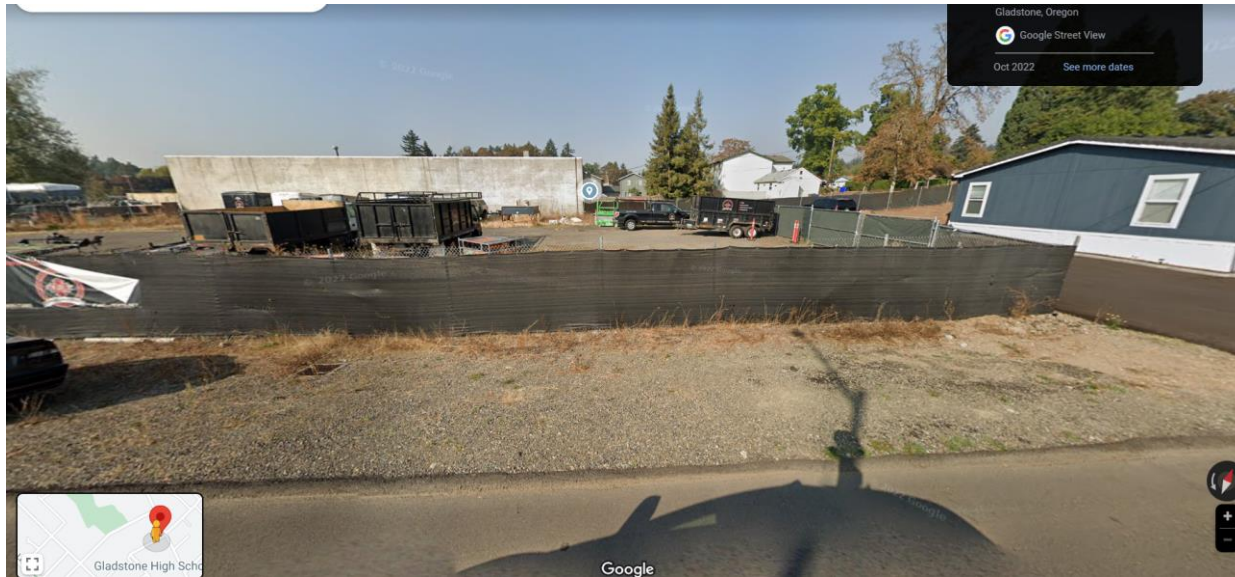




**December 2023 Planning Commission Meeting**  
**Agenda Item No. 3 (Continued from October 17, 2023)**  
**FIRE Restoration Warehouse**  
**Design Review- 6075 Duniway Avenue**

# Proposal: Construction of new 7,500 SF warehouse storage building

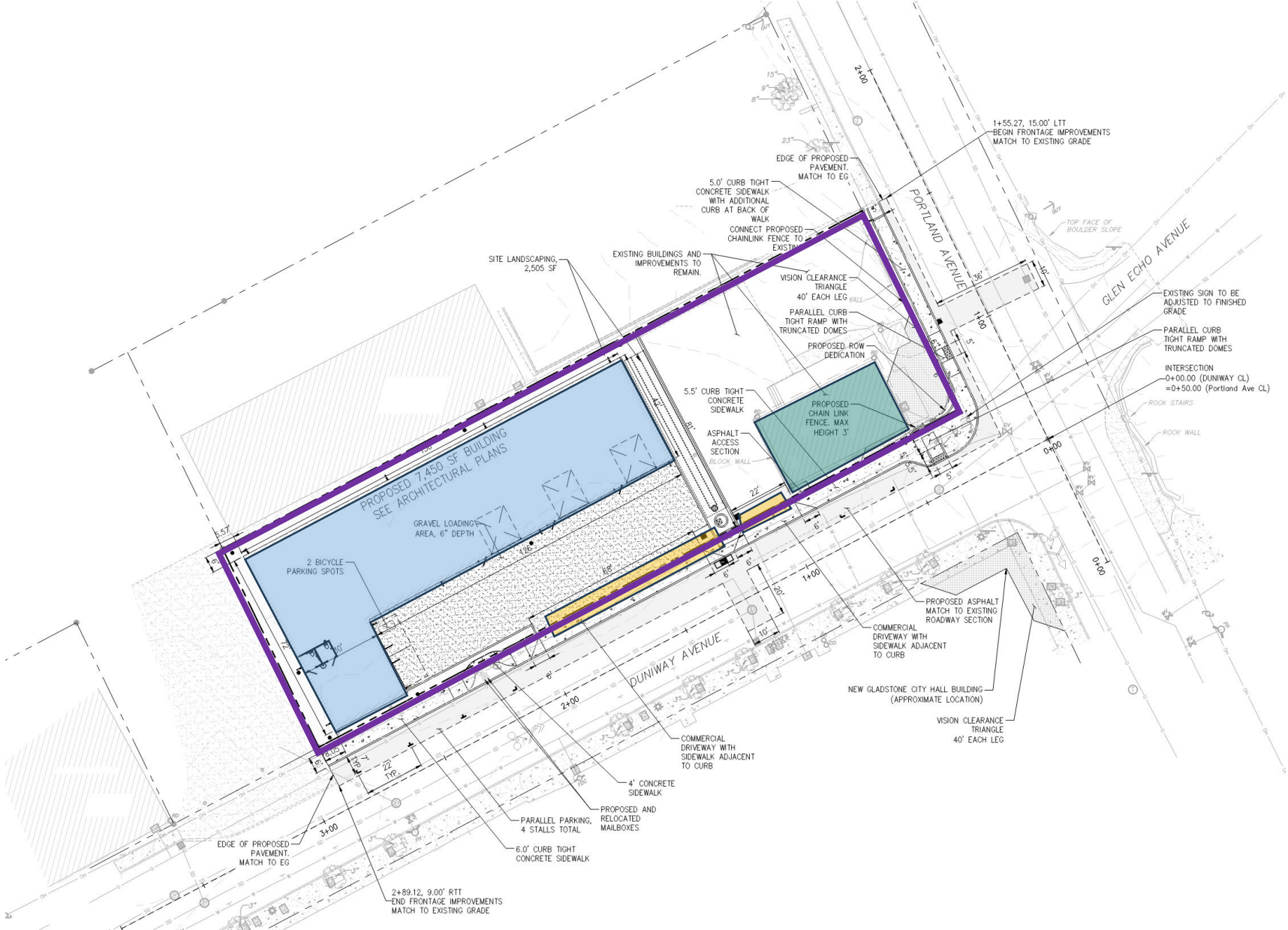
- **Address:** 6075 Duniway Ave.
- **Zoning Designation:** LI- Light Industrial (warehousing and storage permitted outright)
- **Property size:** 0.51 acres



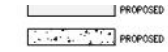
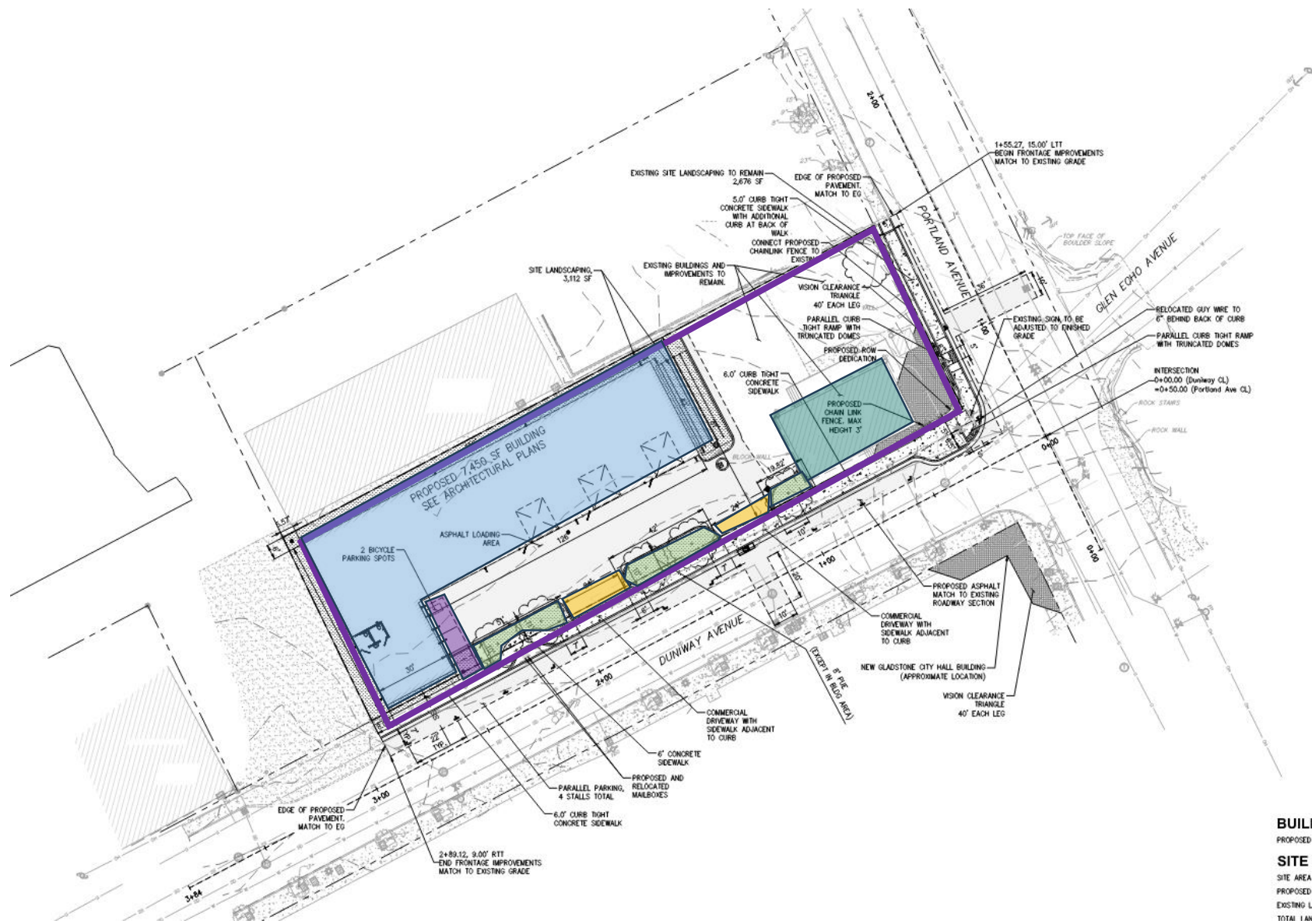
The site is not subject to any environmental overlays.



# Original Proposed Site Plan

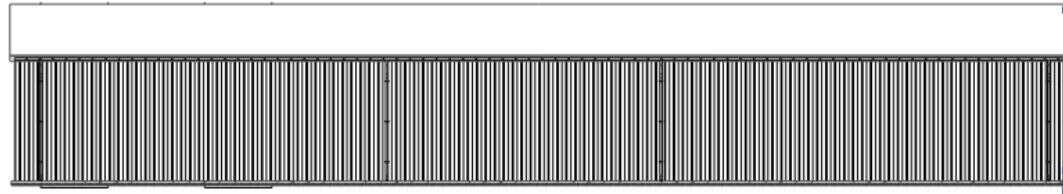


# Updated Proposed Site Plan

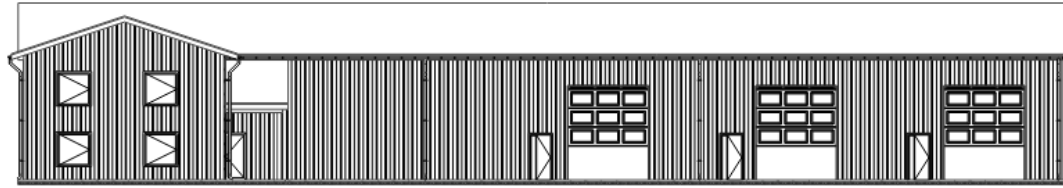


BUILDING DATA	
PROPOSED BUILDING GROSS FLOOR AREA	7,
SITE DATA	
SITE AREA	2,
PROPOSED LANDSCAPE	3,
EXISTING LANDSCAPE	2,
TOTAL LANDSCAPE	5,

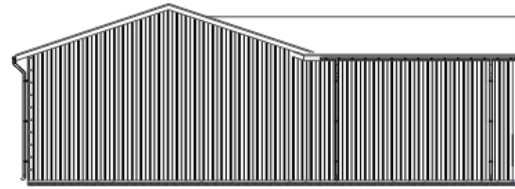
# Original Proposed Building Elevations



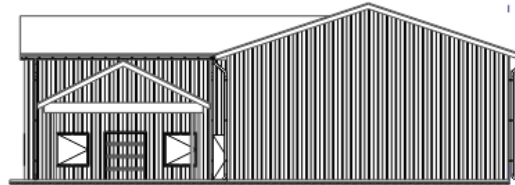
1 North Elevation  
SCALE: 1/8" = 1'-0"



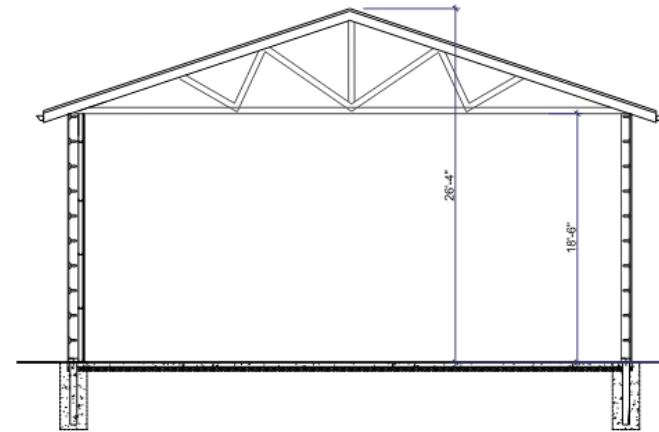
2 South Elevation  
SCALE: 1/8" = 1'-0"



3 East Elevation  
SCALE: 1/8" = 1'-0"



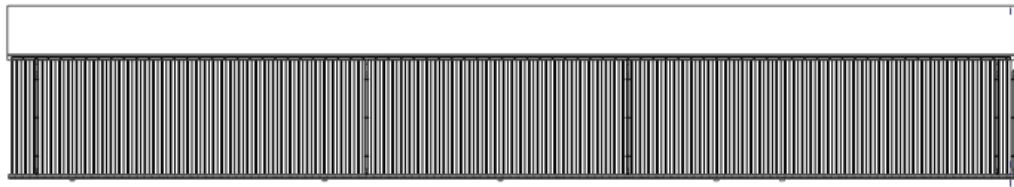
4 West Elevation  
SCALE: 1/8" = 1'-0"



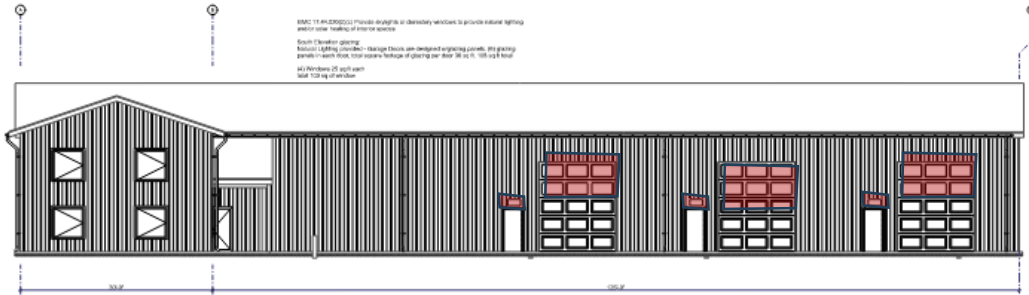
5 Building Section  
SCALE: 1/8" = 1'-0"

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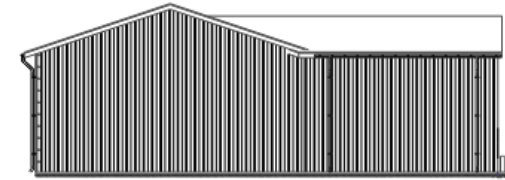
# Updated Proposed Building Elevations



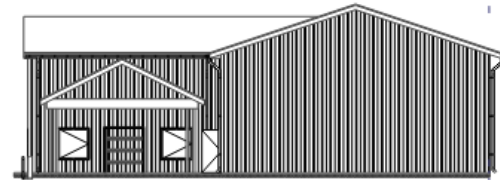
1 North Elevation  
SCALE: 1/8" = 1'-0"



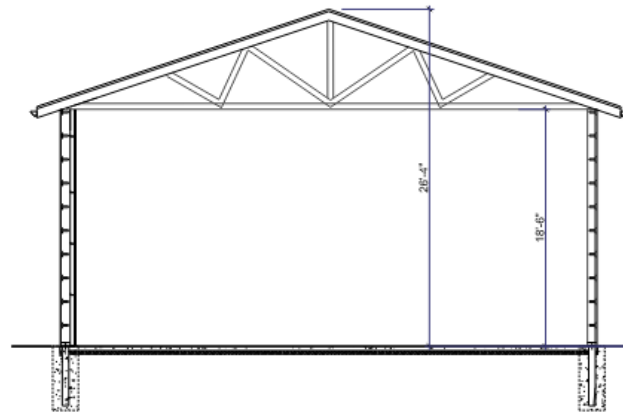
2 South Elevation  
SCALE: 1/8" = 1'-0"



3 East Elevation  
SCALE: 1/8" = 1'-0"



4 West Elevation  
SCALE: 1/8" = 1'-0"



5 Building Section  
SCALE: 1/8" = 1'-0"

Application Number:  
ZPAC0147-22

PROJECT OWNER:  
Greg Philo  
503 305 7285  
greg@frefxperts.net  
GTF Properties LLC  
PO Box 2133  
Oregon City, Or 97405  
Project Location:  
6075 Duniway Ave  
Gladstone Oregon 97027

Project Date:  
12/1/23

SHEET TITLE  
Exterior Elevations

A-201

SHEET 31 OF 48



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# **PRIOR RECOMMENDATION (Special Condition #1)**

**The Gladstone Planning Staff are recommending Approval of the Design Review application with the following Special Conditions of Approval:**

**1. Revised Building and Site Plans and Narrative that Demonstrate:**

- **Skylights or clerestory windows to provide natural lighting and/or solar heating of interior spaces**
- **Screening for all mechanical equipment, roof-mounted or other above-ground equipment or facilities**
- **All exterior materials and finishes are high-image such as masonry, architecturally treated tilt-up concrete, glass, wood or stucco and no metal siding is utilized unless specifically approved by the Planning Commission**
- **Site photometrics**
- **Compliance with the trash disposal and recycling collection provisions**
- **Minimum 3,333 sf of landscaping, including a 10 ft wide landscaped strip along Duniway Ave.**
- **Landscaping irrigation and maintenance, overall plant species and street tree details**
- **Loading area constructed of asphalt or concrete**
- **Compliant design of the two short-term bicycle parking spaces**
- **Minimum 6' wide ADA-compliant pedestrian pathway connecting the public sidewalk along Duniway Avenue with the main entry on the west end of the building.**

# UPDATED RECOMMENDATION (Special Condition #1)

The Gladstone Planning Staff are recommending Approval of the Design Review application with the following Special Conditions of Approval:

1. Revised Building and Site Plans and Narrative that Demonstrate:

- ~~• Skylights or clerestory windows to provide natural lighting and/or solar heating of interior spaces~~
- ~~• Screening for all mechanical equipment, roof-mounted or other above-ground equipment or facilities~~
- All exterior materials and finishes are high-image such as masonry, architecturally treated tilt-up concrete, glass, wood or stucco and no metal siding is utilized unless specifically approved by the Planning Commission
- Site photometrics
- Compliance with the trash disposal and recycling collection provisions
- ~~• Minimum 3,333 sf of landscaping, including a 10 ft wide landscaped strip along Duniway Ave.~~
- ~~• Landscaping irrigation and maintenance, overall plant species and street tree details~~
- ~~• Loading area constructed of asphalt or concrete~~
- ~~• Compliant design of the two short-term bicycle parking spaces~~
- ~~• Minimum 6' wide ADA-compliant pedestrian pathway connecting the public sidewalk along Duniway Avenue with the main entry on the west end of the building.~~



# REVISED RECOMMENDATION (Special Condition #1)

The Gladstone Planning Staff are recommending Approval of the Design Review application with the following Special Conditions of Approval:

1. Revised Building and Site Plans that Demonstrate:

- All exterior materials and finishes are high-image such as masonry, architecturally treated tilt-up concrete, glass, wood or stucco and no metal siding is utilized unless specifically approved by the Planning Commission
- Site photometrics
- Compliance with the trash disposal and recycling collection provisions

## **CONTINUED RECOMMENDATION (Special Conditions #2-4)**

**The Gladstone Planning Staff are recommending Approval of the Design Review application with the following Special Conditions of Approval (continued):**

- 2. Construction Plans for Public Improvements. Prior to building permit approval, the applicant shall submit plans detailing the installation of public and private utilities and infrastructure, as detailed in the Public Works Comments dated 10.10.23 in compliance with the Provisions of GMC 17.50.030, 17.50.040, 17.56.020 and 17.60.020**
  
- 3. Right-of-Way Dedication. Prior to issuance of a certificate of occupancy, adequate right-of-way shall be dedicated at the intersection of Portland Avenue and Duniway Avenue so that the new sidewalk improvements will be located within the public right-of-way per GMC 17.50.040.**
  
- 4. Easements. Prior to issuance of a certificate of occupancy, 8-foot-wide public utility easements shall be recorded along both street frontages adjacent to this site unless a reduced width is approved due to existing structures**