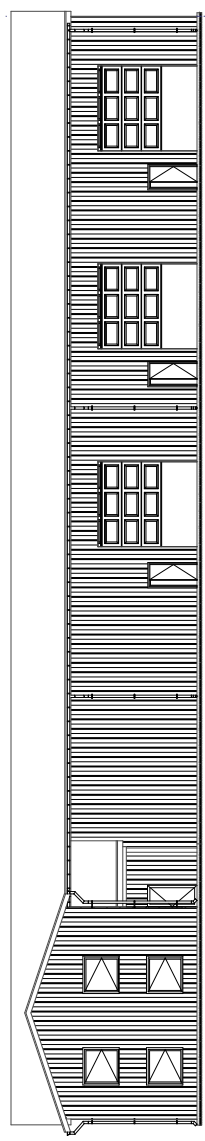
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First Floor Plan

A-109

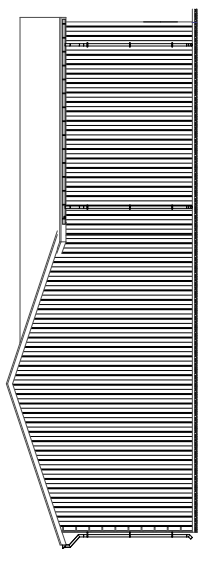
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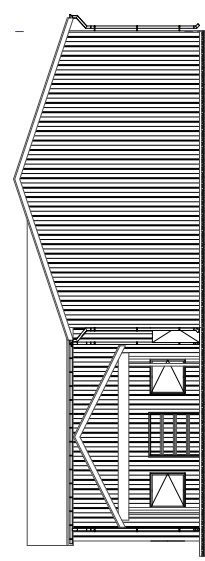
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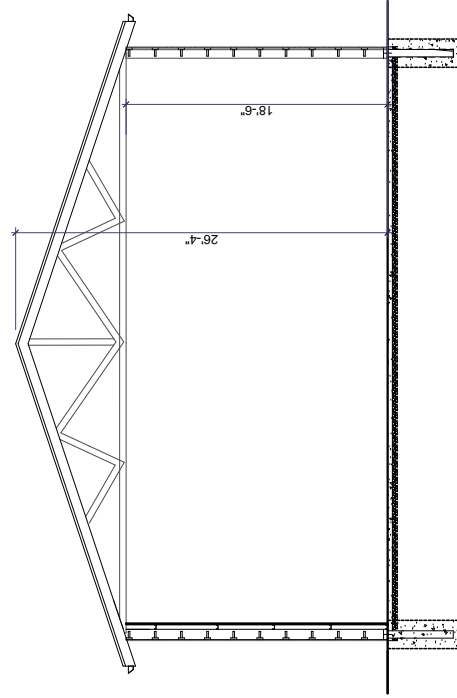
2 South Elevation
SCALE 1/8" = 1'-0"



3 East Elevation
SCALE 1/8" = 1'-0"



4 West Elevation
SCALE 1/8" = 1'-0"



5 Building Section
SCALE 1/8" = 1'-0"



Application Number:
ZPAC0147-22

PROJECT OWNER:
Greg Plus
503.305.7285
greg@firexparts.net
GTP Properties, LLC
PO Box 2133
Oregon City, Or 97405

Project Location:
6075 Dunway Ave
Gladstone Oregon 97027

Project Date:
9/10/23

SHEET TITLE
Exterior Elevations

A-201

SHEET 31 OF 48



10155 se sunnyside road suite 200
clackamas, or 97015
t: 503.659.9500 f: 503.659.2227
www.navixeng.com

CLIENT/TOWNER

GTP PROPERTIES
LLC

PROJECT NAME

GLADSTONE
WAREHOUSE

NAVIX PROJECT NUMBER: 20-732-601
PROJECT ADDRESS

8075 DUNWAY AVENUE
GLADSTONE, OR 97027

STAMP

PRELIMINARY

REV	ISSUED FOR:	DATE
1	DR LAND USE SUBMITTAL	10/12/23



SECTION, TOWNSHIP, RANGE
SECTION 10, TOWNSHIP 33
SOUTH, RANGE 02 EAST, W4

PROJECT TEAM
E. FRANCO
S. GUTTER

SHEET NAME

COVER SHEET

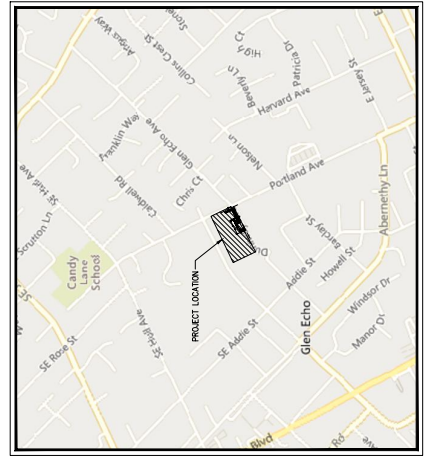
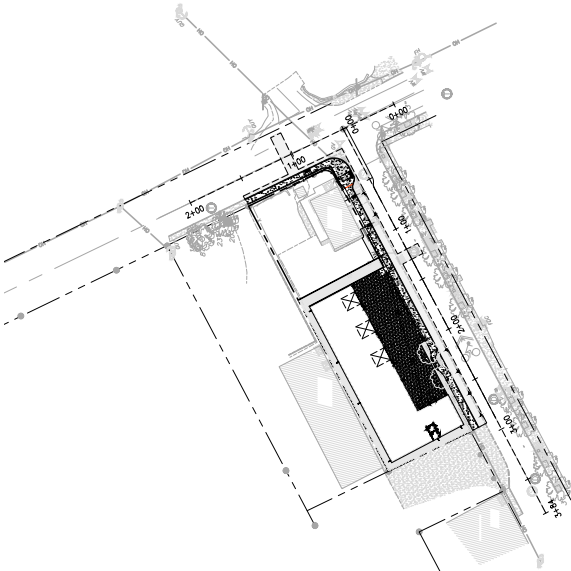
SHEET NUMBER

C0.00

GLADSTONE WAREHOUSE

DESIGN REVIEW LAND USE SUBMITTAL

CITY OF GLADSTONE
COUNTY OF CLACKAMAS, OREGON



INDEX OF DRAWINGS

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C2.00	GRADING AND DRAINAGE PLAN
C4.00	SITE UTILITY PLAN
C2.10	PUBLIC SITE DETAILS
C3.10	DRAINAGE DETAILS
C4.10	WATER DETAILS
C4.11	SANITARY SEWER DETAILS

IMPERVIOUS AREA SUMMARY

AREA DESCRIPTION	EXISTING (IMP)	PROPOSED (IMP)
EXISTING PAVED LOT	1,583 SF	1,583 SF
EXISTING PAVED DRIVE	4,117 SF	4,117 SF
PROPOSED PAVED DRIVE	13,886 SF	13,886 SF
PROPOSED PAVED LOT	11,391 SF	11,391 SF

*STORMWATER RETENTION WILL OCCUR UTILIZING STORMWATERS GENERATED ON PRIVATE PROPERTY.



PROJECT INFORMATION
ADDRESS:
8075 DUNWAY AVENUE, GLADSTONE,
OR 97027

PROJECT CONTACTS
CLIENT:
GTP PROPERTIES LLC
10155 SE SUNNYSIDE ROAD, SUITE 200
CLACKAMAS, OR 97015
PHONE: (503) 305-7255
EMAIL: RAGHAW@GTP.COM

CONSULTANTS
ARCHITECT:
APWA ARCHITECT INC
1870A MCALLA AVE, SUITE 120
PORTLAND, OR 97224
PHONE: (503) 844-0188
EMAIL: RAGHAW@APWA.COM

LAND SURVEYOR
SUNSHINE CONSULTING LAND SURVEYING, INC.
1870A MCALLA AVE, SUITE 120
PORTLAND, OR 97224
PHONE: (503) 844-0188
CONTACT: TORY G. BRULIN

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND CLACKAMAS STANDARD PLANS AND SPECIFICATIONS, AND RELEVANT STANDARD CODES AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCESSIBLE PARKING DATED MAY 2022, AND THE APWA STANDARDS WHICH ARE HEREBY REFERENCED AS PART OF THESE PLANS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET AND BASED UPON THE SURVEY PREPARED BY CENTERLINE CONSULTING LAND SURVEYING, INC. DATED AUGUST 2ND, 2022. THE PROPOSED SITEWORK IMPROVEMENTS, IF CONTACTS ARE DISCOVERED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCESSIBLE PARKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCESSIBLE PARKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCESSIBLE PARKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCESSIBLE PARKING.
- CAUTION - NOTICE TO CONTRACTOR: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF UTILITIES AND BASED POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE UTILITY LOCATOR TO VERIFY THE LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF UTILITIES WHICH COMPLY WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- IN THE EVENT OF CONFLICTS BETWEEN THE VARIOUS PROVISIONS OF THIS PLAN SET, THE MORE STRINGENT PROVISION APPLIES.
- REFER TO EXISTING CONDITIONS MAP (SURVEY) FOR BENCHMARKS AND DATUM INFORMATION.

LAND USE AUTHORITY CASE #: ZPAC0147-22



10135 se sunnyside road suite 200
clackamas, or 97015
t 503.659.9500 f 503.659.2227
www.navixeng.com

CLIENT OWNER

GTP PROPERTIES
LLC

PROJECT NAME

GLADSTONE
WAREHOUSE

NAVIX PROJECT NUMBER: 20-732461

PROJECT ADDRESS

8075 DUNWAY AVENUE
GLADSTONE, OR 97027

STAMP

PRELIMINARY

REV	ISSUED FOR:	DATE
1	DR LAND USE SUBMITTAL	10/17/23



SECTION, TOWNSHIP, RANGE
SECTION 16, TOWNSHIP 03
SOUTH RANGE 06 EAST, W.M.

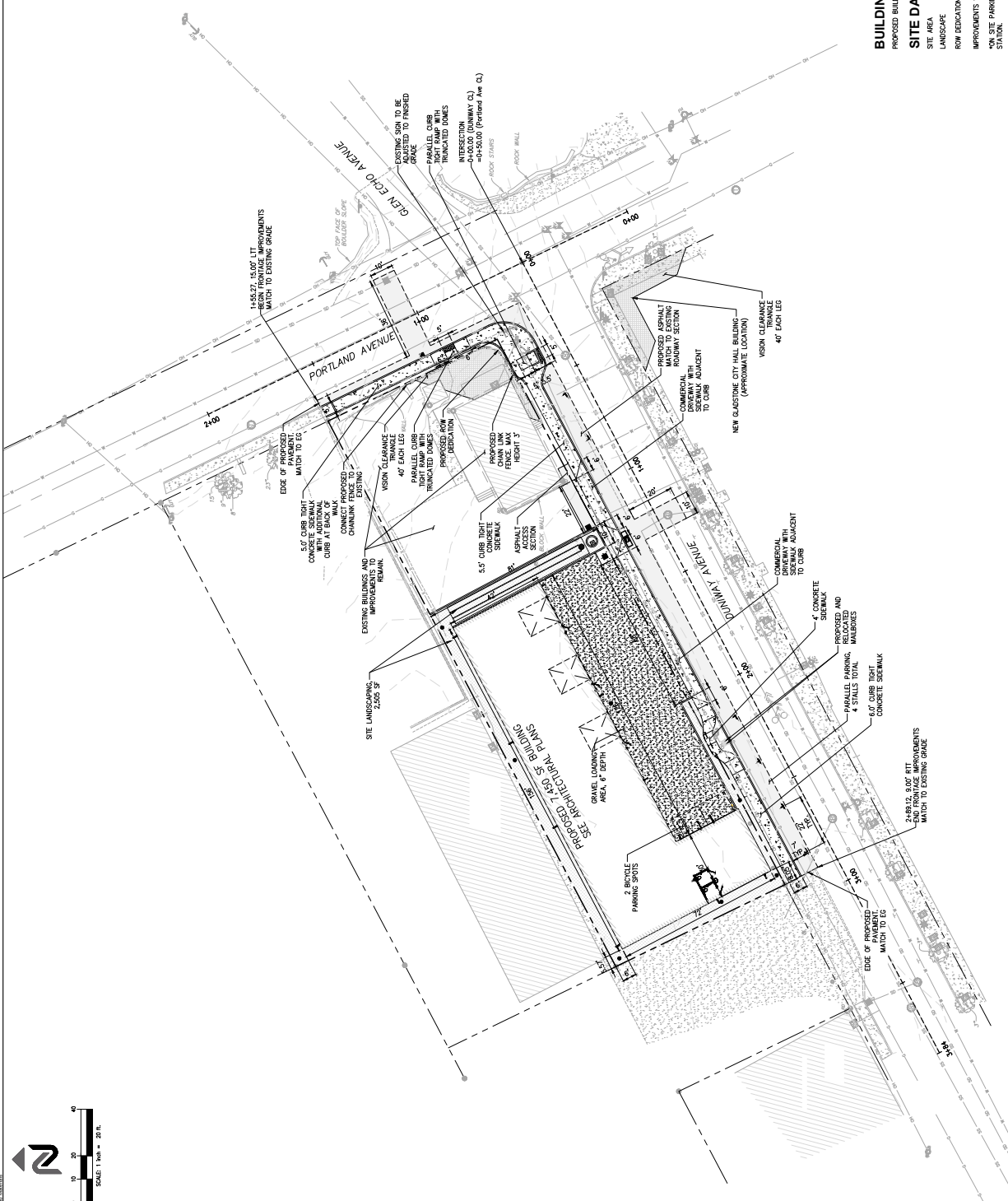
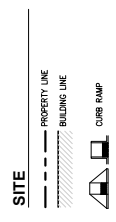
PROJECT TEAM
REVIEWED BY: [Signature]
DESIGNED BY: [Signature]

SHEET NAME

SITE PLAN

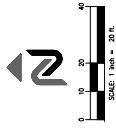
SHEET NUMBER

C2.00



BUILDING DATA
 PROPOSED BUILDING GROSS FLOOR AREA: 7,450 SF

SITE DATA
 SITE AREA: 13,896
 LANDSCAPE: 2,420 (17.4%)
 ROW EDUCATION: 35.5'
 IMPROVEMENTS WITHIN ROW: 5,720 SF
 *ON SITE PARKING IS NOT REQUIRED DUE TO PROXIMITY TO MASS TRANSIT STATION.





10135 se sunnyside road suite 200
clackamas, or 97015
t: 503.659.5500 f: 503.659.2227
www.navixeng.com

CLIENT/TOWNER
**GTP PROPERTIES
LLC**

PROJECT NAME
**GLADSTONE
WAREHOUSE**

NAVIX PROJECT NUMBER: 20-732461
PROJECT ADDRESS
**8075 DUNWAY AVENUE
GLADSTONE, OR 97027**

STAMP
PRELIMINARY

REV	ISSUED FOR:	DATE
1	DR LAND USE SUBMITTAL	03/12/23



SECTION, TOWNSHIP, RANGE
SECTION 14, TOWNSHIP 33
SOUTH RANGE 04 EAST, W.M.

PROJECT TEAM
REVIEWED BY:
DESIGNED BY:

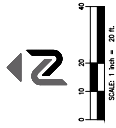
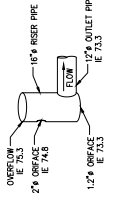
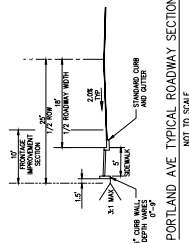
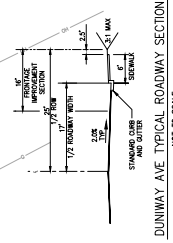
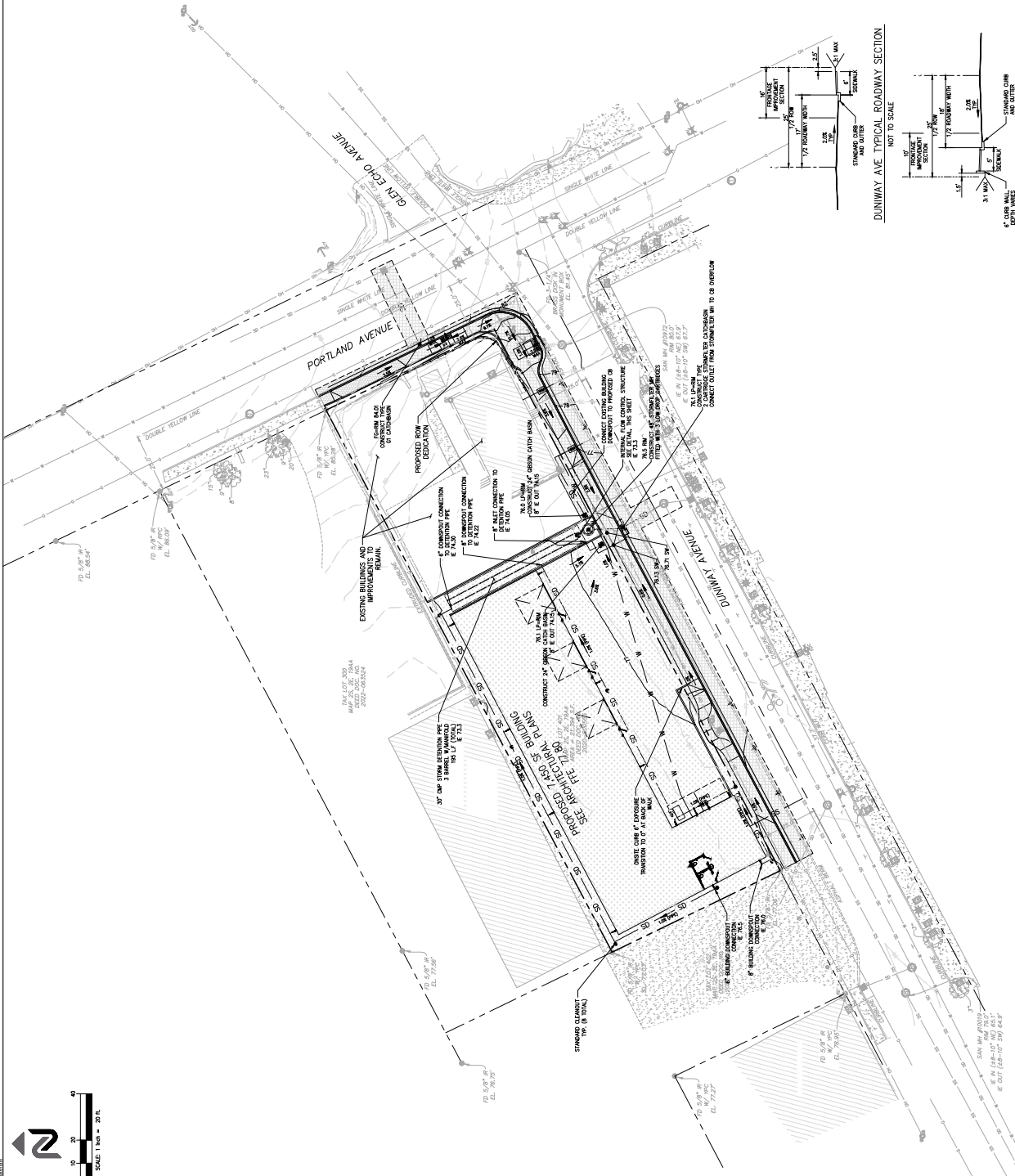
SHEET NAME

**GRADING AND
DRAINAGE PLAN**

SHEET NUMBER

C3.00

- LEGEND**
- PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING CENTERLINE
 - PROPOSED STORM LINE
 - CATCH BASIN
 - TOP OF CURB
 - BOTTOM OF CURB
 - TOP OF PAVEMENT
 - FINISHED GRADE
 - BOTTOM OF WALL
 - STORM BASIN 1
13,896 SF
 - STORM BASIN 2
10,415 SF
 - STORM BASIN 3
5,270 SF



AHHA

Architect Inc

Date Sept 10, 2023

Jurisdiction:

City of Gladstone
Heather Austin, 3J Consulting
18505 Portland Ave
Gladstone, Or 97027
503 946 9365 x206
heather.austin@3j-consulting.com

Project Name/Owner:

Duniway Project
Greg Philo
503 305 7285
greg@fireexperts.net
GTP Properties LLC
PO Box 2133
Oregon City, Or 97405
Project Location:
6075 Duniway Ave
Gladstone Oregon 97027

Property ID 22E19AA00401

Applicant:

AHHA Architect Inc
Raphael A. Goodblatt
6663 SW Beaverton Hilldale Hwy #222
Portland Oregon 97225
503 734 8210
rag@ahhapdx.com
Use: Storage

Zone: LI - Light Industrial District

Pre - Application - ZPAC0147-22

17.24.020(1) Use allowed - Warehouse & Storage

17.24.045 Screening -

(4) Duniway - Site obscuring fence not required. All storage occurs in the building and parking is not required.

(6) Portland - New proposed fence will be 3' tall within the vision triangle.

(7) No signs will be located in the chain link fence without design approval.

17.24.060 Dimensional Standards

(1) Height - This is met, the building is 24' tall to the middle of the gable, allowed 35'

(2) Setbacks - No rear or side yard setbacks are required, 6' setbacks provided

(3) Setbacks - No rear or side yard setbacks are required, 6' setbacks provided

(4) Setbacks - Front or street setbacks - Not applicable

(5) Architectural Features - Not applicable

(6) Off Street parking - Not required site is located 500' from Mass transit.

(7) Equipment set back - HVAC units are located on the ground. See site plan for location

Division IV Development Standards

17.42 General Provisions Pre-construction conference w/ City public works and Engineering departments - relates to 17.42.020

17.44 Building Site and design

17.46 Landscaping

17.48 Off-street parking and loading - No parking required. Mass transit is within half a mile.

17.50 Vehicular & Pedestrian Circulation

17.52 Signs

17.53 Billboards - not applicable

17.54 Clear Vision - Sheet C2.00

17.56 Drainage - Sheet C3.00

17.58 Grading - Sheet C3.00

17.60 Utilities - Sheet C4.00

17.61 Wireless - not applicable

17.62 Special uses - not applicable

17.44.020

(1) Siting

(2) Energy Efficient Design.

(3) Compatibility.

(a) Locate and design structures to protect scenic views: Not applicable

(b) Design structures to provide visual order - See building plans and Elevations

(c) Orient major service activity areas - See site plan AS -001

(d) Provide opaque enclosures - All storage and all trash are located inside the building.

(e) Screen mechanical equipment. See site plan for location of HVAC units

(7) Equipment and Facilities. All utility lines on-site shall be placed underground. All roof-mounted fixtures and utility. All roof-mounted fixtures and utility cabinets or similar equipment which must be installed above ground shall be visually screened from public view.

(4) Building Materials. The use of metal materials has to be explicitly approved by the Planning Commission.

(5) & (6) On-site Lighting. - Off site lighting not required.

(8) Trash enclosure - Trash will be stored inside the building.

17.44.024

Nonresidential design standards. No design standards requiring windows.

17.46.020

Landscaping standards. 15% of site landscaping see site plan sheet C2.00

(2) Parking and Loading Areas. - Parking not required, site located 500 ft from mass transit.

(c) 10' wide landscape strip not required no parking required. See Civil and Architectural plans for landscape plan and stormwater design.

(d) Fence or wall not proposed and not required. No parking required.

17.48.040

Design requirements for permanent off-street parking and loading. Parking not required, loading area not required.

17.48.050

Bicycle parking standards. - See sheet C2.00 For bike parking.

17.50.020 Vehicular and pedestrian circulation

- (1) Impervious surface see Civil Plan sheet
- (2) Traffic Separation - not required there is no on-site parking
- (3) Curbs and Sidewalks - See Civil C2.00 For new sidewalk design.
- (4) N/A
- (5) ADA - sidewalk improvement on the corner of Duniway & Portland
- (6) Pedestrian Circular Standards - Not required

17.50.040 Street and road standards.

(1) Right-of-Way and Roadway Widths. See Civil C2.00 For right-of-way improvements

17.50.050 Traffic impact analysis (TIA). The City Public Works Department did not indicate that this would be needed.

7.54.020 Clear vision area.

(1) Obstruction Prohibited See site plan sheet C2.00 for clear vision area.

The existing permitted residence is located partially within the clear vision triangle. This development does not change this previously permitted location.

Additionally, the newly constructed City Hall building resides within the clear vision triangle and encroaches even further than our existing building.

Please see the Site Plan, Sheet C2.10.

